

# PROPOSED 2 GARAGE

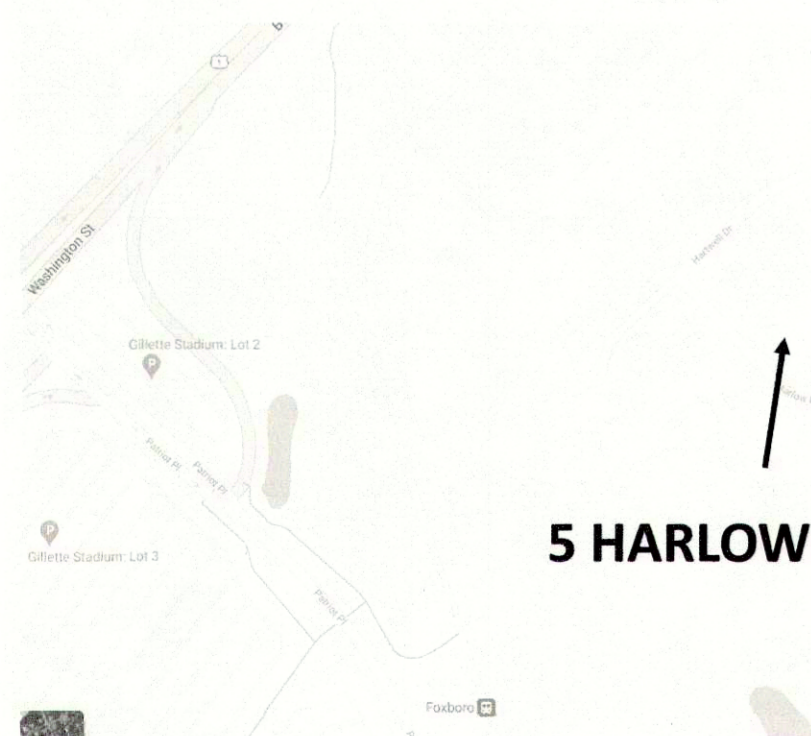
PLAN DOCUMENTS	
A	COVER
A-1	FLOOR PLAN
A-2	EXISTING PLAN & DEMO PLAN
A-3	FOUNDATION PLAN
A-4	FRAMING PLAN
A-5	ELEVATION PLAN
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A-7	STRUCTURAL ENGINEERING

5 HARLOW ROAD			
FOXBOROUGH, MA 02035			
OWNER OF RECORD			
VITO, JEFFREY & LAURA			
LAND			
SIZE (ACRES)	0.61		
Single Family			
Total number of Stories:	2		
Total SF. of All Structures:	2,247		
3 Bedroom. 2 Baths			
Year Built	1967		
Zone:	R 40		
Map 011/ 022/000			
Book / Page	12861/49		
BUILDING & SUB AREA'S (SF) LEGEND			
AREA	DESCRIPTION	GROSS AREA	LIVING AREA
CRL	CRAWL SPACE	561	0
UBM	Basement	444	0
BAS	FIRST FLOOR	1242	1242
TOTALS		2247	0
TOTAL LIVING SPACE			1242
NEW GARAGE		900	0
TOTAL GROSS AREA		3147	
F.A.R.			

