

Bay Colony Group, Inc.

Professional Civil Engineers & Land Surveyors

4 School Street, PO Box 9136
Foxborough, Massachusetts 02035
Telephone (508) 543-3939 • Fax (508) 543-8866
E-mail: mailbox@baycolonygroup.com

NOTICE OF INTENT WETLANDS PROTECTION ACT MASS G.L.C. 131, SECTION 40

**31 Water Street
Foxborough, MA**

August, 2021

**PREPARED FOR: Steven Gringeri
54 Shoreline Drive
Foxborough, MA 02035**

Bay Colony Group, Inc.

Professional Civil Engineers & Land Surveyors

4 School Street, PO Box 9136
Foxborough, Massachusetts 02035
Telephone (508) 543-3939 • Fax (508) 543-8866
E-mail: mailbox@baycolonygroup.com

August 28, 2021

Mr. Robert W. Boette, Chairman
Foxborough Conservation Commission
40 South Street
Foxboro, MA 02035

**RE: 31 WATER STREET
FOXBOROUGH, MA**

Dear Mr. Boette,

On behalf of our client, Steven Gringeri, we are submitting herewith a Notice of Intent pursuant to MGL Chapter 131, S.40, Wetlands Protection Act (WPA) and Article 267 of the General Bylaws of the Town of Foxborough for the construction of a single-family home along with the associated driveway, grading, septic system and utilities at 31 Water Street that lies partially within the buffer zone to a bordering vegetated wetland (BVW) and Inland Bank (IB)

Enclosed please find 8 copies of the Notice of Intent, which includes the sewage disposal system design plan prepared by this office. All abutting owners within 100' of the property have been notified about the proposed work by certified mail. A check in the amount of \$262.50 based on the WPA fee of \$500.00 and a check in the amount of \$500.00 based on the local bylaw is enclosed.

The property consists of two parcels (Map 105 Parcel 027 & Map 105 Parcel 026) located on the banks of Cocasset Lake on the northern side of Water Street about 340' from where it intersects with Prospect Street (**Appendix A**). Parcel 027 or 31 Water Street contains an existing single-family home located on a 46,770+/- sf. parcel of land with 204' of frontage on Water Street. The second parcel, parcel 026, is a 134,892+/- sf. parcel of undeveloped land with 50' of frontage on Water Street. These parcels also contain BVW located along the banks of Cocasset Lake. The wetlands were flagged by the Pare Corporation and the flags were located by this office in an on the ground survey on April 13, 2021.

The proposed project will involve the demolition of the existing home on Lot 1 and the construction of new dwelling on Lot 2 that will be serviced by 362 linear feet of new driveway. A majority of Lot 2 lies within the 100' buffer zone therefore much of the work taking place on the parcel will be within the buffer zone. This work includes a portion of the driveway,

home, patio, pool and the associated grading. About 3,547+/- sf of buffer zone will be altered due to the driveway, about 7,225+/- sf will be altered due to the house, about 1,404+/- sf due to the patio, about 492+/- sf due to the pool and about 10,668+/- sf will be altered due to grading. In total about 23,336+/- sf of alterations will take place within the 100' buffer zone. The proposed home will sit about 35' from the BVW at its closet point, the driveway will sit about 33', the patio will sit about 38', the pool will sit about 46' and the grading will take place about 27' from the BVW at its closet point. The impervious area on the parcel will now be 11.2% of the total lot area. The home will be serviced by a FAST septic system located at the front of the home on the southern side of the property. The proposed septic system will require waivers from the Foxborough Board of Health to be constructed because the leaching field will be located within a 150' from Cocasset Pond.

A portion of the existing home on Lot 1 to be demolished is located within the 200' Riverfront Area. The demolishing of the home is exempt from the Riverfront area regulation because it is a single-family home in existence since 1902.

We are proposing a storm water system that will include a crushed stone trench along the edge of the roadway, a rain garden and roof drain infiltrators. The runoff from the roadway will infiltrate through the crushed stone trench and anything not captured by the trench will drain to the natural low area at the beginning of the driveway which will infiltrate the runoff thru the natural soils. The runoff from the driveway will infiltrate thru the rain garden located at the top of the driveway. Roof runoff will be infiltrated through the use of on-site infiltrators located in the front and the back of the home

Erosion control for this project will consist of a 12" mulch filled silt sock barrier installed along the 25-No Disturb Zone to ensure that no work will take place within the No Disturb area. The silt sock will be installed prior to the start of construction and will be maintained till the site has been stabilized.

We have not finalized the construction sequence for this project but the general sequence of construction for this project is as follows:

- Cut trees
- Install erosion control
- Remove stumps and grub
- Bring site to subgrade
- Install underground utilities
- Pave base course
- Tear down existing home
- Construction of single-family home
- Construction of sewage disposal system
- Landscaping
- Pave top course

This sequence is subject to change based on weather, availability of materials, and personnel.

Thank you for your consideration and please feel free to contact me should you have any questions or concerns that you would like us to address prior to the public hearing.

Very truly yours,

BAY COLONY GROUP, INC.

A handwritten signature in black ink, appearing to read 'C. Gray', written in a cursive style.

Cameron Gray
Project Engineer

A handwritten signature in blue ink, appearing to read 'W. Buckley, Jr.', written in a cursive style.

William R. Buckley, Jr., P.E.
Project Manager

encl.

List of Documents

Previous Page – Letter to Conservation Commission

WPA Form 3 – Notice of Intent
Wetland Fee Transmittal Form
Copies of Checks
Town of Foxborough Checklist

Form of Notification to Abutters

List of Abutters

Appendix A
USGS Quadrangle Map Extract
FEMA Flood Insurance Rate Map
MassGIS Extract

Appendix B
Wetland Delineation Report

Attachments
Definitive Plan of Land in Foxborough, MA 31 Water Street dated July 30,
2021



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

(To be provided by MassDEP)

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
 Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number

Foxborough
 Town

Important: When filling out forms on the computer, use only the tab key to move your cursor – do not use the return key.



A. General Information

1. Project Location:

31 Water Street
 a. Street Address
 Foxborough
 b. Town
 02035
 c. Zip Code
 Latitude and Longitude:
 42° 03' 21.3"N
 d. Latitude
 71° 15' 37.9"W
 e. Longitude
 105
 f. Assessors Map/Plat Number
 026-027
 g. Parcel /Lot Number

2. Applicant:

Steven
 a. First Name
 Gringeri
 b. Last Name
 c. Organization
 54 Shoreline Drive
 d. Street Address
 Foxborough
 e. City/Town
 MA
 f. State
 02035
 g. Zip Code
 617.680.8039
 h. Phone Number
 i. Fax Number
 steve@gringeri.net
 j. Email Address

Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

3. Property owner (required if different from applicant): Check if more than one owner

Bruce
 a. First Name
 McAuliffe
 b. Last Name
 c. Organization
 80 Spruce Street
 d. Street Address
 Foxborough
 e. City/Town
 MA
 f. State
 02035
 g. Zip Code
 h. Phone Number
 i. Fax Number
 j. Email address

4. Representative (if any):

William
 a. First Name
 Buckley, Jr.
 b. Last Name
 Bay Colony Group, Inc.
 c. Company
 4 School Street
 d. Street Address
 Foxborough
 e. City/Town
 MA
 f. State
 02035
 g. Zip Code
 508.543.3939
 h. Phone Number
 508.543.8866
 i. Fax Number
 billbuckley@baycolonygroup.com
 j. Email address

5. Wetland Filing Fees Paid (to calculate fees, refer to attached NOI Wetland Fee Transmittal Form):

\$500
 a. State WPA Fee/Total
 \$237.50
 b. WPA Fee/State's Share
 \$262.50
 c. WPA Fee/Town's Share
 \$500
 d. Town Bylaw (Ch. 267) Fee



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number

Foxborough
Town

A. General Information *(continued)*

6. General Project Description:

Demolition of a existing single family home and the construction of a single-family home along with the associated driveway, grading, septic system and utilities that lie partially within the buffer zone to a bordering vegetated wetland, inland bank and riverfront area