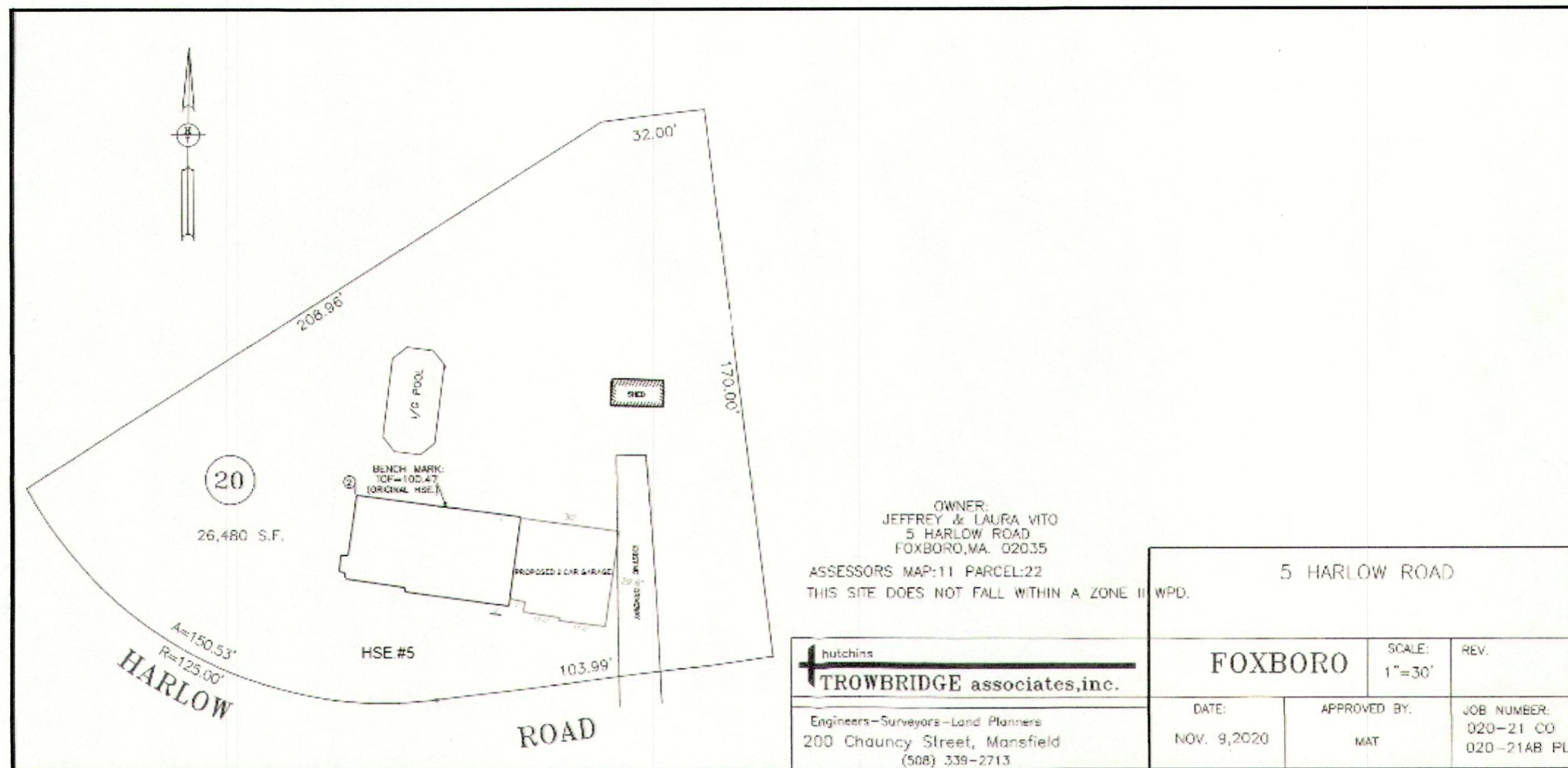
## BUILDING LAYOUT

BAS	37	BAS	
BAS	UBM	12	12
BAS	37		14
BAS	CRL	11	11
BAS	37	37	14

## MAP



5 HARLOW



LOT

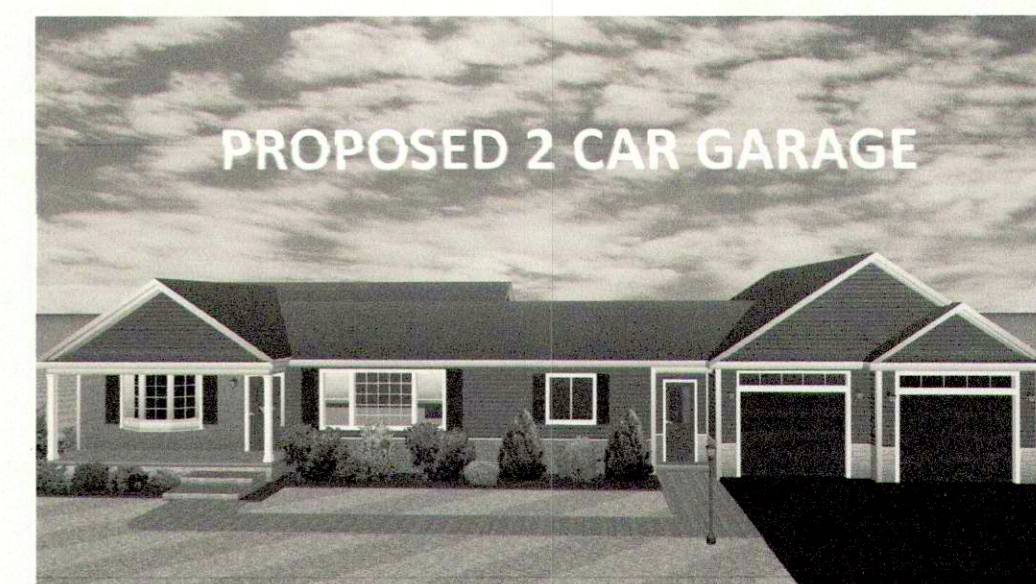
OWNER:  
JEFFREY & LAURA VITO  
5 HARLOW ROAD  
FOXBORO, MA. 02035

ASSESSOR'S MAP: 11 PARCEL: 22  
THIS SITE DOES NOT FALL WITHIN A ZONE III WPD.

**TROWBRIDGE associates, inc.**  
Engineers—Surveyors—Land Planners  
200 Chauncy Street, Mansfield  
(508) 339-2713

5 HARLOW ROAD		
DATE:	APPROVED BY:	JOB NUMBER:
NOV. 9, 2020	MAT	020-21 CO 020-21AB PL

WINDOW & DOOR SCHEDULE						
#	UNIT DIM	ROUGH OPENING	SW	TYPE	NOTE	HARDWARE
1	2'-8" X 6'-8"	2'-10 1/2" X 6'-10 1/2"	LH	9 LITE		ENTRY
2	9'-0" X 7'-0"	9'-0" X 7'-0"		GARAGE DOOR		
3	9'-0" X 7'-0"	9'-0" X 7'-0"		GARAGE DOOR		
4	2'-8" X 6'-8"		RH		1 HR FIRE DOOR	
5	2'-8" X 6'-8"		RH	SOLID STL.	1 HR FIRE DOOR	
						GENIE 750 3/4 HP
WINDOWS						
A	RELOCATED			CASEMENT		
VERIFY TYPE & FINISH W/OWNER						



PROPOSED 2 CAR GARAGE

**STANLEY**  
BUILDING CONCEPTS

BILL STANLEY  
17 May Street  
Sharon MA  
stanleyconcepts@comcast.net  
781-308-2355

VITO RESIDENCE  
5 HARLOW ROAD  
FOXBORO, MA 02035

NEW 2 CAR GARAGE

OWNER ON RECORD:

VITO, JEFFREY & LAURA

PLAN SIZE 11 X 17

SCALE: 1/4" = 1'-0"

DATE: 12/1/2020

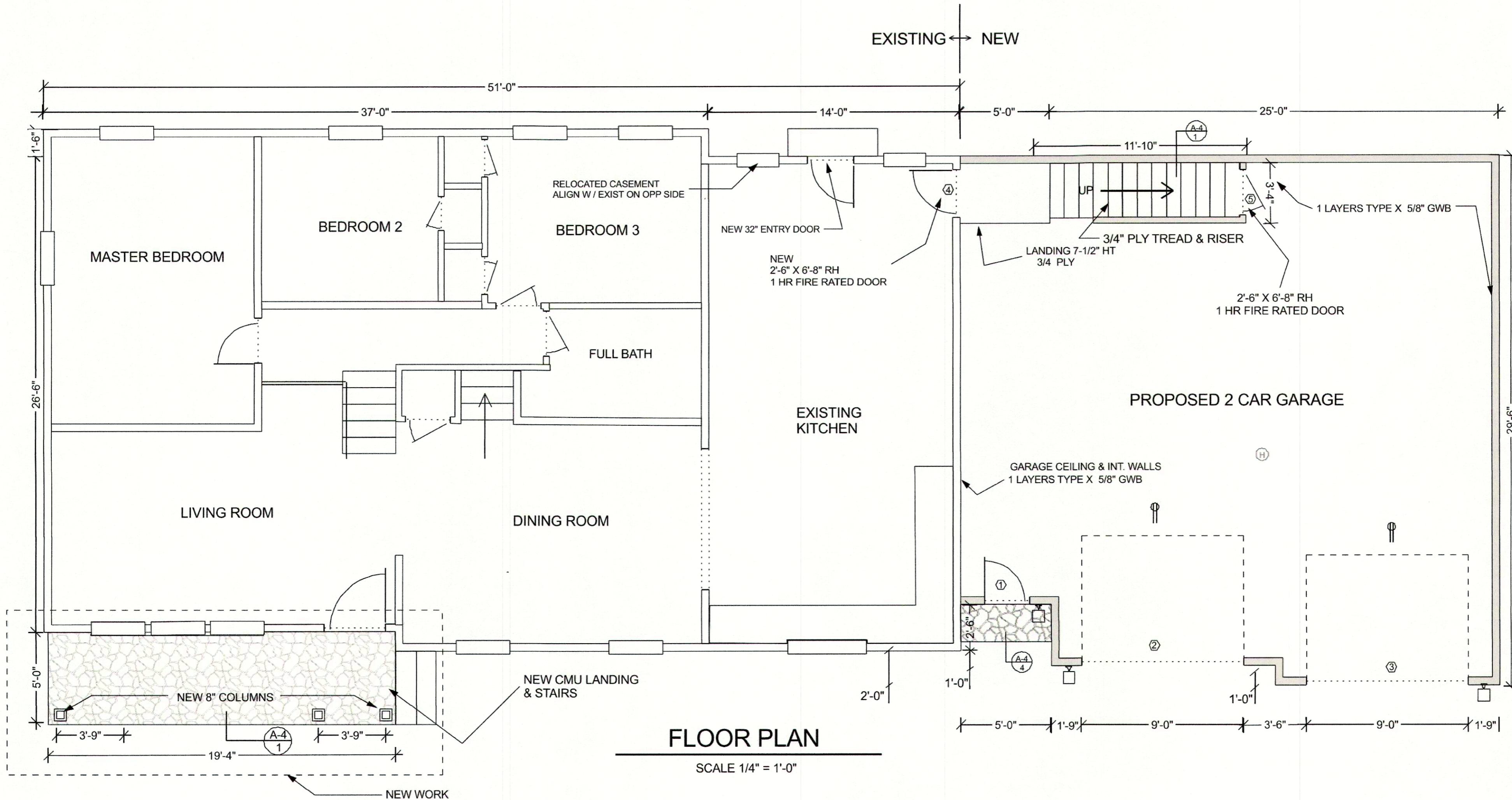
A COVER



# PROPOSED 2 GARAGE

## GENERAL NEW CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS COMMERCIAL BUILDING CODE 9TH ADDITION, ASSPCIATED MASS AMENDMENTS, AND THE RULES AND REGULATIONS OF ALL GOVERNING BODIES.
2. THE CONTRACTOR SHALL APPLY FOR AND MAINTAIN IN GOOD ORDER ALL REQUIRED PERMITS AND SHALL COORDINATE WITH OFFICIALS ALL REQUIRED INSPECTIONS AND CERTIFICATIONS
3. THE CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS WHERE REQUIRED AND VERIFY ALL FIELD CONDITIONS FOR CLEARANCES, DIMENSIONS, AND ELEVATIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES SHALL BE MARKED ON A PRINT OF THE RELEVANT DRAWING.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL REQUIREMENTS FOR INSTALLATION OF REQUIRED FURNISHINGS, WINDOWS, FIXTURES AND EQUIPMENT
5. DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED
6. GC TO INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
7. ALL PLUMBING, ELECTRICAL & HVAC PER CODE