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. N/A - Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk		38066	499
a. County	b. Certificate # (if registered land)	c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, or Inland Bank.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number _____
Foxborough
Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (continued)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement</u> <i>(if any)</i>
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area <i>(if checked, complete #1-6)</i>	Cocasset River	
	1. Name of Waterway (if available)	
2. Width of Riverfront Area (check one):		
<input type="checkbox"/> 25 ft. - Designated Densely Developed Areas only		
<input type="checkbox"/> 100 ft. - New agricultural projects only		
<input checked="" type="checkbox"/> 200 ft. - All other projects		
3. Total area of Riverfront Area on the site of the proposed project:	13,094 square feet	
4. Proposed alteration of the Riverfront Area:		
59	0	59
a. total square feet	b. square feet within 100 feet	c. square feet between 100 feet and 200 feet
5. Has an alternatives analysis been done and is it attached to this NOI?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
6. Was the lot where the activity is proposed created prior to August 1, 1996?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
3. <input type="checkbox"/> Bylaw Resource Areas <i>(Foxborough Wetlands Protection Bylaw, Ch. 267; No Activity Zones)</i>		
a. <input type="checkbox"/> 100 Foot Vernal Pool Adjacent Upland Resource Area		
b. <input type="checkbox"/> 25 Foot No Activity Zone		
4. <input type="checkbox"/> Restoration/Enhancement - If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b above, please enter the additional amount here.		
a. square feet of BVW		
5. <input type="checkbox"/> Project Involves Stream Crossings		
a. number of new stream crossings	b. number of replacement stream crossings	



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number

Foxborough

Town

C. Other Applicable Standards and Requirements

This is a proposal for an Ecological Restoration Limited Project. If checked, skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No

If yes, include proof of mailing or hand delivery of NOI to:
Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife, 1 Rabbit Hill Road
Westborough, MA 01581 - Phone: (508) 389-6360

2021 Mass GIS

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.1.f, if applicable. If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).

c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____
percentage/acreage

(b) outside Resource Area _____
percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (include description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

(c) MESA filing fee - Make check payable to "Commonwealth of Massachusetts - NHESP" and mail to NHESP at above address (fee information available at <https://www.mass.gov/regulatory-review>)

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR - see next page

* Some projects not in Estimated Habitat may be located in Priority Habitat (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>) and require NHESP review. Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number

Foxborough

Town

C. Other Applicable Standards and Requirements (continued)

(f) OR Check One of the Following

1. *Project is exempt from MESA review.*

Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.59.)

2. *Separate MESA review ongoing.*

a. NHESP Tracking #

b. Date submitted to NHESP

3. *Separate MESA review completed.*

Include copy of NHESP "no Take" determination or valid Conservation and Management Permit with approved plan.

3. For coastal projects only: Not applicable in Foxborough

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. Yes No If yes, provide name of ACEC.

Canoe River Aquifer

b. ACEC

5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. Yes No

6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A)?

a. Yes No

7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. **Yes.** Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)

2. A portion of the site constitutes redevelopment

3. Proprietary BMPs are included in the Stormwater Management System.

b. **No.** Check why the project is exempt:

1. Single-family house

2. Emergency road repair

3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

8. **This is a proposed Ecological Restoration Limited Project.** [If checked, skip Section D and complete Appendix A: Ecological Restoration NOI; Minimum Required Documents (310 CMR 10.12).]



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number

Foxborough

Town

D. Additional Information

Applicants must include the following with this Notice of Intent (NOI). *See instructions for details.*

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site.
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology
4. List the titles and dates for all plans and other materials submitted with this NOI.

Sewage Disposal System Design

a. Plan Title

Bay Colony Group, Inc.

William Buckley, Jr., #35813

b. Prepared By

c. Signed and Stamped by

August 20, 2021

1"=40'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

h. Additional Plan or Document Title

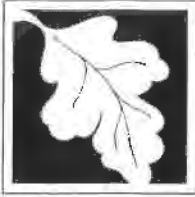
i. Date

5. If more than one property owner, attach a list of property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Notice of Intent Application checklist
8. Abutter Notification Form
9. Affidavit of Service Form
10. Attach Stormwater Report with signed, stamped Stormwater Checklist (unless exempt).

E. Fees

1. a. Fee Exempt: No filing fee shall be assessed for projects of any town, county, or district of the Commonwealth, municipal housing authority, or the Massachusetts Bay Transportation Authority.
- b. Applicants must submit the following information to confirm fee payment (*in addition to pages 1 and 2 of the attached NOI Wetland Fee Transmittal Form*):

2. Check Number (town share of state fee [see A.5.c., page 1])	1422	3. Check date (town share of state fee)	8/27/2021
4. Check Number (Bylaw filing fee [see A.5.d, page 1])	1420	5. Check date (Bylaw filing fee)	8/27/2021
6. State Check Number (state share of state fee [see A.5.b.])	1423	7. Check date (state share of state filing fee)	8/27/2021
8. First Name of Payor on checks	Steve	9. Last Name of Payor on checks	Gringeri



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number _____
Foxborough
Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

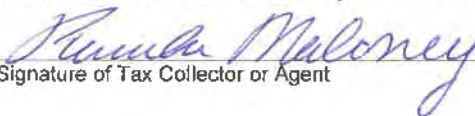
I hereby grant permission, to the Agent or member of the Conservation Commission and the Department of Environmental Protection, to enter and inspect the area subject to this Notice at reasonable hours to evaluate the wetland resource boundaries, if included with this application, subject to this Notice, and to require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

	8/27/21
1. Signature of Applicant	2. Date
	
3. Signature of Property Owner (if different)	4. Date
5. Signature of Representative (if any)	6. Date

Tax Collector's Release

The above referenced applicant is applying for a permit from the Conservation Commission and is in good standing with respect to any taxes, fees, assessments, betterments or other municipal charges as recorded with the Foxborough Treasurer's Office.

	8/30/21
1. Signature of Tax Collector or Agent	2. Date



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

(To be provided by MassDEP)

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Ch. 267

MassDEP File Number

Foxborough
Town

F. Signatures and Submittal Requirements

Submittal Requirements (please refer to *NOI Filing Instructions*, downloadable at http://www.foxboroughma.gov/Pages/FoxboroughMA_Conservation/Forms)

For Foxborough Conservation Commission:

One original and seven (7) copies of this completed Notice of Intent (form 3), including supporting plans and documents (listed at section D. "Additional Information"), NOI Filing Check List, Abutter Notification, one copy of the NOI Wetland Fee Transmittal Form (see following page; attached), and the two town fee payments (Bylaw filing fee and town share of State filing fee), by certified mail or hand delivery to:

Foxborough Conservation Commission
Town Hall, 40 South Street, Foxborough, MA 02035

For MassDEP:

One copy of this completed Notice of Intent (form 3), including supporting plans and documents (listed at Section D), one copy of the NOI Wetland Fee Transmittal Form (attached), and a **copy** of the state fee payment (for State share, see below) by certified mail or hand delivery to:

MassDEP Southeast Regional Office
20 Riverside Drive, Lakeville, MA 02347

State share of the filing fee (check or money order, payable to the *Commonwealth of Massachusetts*) and the NOI Wetland Fee Transmittal Form by certified mail or hand delivery to:

Department of Environmental Protection
Box 4062, Boston, MA 02211

Other:

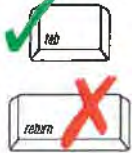
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements. The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
 Foxborough Wetlands Protection Bylaw, Chapter 267



Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:
 31 Water Street
 a. Street Address Foxborough
 b. City/Town

2. Applicant Mailing Address:
 Steven
 a. First Name Gringeri
 b. Last Name

c. Organization
 54 Shoreline Drive Foxborough MA 02035
 d. Mailing Address e. City/Town f. State g. Zip Code
 617.680.8039
 h. Phone Number i. Fax Number steve@gringeri.net
 j. Email Address

3. Property Owner (if different from Applicant):
 Bruce
 a. First Name McAuliffe
 b. Last Name

c. Organization
 80 Spruce Street Foxborough MA 02035
 d. Mailing Address e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees - Please see NOI Instructions before filling out worksheet.

- Fees should be calculated using the following process and the worksheet on the next page.
- Refer to Conservation Commission's website to download the Town and State Filing Fee Schedules:
http://www.foxboroughma.gov/Pages/FoxboroughMA_Conservation/Forms
- State Wetlands Protection Act (WPA) Filing Fee Instructions**
- Step 1/ Type of Activity:** Describe each type of activity that will occur in a wetland resource area and/or buffer zone (*the area within 100 feet of a wetland, or 200 feet of a river*).
- Step 2/ Number of Activities:** Identify the number of each type of activity.
- Step 3/ Individual Activity Fee:**
 Identify each activity fee from the six project categories listed in the instructions.
- Step 4/ Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount.
- Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.*
- Step 5/ Total State Project Fee:**
 Determine the total project fee by adding the subtotal amounts from Step 4.
- Step 6a-c/ Fee Payments (State):**
 To calculate the state share of the fee, divide the total fee in half and subtract \$12.50.
 To calculate the town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
 Foxborough Wetlands Protection Bylaw, Chapter 267



B. Fees (continued)

Town Bylaw Filing Fee Instructions

Step 1a/ Type of Activity:

Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2a/ Number of Activities: Identify the number of each type of activity.

Step 3a/ Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4a/ Subtotal Activity Fee: Multiply the number of activities (identified in Step 2a) times the fee per category (identified in Step 3a) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5a/ Total Bylaw Project Fees:

Determine the total project fee by adding the subtotal amounts from Step 4a.

Step 6d/ Fee Payment (Bylaw): *Insert Step 5a fee payment amount.*

Type of Activity	Number of Activities	Individual Activity Fee	Subtotal Activity Fee
State Filing Fees: (Step 1)	(Step 2)	(Step 3)	(Step 4)
2. a. - Construction of Single-Family Home	1	\$500	\$500
Total State Filing Fee: (Step 5)			
Bylaw Filing Fees: (Step 1a)	(Step 2a)	(Step 3a)	(Step 4a)
2.a. - Construction of Single-Family Home	1	\$500	\$500
Total Bylaw Filing Fee: (Step 5a)			
Filing Fee Payments: (Step 6)			
Total State Filing Fee:	(insert the following amount on this NOI form page 1, Section A.5.a)		\$500 a. Total State Fee from Step 5
State's share of filing fee: (Paid to State [Boston address])	(insert following amount on this NOI form page 1, Section A.5.b.)		\$237.50 b. 1/2 of (a), above, less \$12.50
Town's share of filing fee: (Paid to Town of Foxborough)	(insert following amount on this NOI form page 1, Section A.5.c.)		\$262.50 c. 1/2 of (a) above, plus \$12.50
Bylaw Filing Fee: (Paid to Town of Foxborough)	(insert following amount on this NOI form page 1, Section A.5.d.)		\$500 d. Total Bylaw Fee from Step 5a

See Submittal Requirements and Instructions on the next page.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Chapter 267



C. Submittal Requirements

For additional instructions, please refer to the Submittal Instructions on the last page (page 7) of the attached NOI Form (above).

a. **To Department of Environmental Protection:**

Complete pages 1 and 2 of this NOI Wetland Fee Transmittal Form and send with a check or money order for the **State share of the filing fee**, payable to the *Commonwealth of Massachusetts*.

Department of Environmental Protection
Box 4062
Boston, MA 02211

b. **To the Foxborough Conservation Commission:**

Send the Notice of Intent or Abbreviated Notice of Intent; one **copy** of this form and the Town fee payments (**Bylaw fee and town share of State fee**), payable to the *Town of Foxborough*.

Foxborough Conservation Commission
40 South Street
Foxborough, MA 02035

c. **To MassDEP Regional Office:**

Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment.

MassDEP, Southeast Regional Office
20 Riverside Drive
Lakeville, MA 02347

STEVEN GRINGERI
54 SHORELINE DR
FOXBORO, MA 02035

1420

53-13/110 MA
26554

8/27/21

Pay To The Order of Town of Foxborough \$ 500.00
Five hundred 00/100

Bank of America

ACH R/T 011000138

to Water St

Steven Gringeri MP

Harland Clarke

STEVEN GRINGERI
54 SHORELINE DR
FOXBORO, MA 02035

1422

53-13/110 MA
26554

8/27/21

Pay To The Order of Town of Foxborough \$ 262.50
Two hundred sixty-two and 50/100

Bank of America

ACH R/T 011000138

to Water St

Steven Gringeri MP

Harland Clarke

STEVEN GRINGERI
54 SHORELINE DR
FOXBORO, MA 02035

1423

53-13/110 MA
26554

8/27/21

Pay To The Order of Commonwealth of Massachusetts \$ 237.50
Two hundred thirty-seven 50/100

Bank of America

ACH R/T 011000138

to Water St.

Steven Gringeri MP

Harland Clarke

NOTICE OF INTENT APPLICATION CHECKLIST

This checklist, which is referred to in the Conservation Commission's *Filing Instructions for Notices of Intent Under the Foxborough Wetlands Protection Bylaw, Chapter 267*, has been designed to efficiently assist the applicant and the Commission through the review process. It applies to all filings under the Foxborough Wetlands Protection Bylaw, Chapter 267 (unless otherwise specifically stated). Close adherence to this checklist and the referenced *Filing Instructions* is recommended.

All of the following information will be required, unless exempted in writing by the Commission. After completing each item below, please check the box next to the item and, when finished, **include a copy of the completed checklist in your NOI application package.**

INFORMATION TO BE INCLUDED IN NOTICE OF INTENT NARRATIVE

EXISTING CONDITIONS

- Description of topography, soils, and geology
- Description of vegetation types (upland or wetlands community types and plant species)
- USGS quadrangle map (most recent version), with site location circled (locus map)
- National Flood Insurance Program (NFIP) Flood Insurance Rate Map (FIRM), and associated Flood Profile Study if available, with site location circled

PROPOSED CONDITIONS

- Description of activities, construction sequencing and estimated timetable, including future phases
- Description of indirect and direct impacts, both temporary and permanent, on wetland resource areas
- Calculations of lot's impervious areas, comparing pre-construction to post construction conditions
- Volume of fill required, if applicable, and source of fill
- Description of soil erosion and sediment control plan, including monitoring and measures to be taken to prevent negative impacts to resource areas
- Detailed mitigation plan for activities in the buffer zone to prevent long term, indirect impacts to adjacent resource areas
- Description of storm water management plan, including existing and proposed drainage areas
- Description of wastewater management plan, if applicable
- Description of wetlands restoration plan, if proposed, including area to be restored with existing and proposed topography contours (at one-foot intervals), description of soils, stockpile areas, plantings (including Latin names of plants/seeds and source of materials [both plants and soils]), invasive species eradication and monitoring plan and a timetable of proposed work.

SITE VISIT REQUIREMENTS FOR REVIEW OF NOTICE OF INTENT

The following markings and flagging must be in place before the field inspection, where applicable. Failure to properly stake and mark the site may result in delays, non-review, or denial of a proposed project.