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**FLOOR PLAN**

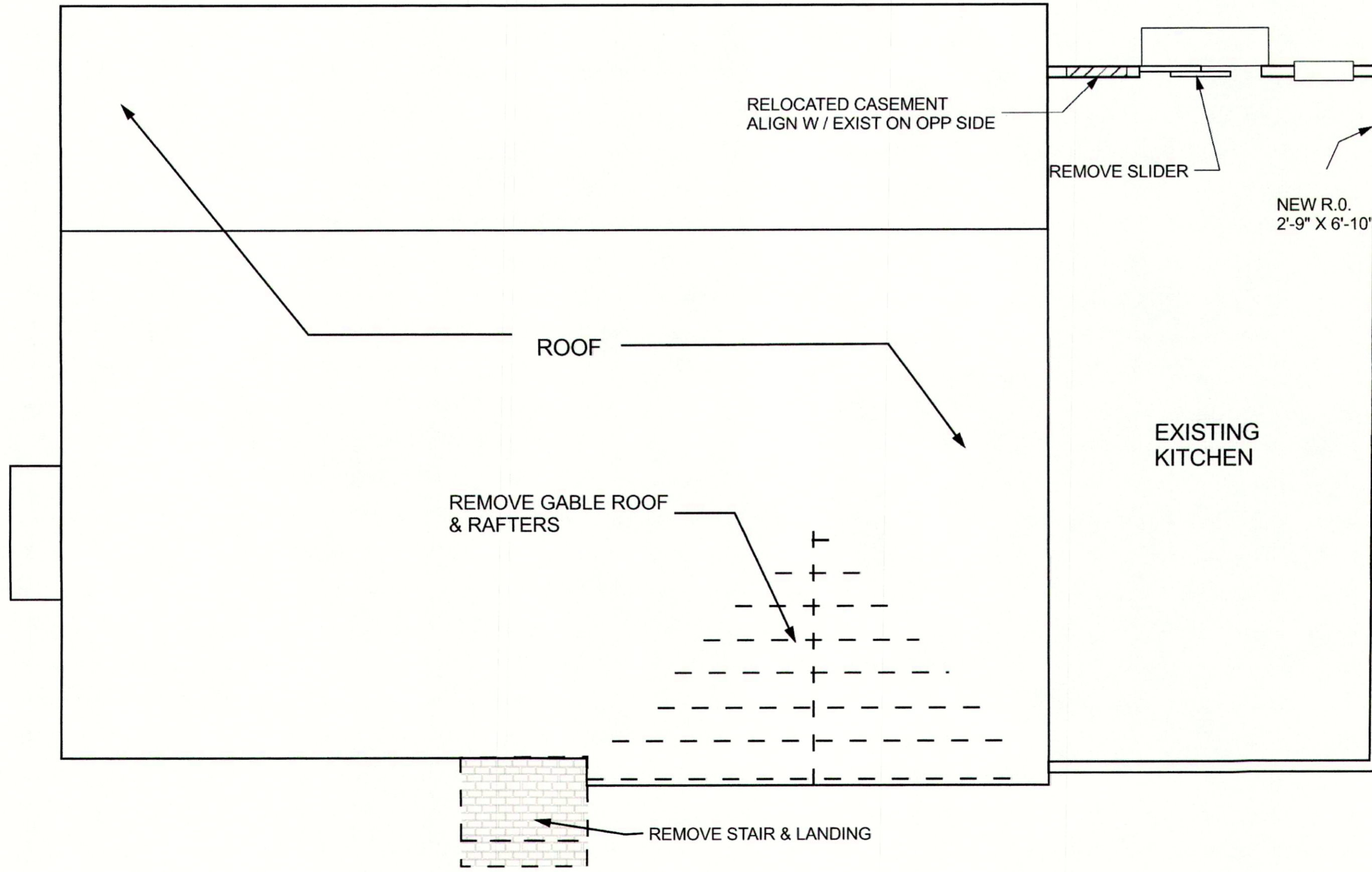
**A-1**



# PROPOSED 2 GARAGE

## GENERAL DEMOLITION NOTES:

1. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL SCOPE WITH FIELD CONDITIONS AND THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
2. SELECTIVE DEMOLITION SHALL INCLUDE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLIES, AND THE PERFORMANCE OF ALL OPERATIONS REQUIRED TO COMPLETE THE INDICATED SCOPE OF WORK.
3. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE ACTUAL WORK SCOPE WITH FIELD CONDITIONS AND DESIGN PLAN REQUIREMENTS.
  - PROTECTION FROM DAMAGE OF ALL EXISTING ITEMS TO REMAIN;
  - SALVAGE AND STORAGE OF ALL INDICATED ITEMS PER THE DRAWINGS;
  - LANDFILL DUMPING SLIPS SHALL BE RETAINED BY THE CONTRACTOR AND GIVEN TO THE OWNER UPON REQUEST.
4. THE CONTRACTOR SHALL USE DUE CARE IN CUTTING INTO AND WORKING ADJACENT TO EXISTING CONDITIONS WHICH ARE TO REMAIN.
5. THE CONTRACTOR SHALL NOTE IF THE SELECTIVE DEMOLITION PROCESS REVEALS PRE-EXISTING AND UNFORESEEN LATENT CONDITIONS OR DEFECTS REQUIRING IMMEDIATE REMEDIAL REPAIRS.
6. TEMPORARY SUPPORT WHERE WORK INVOLVES LOAD BEARING STRUCTURES, PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO SAFELY TRANSFER REQUIRED LOAD. DO NOT PROCEED WITH WORK UNLESS ALL SHORING IS IN PLACE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK, AND ARRANGING FOR ANY REQUIRED INSPECTIONS.



**DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"



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**DEMO PLAN**

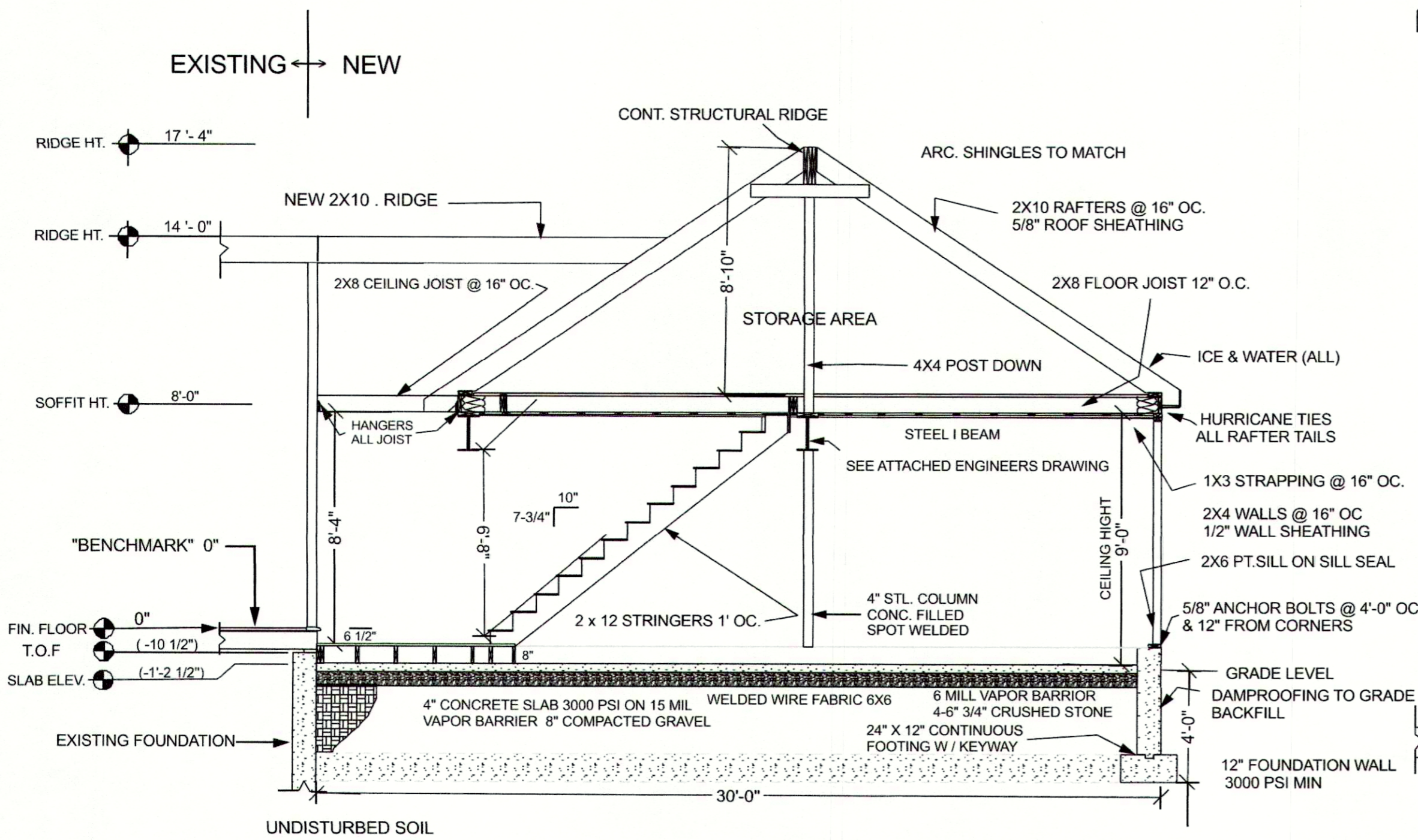
**A-2**



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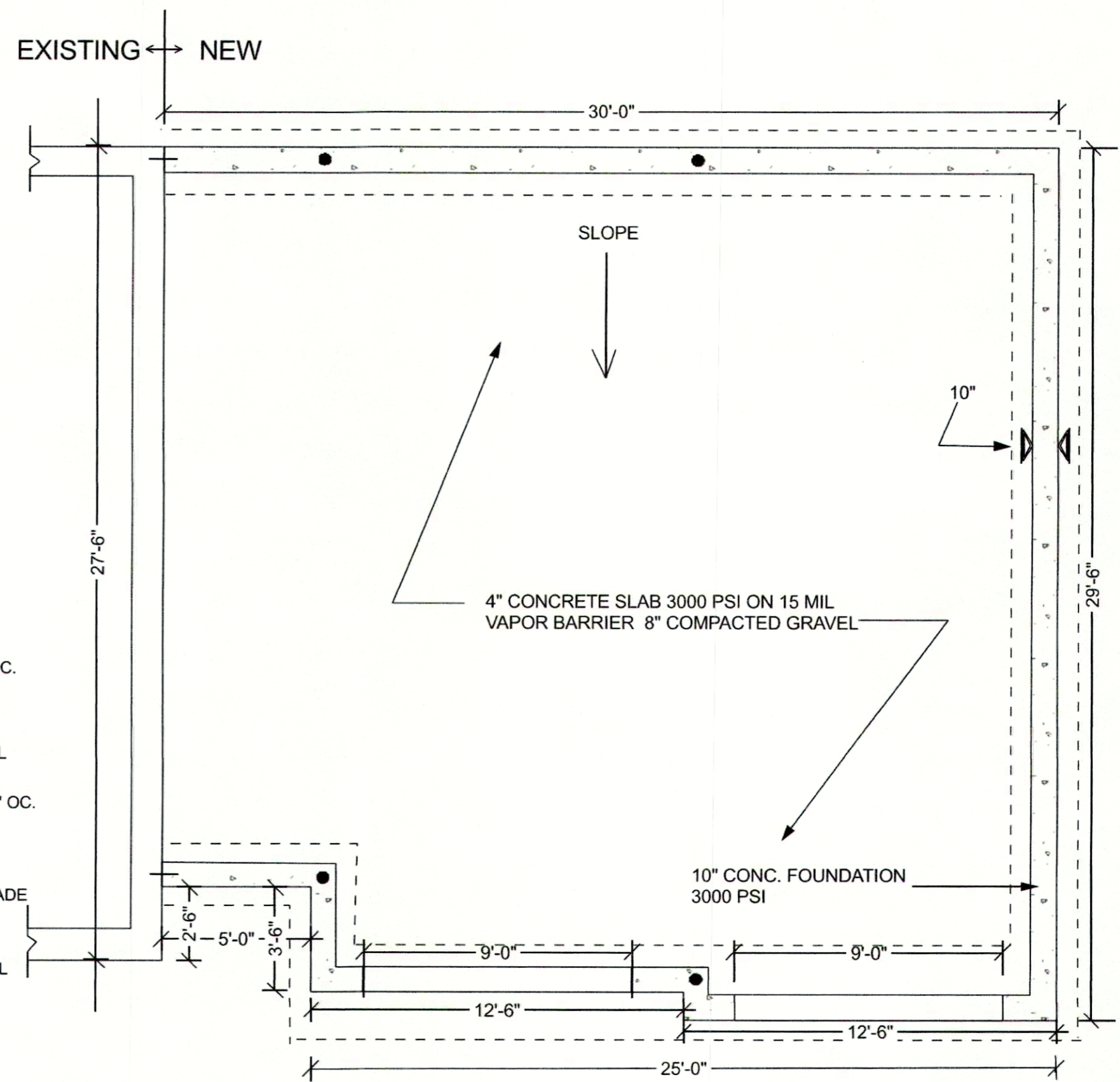


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**BUILDING SECTION**

SCALE: 1/2" = 1'-0"



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**FINISHES**  
 ALL RAKES, SOFFITS & EXTERIOR TRIM TO BE AZAK OR EQUIV.  
 SIDING—VERIFY WITH OWNER  
 ROOFING—30 YEAR ARC. SHINGLE