- Edges of wetlands must be flagged with numbered flags, as reflected on submitted project plans
- House number must be visible from the street, if work is proposed at a pre-existing house; if no house is on the property, the lot number must be posted and visible.
- Property boundaries must be staked with numbered stakes at all corners
- All proposed structures or additions, including decks, must be staked for identification purposes at all corners; stakes must be numbered and labeled, as reflected on submitted project plans
- Locations of septic tank, leaching field and wells (if in the buffer zone) must be staked and labeled

INFORMATION TO BE INCLUDED ON SITE PLANS

ALL PLANS

- Title Box:** Include the date, name and address of proposed project; owner and/or applicant name; preparer's name; scale (1 inch = 30 feet or less); north arrow; assessor's map/parcel number
- Stamp/Signature:** Plan to be prepared and stamped by a registered professional engineer (PE) or land surveyor, as appropriate. At least one original signed copy of each plan must be submitted
(Note: The professional who stamps the original plans must also stamp, sign and date revisions.)
- Locus Map:** Include on a corner of plan's first page, at least 3" x 3" in size
- Topography:** Contours at two-foot intervals or less; NAVD88 elevations (if available), or assumed datum and location of benchmark elevation
- Project Site:** Include lot size(s) and property boundaries.
- Abutting Properties:** Property owner names and property lines of abutting land parcels
- Watershed Areas:** For projects that alter the stormwater runoff from the site, identify total watershed area in which site is located, all sub-watersheds on site, and on- and off-site discharge points
- Test Pits:** Location, date and soil summaries of all soil borings and test pits on site; location, date and readings of groundwater level measurements on site
- Stone walls** or other barriers located between the area of work and the area(s) subject to protection
- Easements:** Location and type of easements, both on site and within 50 feet of property line

Resource Areas and Buffer Zones

- Wetland Resource Areas:** Boundaries of wetland resource areas on or within 100 feet of the proposed project area (200 feet for perennial streams and rivers), with flow directions, if applicable
- Wetland Flags:** Numbered flags/stakes; note date of flagging and name/firm of delineator/botanist
- Bank:** Delineate the banks of streams, rivers, ponds and/or lakes
- 25 Foot No Activity Zone** (Chapter 267)
- Bordering Land Subject to Flooding,** including 100-year storm elevation (FEMA floodplain or highest observed or recorded elevation)
- Isolated Land Subject to Flooding,** including highest observed or recorded water level
- Vernal Pools,** (all) including highest observed or recorded water level
- Certified Vernal Pools:** Boundary of 100 foot No Activity Zone (Chapter 267)
- High Water Level** for all water bodies, from best available data (data source must be cited)
- Riverfront Area:** Boundaries of 100 Foot Inner Riparian Area and 200 Foot Outer Riparian Area
- Mean Annual High Water Line** (MAHWL) of any river
- 100 Foot Buffer Zone** (100-foot radius from all wetland resources areas)

EXISTING CONDITIONS PLANS

- Existing Topography:** Contours at two-foot intervals or less
- Above-Ground:** All on-site above-ground structures, roadways, access ways, stone walls, fences
- Below-Ground:** All on-site below-ground structures, including but not limited to utility lines, drainage structures, septic systems, cesspools, wells, storage tanks

PROPOSED CONDITIONS PLANS

- Proposed Topography:** Contours at two-foot intervals or less; NAVD88 elevations or assumed datum
- Limit of Work:** delineate all areas where vegetation or soil will be altered
- Erosion Controls:** locations and type of temporary erosion controls, including installation details
- Stockpiles:** locations of stockpiles
- Fill:** Note the amount of fill required to be added or removed (in cubic yards and maximum thickness); pre- and post- development grades on all slopes

PROPOSED CONDITIONS PLANS (continued)

- Construction Equipment** access routes and storage/parking areas during proposed work
- Construction Details**, including cross-sections and elevations of drainage structures (including but not limited to catch basins, leaching basins, dry wells, swales, retention areas, ditches, etc.) and road crossings in wetland resource areas
- Above-Ground Alterations**: All on-site structures, roadways, access ways, stone walls, fences, and all other physical alterations proposed in the buffer zone; location and elevation of lowest floor of all structures; identify roadway or surface material proposed
- Below-ground Alterations**: All on-site below-ground alterations and structures in the buffer zone, including but not limited to utility lines, drainage structures, septic systems, cesspools, wells, tanks
- Drainage Patterns**: Existing natural drainage patterns and proposed alterations
- Distance** of proposed on-site leaching facility to wetlands or other resource areas
- Distance** of proposed alteration to wetlands or other resource areas
- Wells**: Location of all existing and proposed wells on property and within 200 feet of project on abutting properties, and minimum distance to all septic systems

DOCUMENT SUBMISSION DEADLINES

NOI Application:

All documentation (including plans, maps, tables, charts, reports, etc.) to be considered as part of an applicant's permit filing must be submitted to the Commission by the application deadline, as posted in the Conservation Office in Town Hall and on the Commission's website. Application forms, instructions and deadlines can all be downloaded on the Commission's website:

http://www.foxboroughma.gov/Pages/FoxboroughMA_Conservation/index

Continued Hearing Submissions:

All document and plan revisions must be received by the Conservation Department at least four business days before a scheduled (continued) hearing date.

Four days is the minimum time needed to allow the Conservation Commission and Conservation Manager to properly review and analyze new submissions. Documents that are not submitted at least four business days before the date of a continued hearing may be excluded from consideration during that hearing and held for discussion during a future Conservation Commission meeting.

NOTIFICATION TO ABUTTERS

Under the Massachusetts Wetlands Protection Act & Foxborough Wetlands and Groundwater Protection Bylaw (Article IX)

*(This form must be completed and mailed, certified mail return receipt requested,
to all abutters within 100 feet of the proposed project)*

In accordance with the second paragraph of Massachusetts Wetlands Protection Act (G.L. Ch. 131, §40), and §10.05(4)(a) of 310 CMR 10.00, and the Foxborough Wetlands and Groundwater Protection Bylaw (Article IX) and regulations, you are hereby notified of a public hearing on the matter described below:

- A. The applicant has filed a Notice of Intent with the Foxborough Conservation Commission seeking permission to alter an area subject to protection under the Wetlands Protection Act and the Foxborough Wetlands and Groundwater Protection Bylaw.
- B. The name of the applicant is Steven Gringeri
- C. The address of the land where the activity is proposed is 31 Water Street Foxborough.
- D. The work proposed is Demolition of a existing single family home and the construction of a single-family home along with the associated driveway and utilities.
- E. Copies of the Notice of Intent may be examined at the Conservation Commission's office, 40 South Street, Foxborough Town Hall, between 9 am and 4 pm, Monday through Thursday (please call first, to ensure that the Conservation Manager is in the office and not out on site visits).

For more information, please call: Bay Colony Group, Inc.

Check One: This is the applicant, applicant's representative, or other _____

- F. Copies of the Notice of Intent may be obtained from either (check one) the applicant or the applicant's representative by calling 508.543.3939 from 8:00-5:00 on Monday through Friday.
- G. Information regarding the date, time and place of the public hearing may be obtained from either (check one) the applicant or the applicant's representative by calling 508.543.3939 from 8:00-5:00 on Monday through Friday.

Conservation Commission meeting agendas may be viewed online at
http://www.foxboroughma.gov/Pages/FoxboroughMA_ConsAgendas/

Notice of the public hearing, including date, time and place, will be published at least five business days in advance in The Sun Chronicle and will be posted in the Town Hall and online at least 48 hours in advance.

Contact the Foxborough Conservation Commission for information about this application or the Foxborough Wetlands and Groundwater Protection Bylaw or the Department of Environmental Protection (DEP) Southeast Regional Office for more information about this application or the Wetlands Protection Act.

Conservation Commission:

508-543-1251

http://www.foxboroughma.gov/Pages/FoxboroughMA_Conservation/index

DEP, Southeast Regional Office (Lakeville):

508-946-2836

AUG 4 2021



BOARD OF ASSESSORS TOWN OF FOXBOROUGH
TOWN OF FOXBOROUGH
40 SOUTH STREET
FOXBOROUGH MASSACHUSETTS 02035

(508) 543-1215

Fax: (508) 543-6278

CERTIFICATION OF ABUTTERS

PROPERTY OWNER: Bruce L. McAuliffe, et al

MAILING ADDRESS: 80 Spruce Street, Foxboro, MA 02035

PROPERTY LOCATION: 31 Water Street

ASSESSORS MAP/PARCEL: Map 105 Parcels 026 & 027

APPLICANT: Bay Colony Group PHONE: (508) 543-3939

AUTHORITY REQUESTING LIST: Planning Board

DATE SUBMITTED: 08/04/2021

LIST REQUESTED: 500 FT 300 FT 100FT ABUTTER TO ABUTTER

I, *Kristin*, acting as a custodian of assessment records, do hereby certify that the attached documents contain true and complete information from the most recent tax list of the Town of Foxborough, Massachusetts.