**R-VALUES**  
 WALLS R-21  
 RAFTERS R-49  
 GARAGE FOUNDATION R-10

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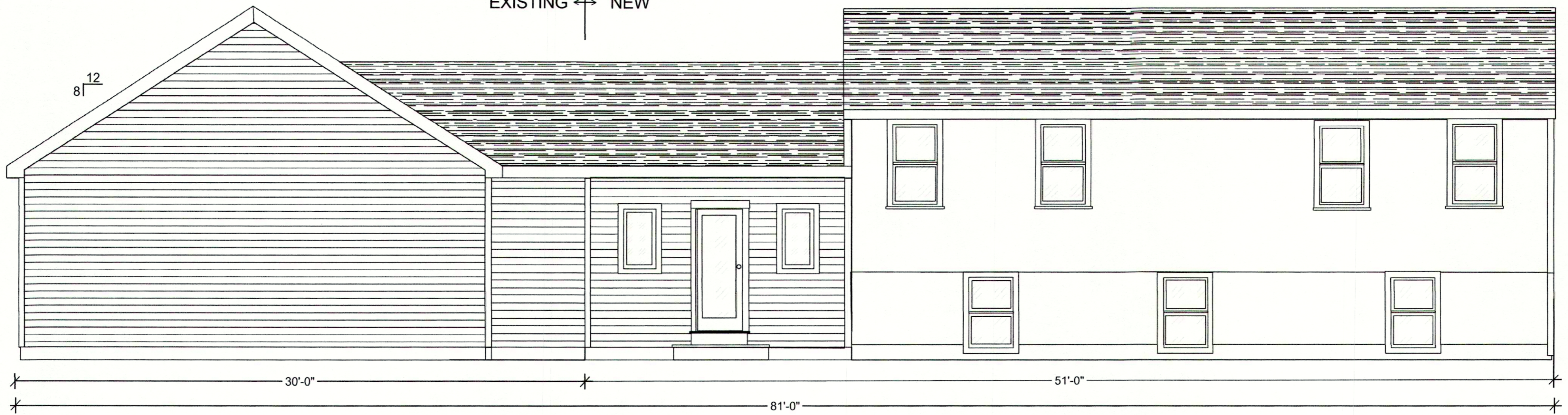
**FOUNDATION PLAN**