I further state that these documents include the names and addresses of abutters to the abutters map 105 Parcels 026 & 027 300 ft

Date: 8/5/21

BOARD OF ASSESSORS
FOXBOROUGH MASSACHUSETTS

Massachusetts General Law c. 40A, s.11, "The assessors maintaining any applicable tax list shall certify to the permit granting authority or special permit granting authority the names and addresses of parties in interest and such certification shall be conclusive for all purposes."

The Assessors Office will complete the abutters list within 7-10 business days. There is a \$25.00 fee for an abutters list.

"The applicant is solely responsible for requesting the appropriate abutters list required by the applicable Mass General Law."

Abutting Properties for
31 WATER STREET
FOXBOROUGH, MA
105-021
(300 Feet)
8/5/2021

Location:
105-028
19 WATER STREET
Owner: ZULCH HALEY &
CONWAY KATIE
19 WATER STREET
FOXBOROUGH, MA
02035

Location:
119-041
2 ALLENS WAY Owner:
SNOW JOHN S & DEBORAH E
2 ALLENS WAY
FOXBOROUGH, MA
02035

Location:
104-022
22 PROSPECT STREET
Owner: RUEST STEPHANIE &
JEREMY JENKINS TE
22 PROSPECT STREET
FOXBOROUGH, MA 02035

Location:
104-021
18 PROSPECT STREET
Owner: GILBY ANTHONY C &
JUNE M
18 PROSEPECT ST
FOXBORO, MA 02035

Location: 105-026
WATER STREET
Owner: MCAULIFFE BRUCE L
ET AL
80 SPRUCE STREET
FOXBORO, MA 02035

Location:
105-024
32 WATER STREET
Owner: SOU CHON & ANNE
MARIE B YOUNG
32 WATER STREET
FOXBOROUGH, MA 02035

Location: 091-052
WATER STREET
Owner: COCASSET LAKE
ASSOCIATION
JOHN HAGE
18 WOODLAND ROAD
FOXBOROUGH, MA 02035

Location:
105-023
30 WATER STREET
Owner: BRADNER SCOTT TR
30 WATER ST
FOXBORO, MA 02035

Abutting Properties for
WATER STREET
FOXBOROUGH, MA
105/026
(300-Feet)
8/5/2021

Location:
105-028
19 WATER STREET
Owner: ZULCH HALEY & CONWAY
KATIE
19 WATER STREET
FOXBOROUGH, MA
02035

Location:
091-052
WATER STREET
Owner:
COCASSET LAKE ASSOCIATION
C/O JOHN HAGE
18 WOODLAND RD
FOXBORO, MA 02035

Location:
090/080
76 GRANITE STREET
Owner:
BEARCE MATTHEW A & CRIMMINS
STEPHANIE M
76 GRANITE ST
FOXBORO, MA 02035

Location:
104-002
100 GRANITE STREET
Owner:
BERLONGIERI JERRY R & BRITTA TE
100 GRANITE ST
FOXBORO, MA 02035

Location:
104-021
18 PROSPECT STREET
Owner:
GILBY ANTHONY C & JUNE M
18 PROSEPECT ST
FOXBORO, MA 02035-

Location:
104-022
22 PROSPECT STREET
Owner: RUEST STEPHANIE & JEREMY
JENKINS TE
22 PROSPECT STREET
FOXBOROUGH, MA 02035

Location: 105-026
WATER STREET
Owner: MCAULIFFE BRUCE L ET AL
80 SPRUCE STREET
FOXBORO, MA 02035

Location:
105-024
32 WATER STREET
Owner: SOU CHON & ANNE MARIE B
YOUNG
32 WATER STREET
FOXBOROUGH, MA 02035

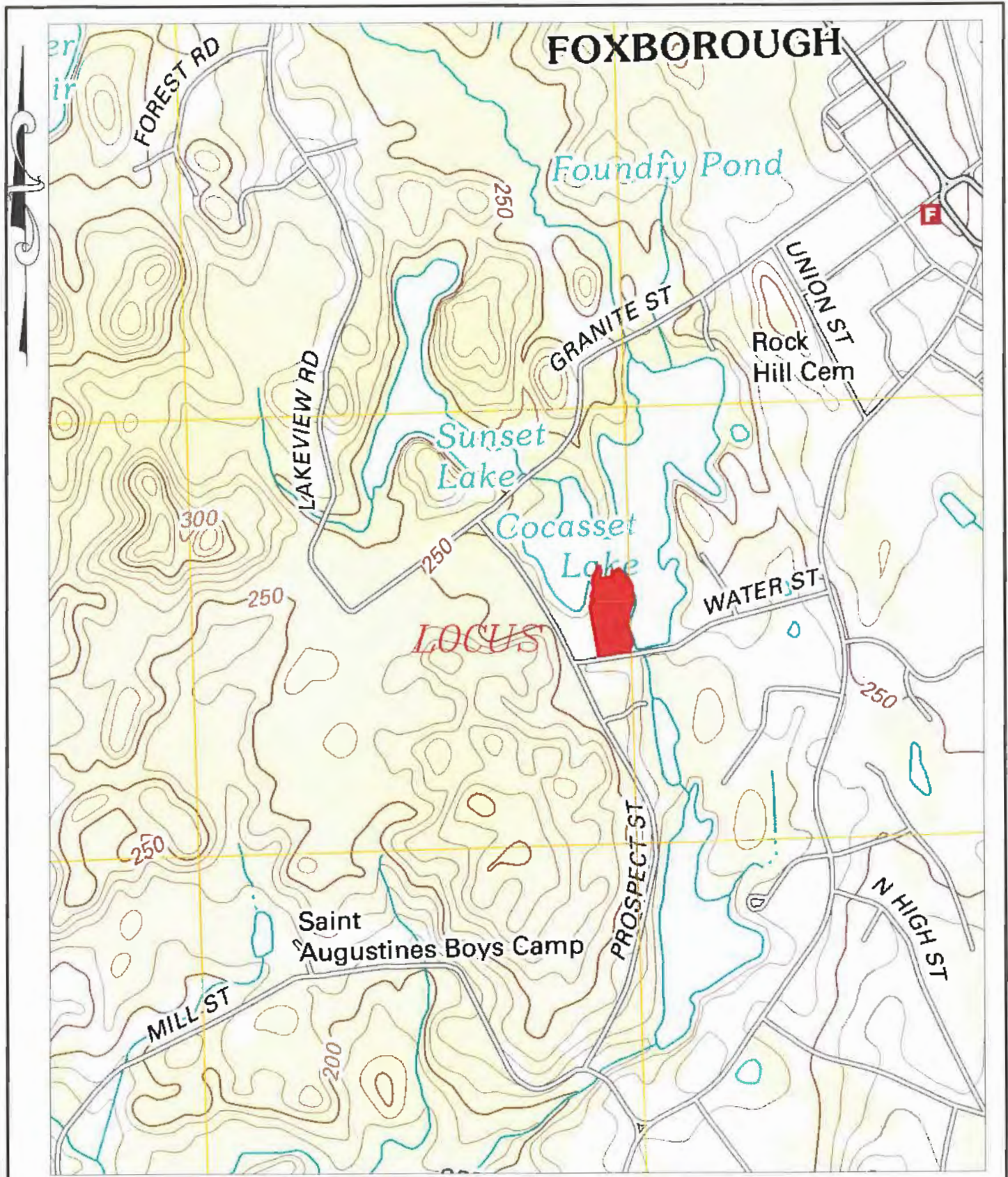
Location:
105-032
WATER STREET
Owner:
COCASSET LAKE ASSOCIATION
C/O JOHN HAGE
18 WOODLAND RD
FOXBORO, MA 02035