**A-3**

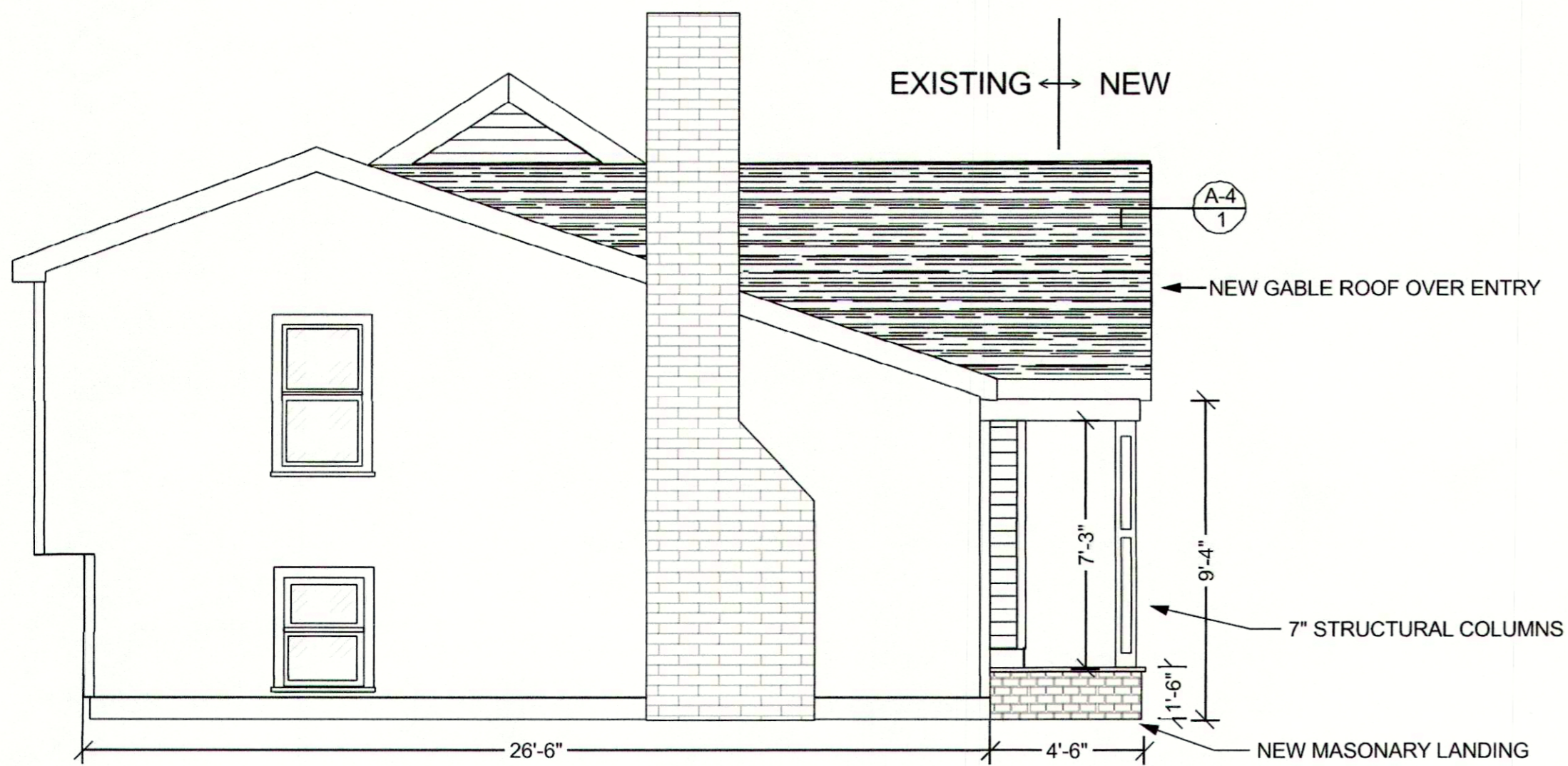


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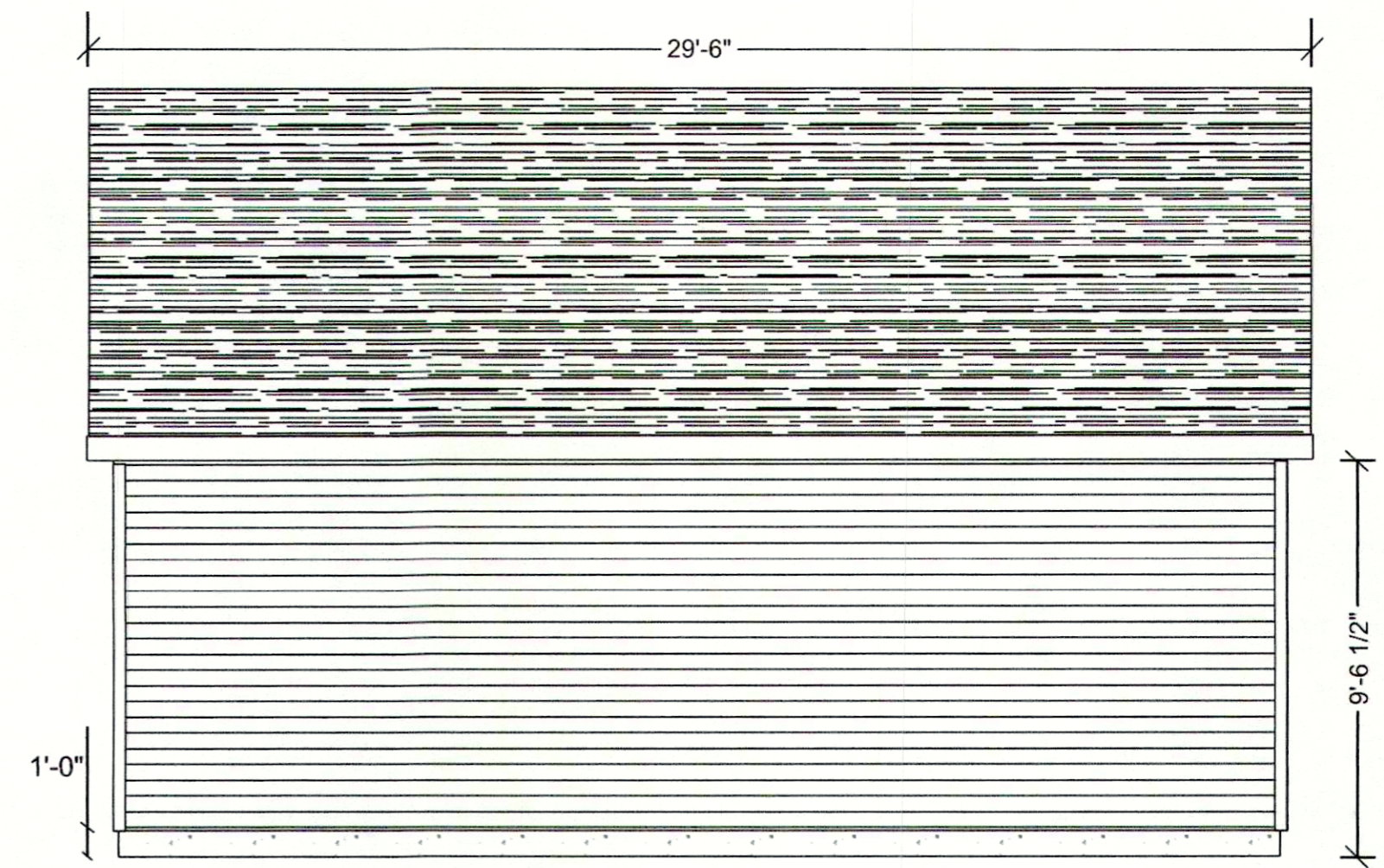
EXISTING ← NEW



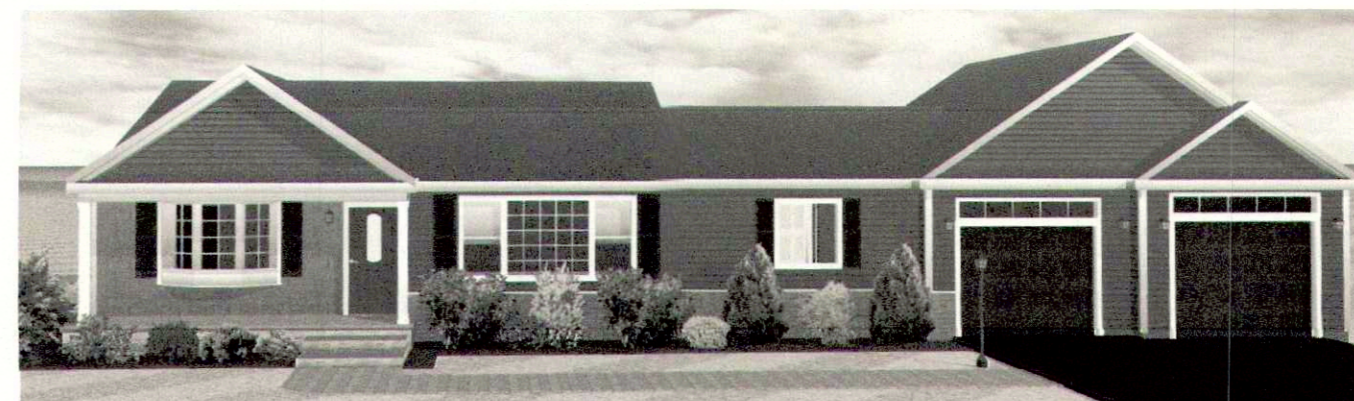
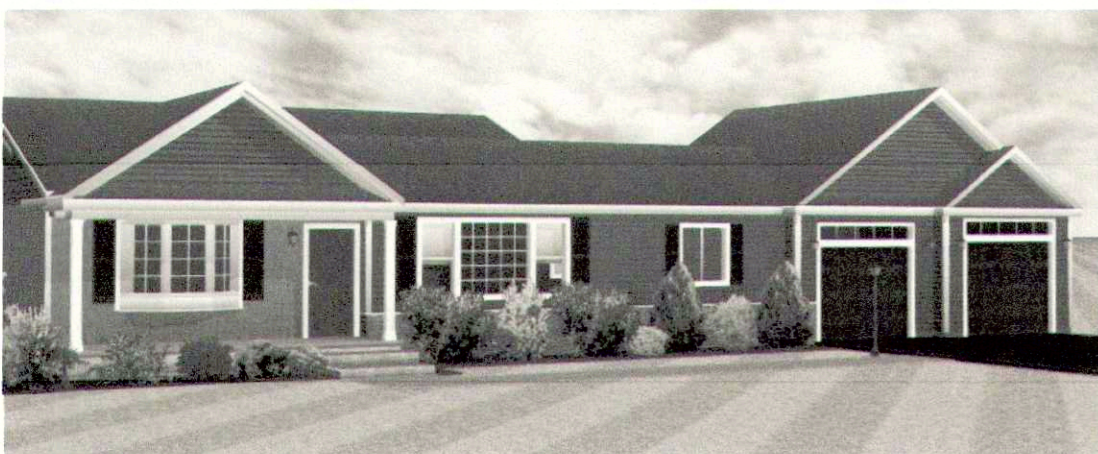
**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"