APPENDIX A

*USGS Quadrangle Map

*FEMA Flood Insurance Rate Map

* Rare Wetlands/Habitats/Wildlife Map



BAY COLONY GROUP, INC.
 FOUR SCHOOL STREET
 FOXBOROUGH, MA 02035
 (508) 543-3939

USGS QUADRANGLE EXTRACT
 31 WATER STREET
 FOXBOROUGH, MA
 WRENTHAM QUADRANGLE
 SCALE: 1" = 1000'

National Flood Hazard Layer FIRMette



71°15'56"W 42°3'35"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone A, V, A99
 - With BFE or Depth Zone AE, AD, AH, VE, AR
 - Regulatory Floodway
 - OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone J
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes. Zone X
 - Area with Flood Risk due to Levee Zone D
 - OTHER AREAS**
 - NO SCREEN Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone I
 - GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
 - OTHER FEATURES**
 - 20.4 Cross Sections with 1% Annual Chance Water Surface Elevation
 - 17.5 Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature
 - MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



71°15'19"W 42°3'8"N

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/5/2021 at 7:27 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

31 Water Street



- Potential Vernal Pools
- NHESP Centred Vernal Pools
- NHESP Priority Habitats of Rare
- NHESP Estimated Habitats of Rare
- Tax Parcels for Query
- Detailed Features
- Tax Parcels for Display
- Structures
- MassGIS Topographic/Bathymetric Base Map

APPENDIX B

*Wetland Delineation Report



May 5, 2021

Mr. William Buckley, P.E.
Bay Colony Group, Inc.
4 School Street
Foxborough, MA 02035

Re: Wetland Delineation
31 Water Street
Foxborough, MA
Pare Project No. 18170.24

Dear Mr. Buckley,

Pare Corporation (Pare) delineated the wetland resource areas on the parcel of land located at 31 Mill Street in Foxborough. The subject property includes two parcels (Foxborough Lots 026 and 027 on Map 105) with a combined area of approximately 4.2 acres, located along the southwest side of Cocasset Lake. An existing unoccupied single-family dwelling with surrounding landscaped areas is located on Lot 027. The delineation was completed to establish the limits of wetlands, 200-foot Riverfront Area, 25-foot No Activity Zones, and 100-foot Buffer Zones that may impact future development on the property. Pare's investigation and delineation of wetlands was completed on April 8, 2021.

The following report describes the delineated wetlands, discusses the delineation methodology, and summarizes review of available published mapping for the site. Attached to this report are the following materials: a Site Location Map, an Annotated Aerial Photograph, an excerpt from the FEMA Flood Insurance Rate Map for the area, annotated photographs of the site wetlands, and completed BVW Data Forms.

METHODOLOGY

Wetland edges were delineated in accordance with the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.55, referred to as the WPA Regulations), and the methodology specified in the publication entitled Delineating Bordering Vegetated Wetlands under the Massachusetts Wetlands Protection Act (Jackson, 1995) and The Regional Supplement to the Corps of Engineers Wetland Delineation Manual: North Central and Northeast Region, Version 2.0 (U.S. Army Corps of Engineers, January 2012).

Pink field flags were placed at appropriate intervals along the wetland/upland borders and along the Bank of a perennial stream bordering the site. Primary parameters evaluated in wetland delineation included vegetation, hydric soil indicators, and visual indicators of wetland hydrology such as water-stained leaves, mound-and-pool microrelief, saturated soils, and frozen surface water. Banks were delineated according to first observable break in slope. During the delineation, BVW Data Forms were completed for representative plots along the wetland/upland borders.





WETLAND DESCRIPTIONS

Cocasset Lake and Bordering Vegetated Wetlands

Pare delineated the edge of Cocasset Lake and adjacent forested wetland areas bordering on the east and north sides of the subject property. Flag series A-1 to A-16 defines the outermost wetland edge beginning at the north edge of parcel 027 and extending south along the east side of the property, ending at the Cocasset Lake Dam offsite to the southeast. Flag series A-100 to A-131 define the outermost wetland edge beginning just north of flag A-1 and extending along the north side of parcel 026, ending at the northwest property boundary. The outermost wetland edge has an associated **100-foot Buffer Zone** in addition to a **25-foot No Activity Zone** under the Foxborough Wetlands Protection Bylaw.

The edge of the lake is defined as **Bank** under 310 CMR 10.54(2) of the WPA Regulations. In some locations along the east side of the property, the **Bank** transitions immediately to upland and represents the outermost wetland edge. In these locations, the **Bank** consists of well-defined forested slopes dominated by a mixture of deciduous and evergreen trees. Portions of the delineated edge that correspond to the **Bank** include the sections located between flags A-1 and A-2; A-4 and A-5; A-6 and A-14; A-15 and A-16; and A-107 and A-111.

The remaining portions of the delineation define the edges of **Bordering Vegetated Wetlands (BVW)** as defined under 310 CMR 10.55(2). In most locations, the **BVW** consists of a narrow fringe of forested wetland extending along the toe of the slope adjacent to the pond. At the north side of the property between flags A-113 to A-125, the wetland consists of a broader, seasonally flooded area located along a more gradual slope. The **BVW** areas are dominated by deciduous trees and have dense understories of shrub vegetation dominated by Sweet Pepperbush (*Clethra alnifolia*) and Highbush Blueberry (*Vaccinium corymbosum*). **BVW** data forms completed for representative plots along the wetland/upland border are attached.

Vegetation identified along the **Bank** and **BVW** edge included, but was not limited to, the following species:

Common Name	Scientific Name	Indicator Status
Red Maple	<i>Acer rubrum</i>	FAC
Yellow Birch	<i>Betula alleghaniensis</i>	FAC
Gray Birch	<i>Betula populifolia</i>	FAC
Tupelo	<i>Nyssa sylvatica</i>	FAC
White Pine	<i>Pinus strobus</i>	FACU
White Oak	<i>Quercus rubra</i>	FACU
Bebb Willow	<i>Salix bebbiana</i>	FACW
Sweet Pepperbush	<i>Clethra alnifolia</i>	FAC
Highbush Blueberry	<i>Vaccinium corymbosum</i>	FACW
Wintergreen	<i>Pyrola americana</i>	FACU

Cocasset River

The Cocasset River discharges from the spillway into a rocky stream channel downstream of Water Street, offsite to the southeast. The river is shown as perennial on the USGS Topographic Quadrangle for the area, and therefore is presumed to be a perennial a river with an associated **200-foot Riverfront Area**. Although located offsite, the portion of the **Bank** bordering the subject property was delineated to establish the extent of the **Riverfront Area** on the site.



Mr. William Buckley

(3)

May 5, 2021

Flag series R-1 to R-4 defines the west edge of the stream channel, beginning at the spillway outlet on the downstream side of Water Street and extending a short distance south. The series begins at the culvert under Mill Street and extends southeast to the confluence of the two channels. The delineated portion of the river consists of a rocky, unvegetated channel with Banks colonized by a mixture of deciduous trees and shrubs.

REVIEW OF PUBLISHED MAPPING

Review of published mapping and the relevant MassGIS data layers on April 30, 2021 revealed the following:

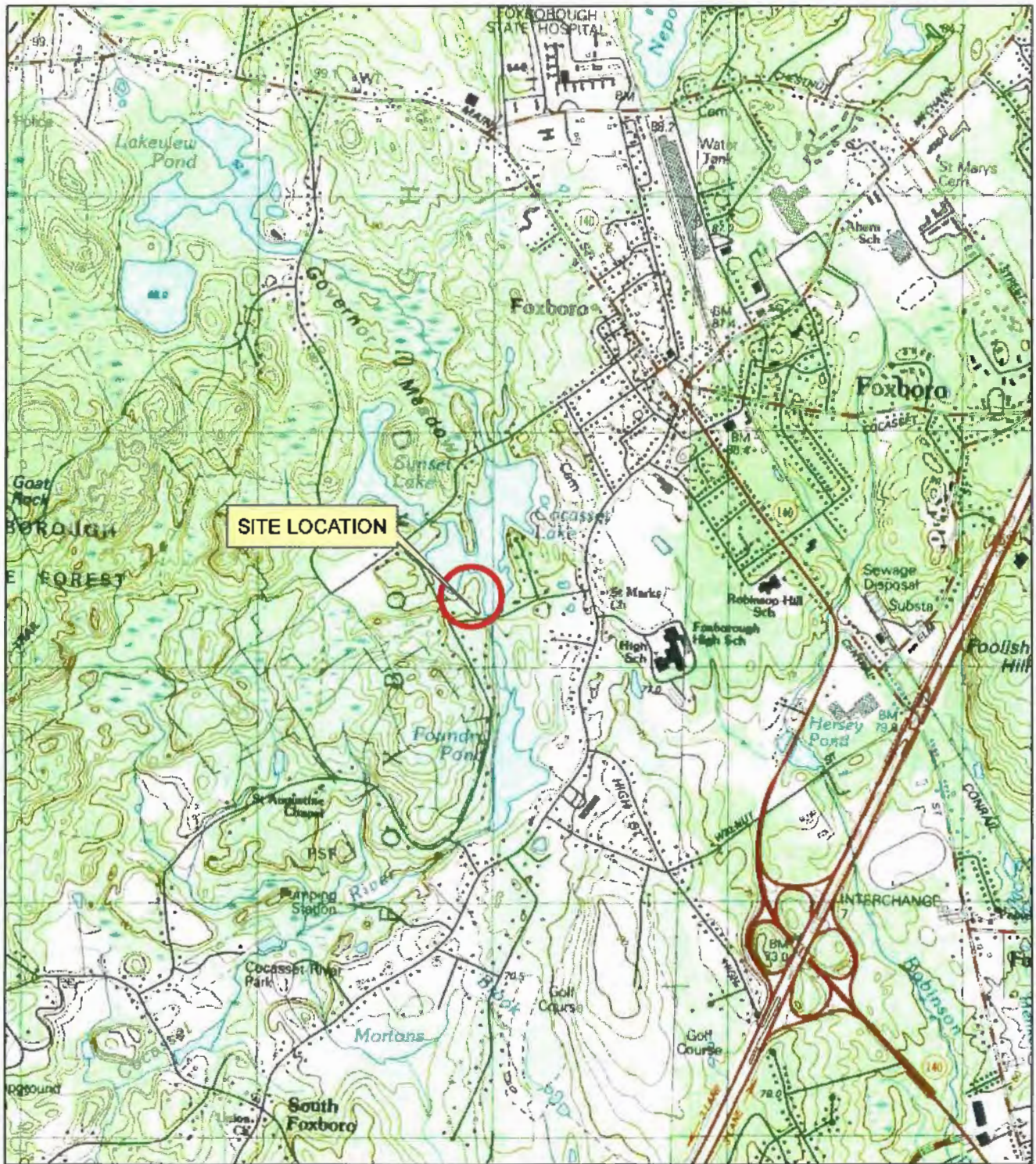
- No Certified Vernal Pools (CVPs) are located on the subject property.
- No Potential Vernal Pools (PVPs) are located on the property.
- There is no mapped Priority or Estimated Habitat of Rare Species on the site.
- The entire property is located within mapped Outstanding Resource Waters associated with the Wading River watershed.
- The site is not located within an Area of Critical Environmental Concern.
- According to the FEMA Flood Insurance Rate Map (FIRM) for the Town of Foxborough (Map No. 25021C0342E, revised July 17, 2012, attached as Figure 3), the southern portion of the site bordering the two perennial streams contains area of Zone A (1% chance annual flood).

Thank you very much for the opportunity to assist you with this project. If you have any questions regarding project permitting or other issues, or require further assistance, please do not hesitate to call.

Sincerely,

Lauren H. Gluck, P.W.S.
Senior Environmental Scientist

LIIG/



SITE LOCATION MAP

SCALE: 1" = 2,000'



8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
(401) 334-4100

10 LINCOLN ROAD, SUITE 210
FOXBORO, MA 02035
(508) 543-1755

PARE PROJECT No. 18170.24

APRIL 2021

FIGURE 1

31 WATER ST.
FOXBORO, MA

WETLAND DELINEATION REPORT



ANNOTATED AERIAL PHOTOGRAPH

SCALE: 1" = 150'



8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
(401) 334-4100

10 LINCOLN ROAD, SUITE 210
FOXBORO, MA 02035
(508) 543-1755

PARE PROJECT No. 18170.24

APRIL 2021

FIGURE 2

31 WATER ST.
FOXBORO, MA

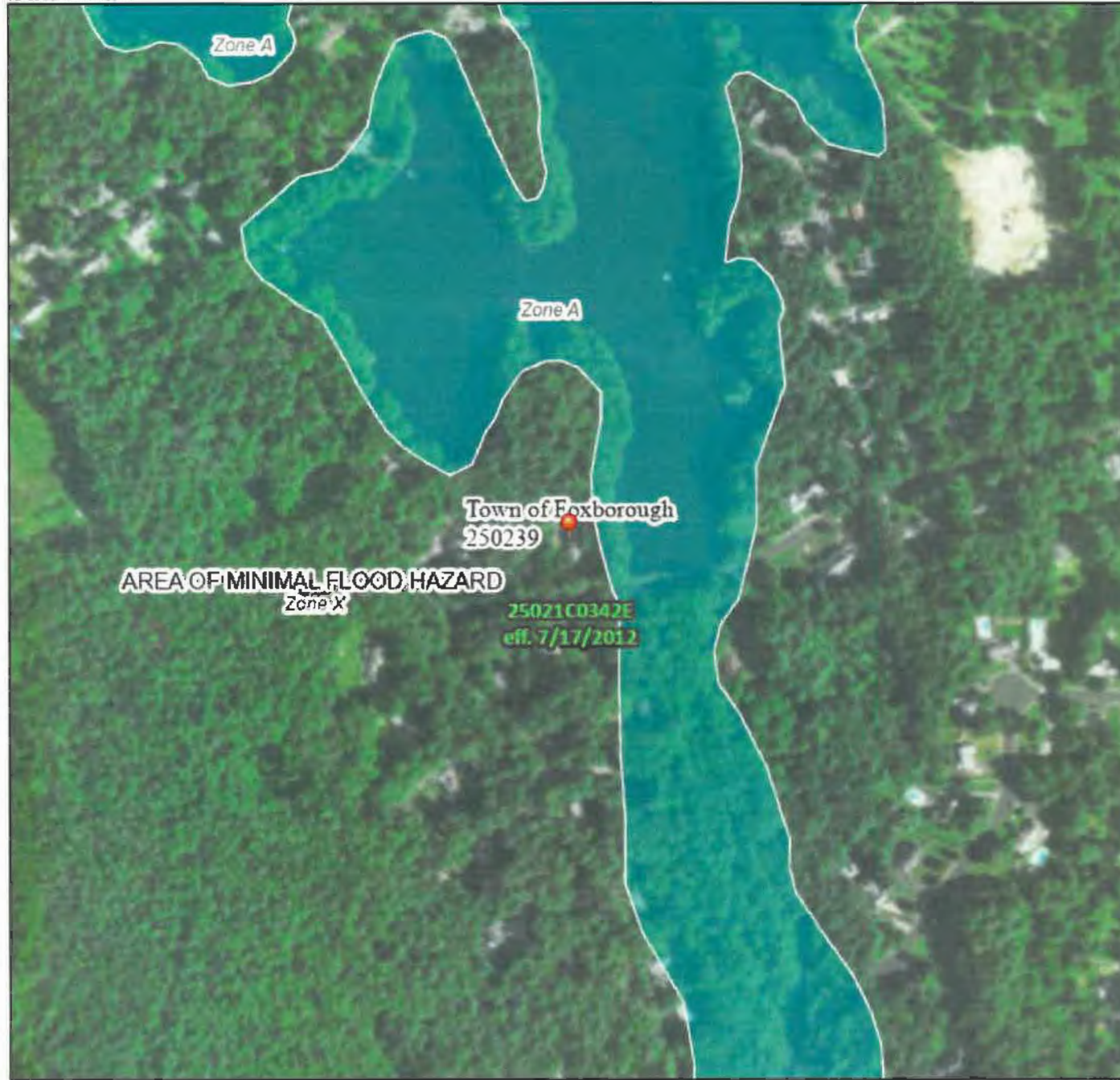
WETLAND DELINEATION REPORT

National Flood Hazard Layer FIRMMette



FIGURE 3

71°15'56" W 42°3'35" N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|---|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
Zone A, V, AE9 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone A |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee Zone X |
| | | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| | | Area of Undetermined Flood Hazard Zone D |
| GENERAL STRUCTURES | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.8 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

0 250 500 1,000 1,500 2,000 Feet 1:6,000 71°15'18" W 42°3'38" N
Basemap: USGS National Map: OrthoImagery: Data refreshed October, 2020

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/5/2021 at 9:48 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Photo 1: View of Cocasset Lake shoreline, facing east from lawn.