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ELEVATIONS

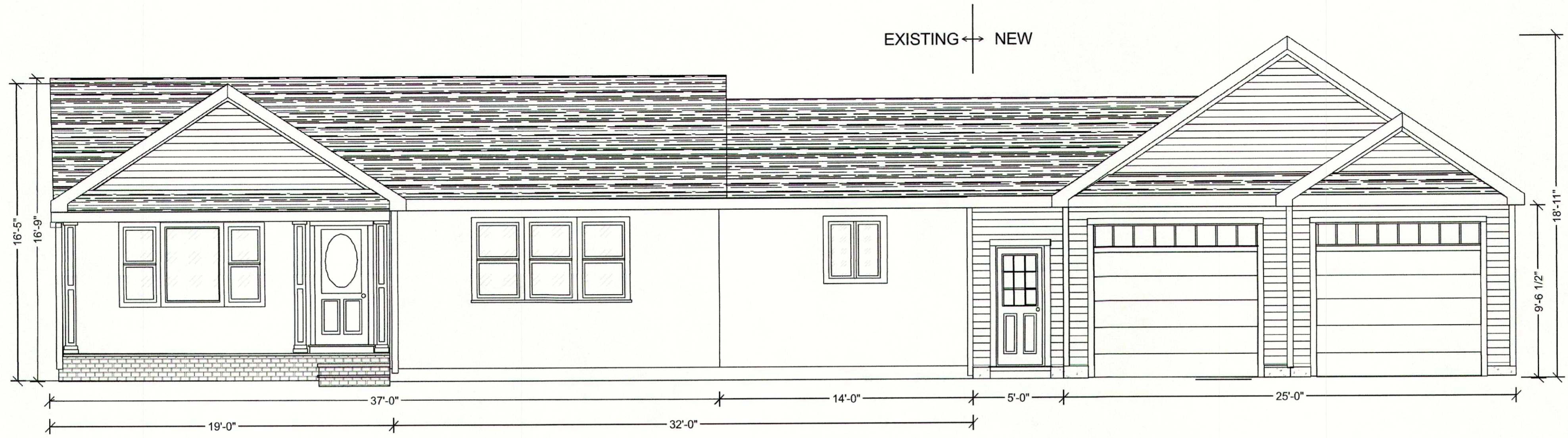
**A-4**



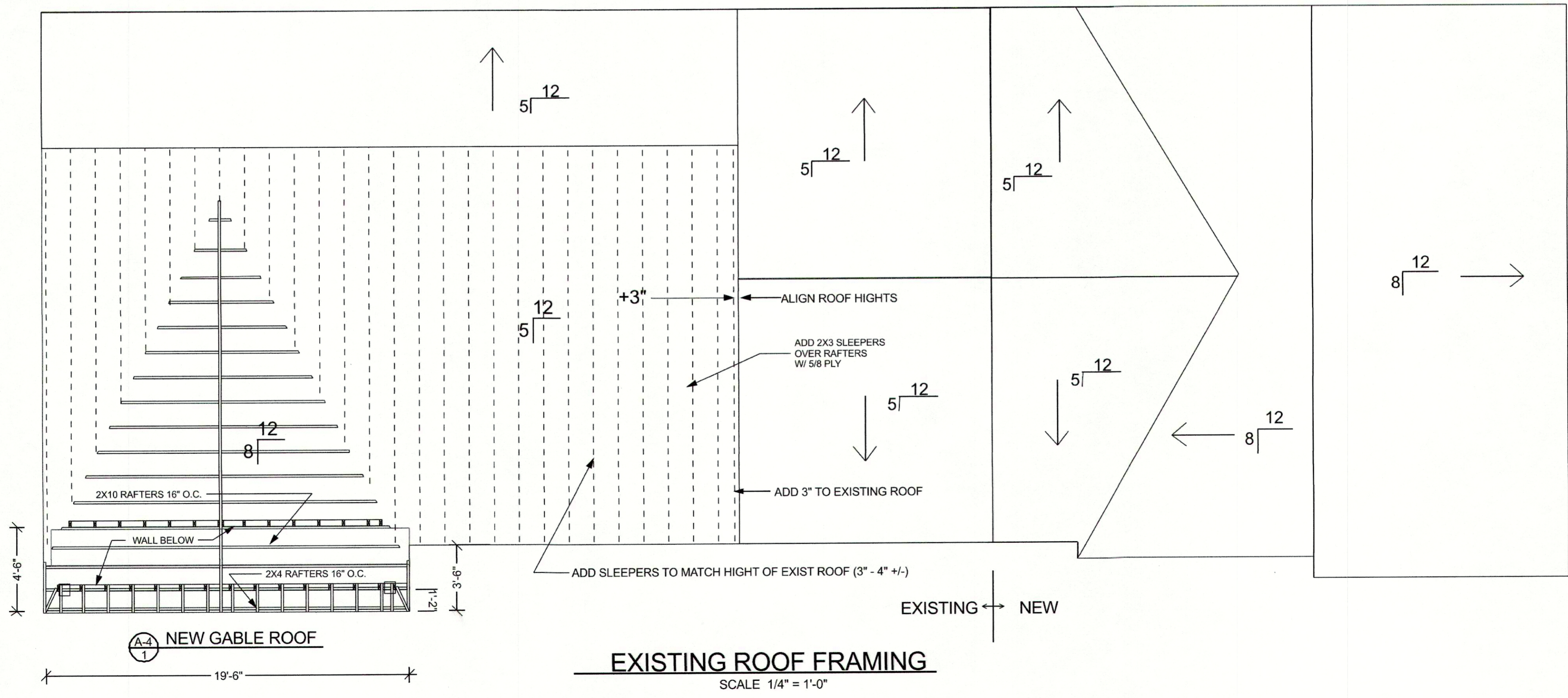
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**SOUTH ELEVATION**  
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**EXISTING ROOF FRAMING**  
 SCALE 1/4" = 1'-0"

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ELEVATIONS

**A-5**