Photo 2: Bank of Cocasset Lake bordering the east side of the property.





Photo 3: Typical view of Cocasset Lake and fringe of BVW at northwest side of site.



Photo 4: BVW area at north side of the site at flag A-115.





Photo 5: Bank of Cocasset Lake bordering southeast side of site, facing west from dam.



Photo 6: Perennial outlet of Cocasset Lake to the southeast of the property.



DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ **Prepared by:** Pare Corporation **Project location:** 31 Water St. Foxboro **DEP File #:** None
 L. Gluck

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out section I only.
 Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II.
 Method other than dominance test used (attach additional information).

Section I. Observation Plot Number: <u>I</u> Transect Number: <u>A</u> (Wetland Station) <u>5'± D/G WF A-6</u> Date of Delineation: <u>April 8, 2021</u>				
A. Sample Layer and Plant Species (by common/ scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (Yes or No)	E. Wetland Indicator Category *
Tree Gray Birch (<i>Betula populifolia</i>)	16-25 (20.5)	25	Y	FAC*
Red Maple (<i>Acer rubrum</i>)	16-25 (20.5)	25	Y	FAC*
Yellow Birch (<i>Betula alleghaniensis</i>)	6-15 (10.5)	13	N	
White Oak (<i>Quercus alba</i>)	16-25 (20.5)	25	Y	FACU
White Pine (<i>Pinus strobus</i>)	6-15 (10.5)	13	N	
Total	82.5	101**		
Sapling Bebb Willow (<i>Salix bebbiana</i>)	6-15 (10.5)	100	Y	FACW*
Total	10.5	100		
Shrub Sweet Pepperbush (<i>Clethra alnifolia</i>)	26-50 (38.0)	48	Y	FAC*
Multiflora Rose (<i>Rosa multiflora</i>)	6-15 (10.5)	13	N	
Highbush Blueberry (<i>Vaccinium corymbosum</i>)	16-25 (20.5)	26	Y	FACW*
Azalea (<i>Rhododendrun sp.</i>)	6-15 (10.5)	13	N	
Total	79.5	100		
Herb English Ivy (<i>Hedera helix</i>)	6-15 (10.5)	44	Y	FACU
White Pine (<i>Pinus strobus</i>)	0-5 (3.0)	13	N	
Sweet Pepperbush (<i>Clethra alnifolia</i>)	6-15 (10.5)	44	Y	FAC*
Total	24.0	101**		

**Total does not equal 100 due to rounding

*Use an asterisk to mark wetland indicator plants species listed in the Wetlands Protection Act (MGL c. 131, s. 40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological adaptations, describe the adaptation next to the asterisk.

Vegetation Conclusion:

Number of dominant wetland indicator plants: 6 Number of dominant non-wetland indicator plants: 2

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES NO

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes No
Title/Date: Soil Survey of Norfolk and Suffolk Counties, Massachusetts, 2020

Map Number: Accessed via Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/>

Soil type mapped: 254C—Merrimac fine sandy loam, 8 to 15 percent slopes

Hydric Soil Inclusions: None

Are field observations consistent with soil survey? Yes No

Remarks:

2. Soil Description

Horizon	Depth (in)	Matrix Color	Mottles Color
O	1-0"	10YR 2/2	
A	0-4"	10YR 2/2	
B	4-12+"	10YR 4/2	

Remarks: Sandy B horizon

3. Other:

Conclusion: Is soil hydric? Yes No

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole: 8"
- Water Marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW: channel
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):
- Other: mound and pool microrelief

Vegetation and Hydrology Conclusion		
	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wetland hydrology present: hydric soil present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
other indicators of hydrology present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sample location is in a BVW	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ Prepared by: Pare Corporation Project location: 31 Water St. Foxboro DEP File #: None
 L. Gluck

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out section I only.
 Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II.
 Method other than dominance test used (attach additional information).

Section I. Observation Plot Number: 2 Transect Number: A (Upland Station) 5'± U/G WF A-6 Date of Delineation: April 8, 2021				
A. Sample Layer and Plant Species (by common/ scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (Yes or No)	E. Wetland Indicator Category *
Tree White Pine (<i>Pinus strobus</i>)	26-50 (38.0)	42	Y	FACU
White Oak (<i>Quercus alba</i>)	16-25 (20.5)	23	Y	FACU
Red Maple (<i>Acer rubrum</i>)	6-15 (10.5)	12	N	
Yellow Birch (<i>Betula alleghaniensis</i>)	6-15 (10.5)	12	N	
Gray Birch (<i>Betula populifolia</i>)	6-15 (10.5)	12	N	
Total	90.0	101**		
Sapling Red Oak (<i>Quercus rubra</i>)	6-15 (10.5)	50	Y	FACU
White Pine (<i>Pinus strobus</i>)	6-15 (10.5)	50	Y	FACU
Total	21.0	100		
Shrub Sweet Pepperbush (<i>Clethra alnifolia</i>)	16-25 (20.5)	40	Y	FAC*
Azalea (<i>Rhododendron sp.</i>)	16-25 (20.5)	40	Y	Assume FACU
Poison Ivy (<i>Toxicodendron radicans</i>)	6-15 (10.5)	20	Y	FAC*
Total	51.5	100		
Herb English Ivy (<i>Hedera helix</i>)	16-25 (20.5)	66	Y	FACU
Lowbush Blueberry (<i>Vaccinium angustifolium</i>)	6-15 (10.5)	34	Y	FACW*
Total	31.0	100		

**Total does not equal 100 due to rounding

*Use an asterisk to mark wetland indicator plants species listed in the Wetlands Protection Act (MGL c. 131, s. 40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological adaptations, describe the adaptation next to the asterisk.

Vegetation Conclusion:

Number of dominant wetland indicator plants: 3

Number of dominant non-wetland indicator plants: 6

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES NO

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes No
Title/Date: Soil Survey of Norfolk and Suffolk Counties, Massachusetts, 2020

Map Number: Accessed via Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/>

Soil type mapped: 254C—Merrimac fine sandy loam, 8 to 15 percent slopes

Hydric Soil Inclusions: None

Are field observations consistent with soil survey? Yes No

Remarks:

2. Soil Description

Horizon	Depth (in)	Matrix Color	Mottles Color
O	1/2-0"	10YR 2/2	
A	0-4"	10YR 2/2	
B	4-12+"	10YR 4/3	

Remarks: Rocky B horizon

3. Other:

Conclusion: Is soil hydric? Yes No

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole:
- Water Marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW:
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):
- Other:

Vegetation and Hydrology Conclusion	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetland hydrology present: hydric soil present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
other indicators of hydrology present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sample location is in a BVW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ **Prepared by:** Pare Corporation **Project location:** 31 Water St, Foxboro **DEP File #:** None
L. Gluck

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out section I only.
 Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II.
 Method other than dominance test used (attach additional information).

Section I. Observation Plot Number: 3 Transect Number: A (Wetland Station) 5'± D/G WF A-115 Date of Delineation: April 8, 2021				
A. Sample Layer and Plant Species (by common/ scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (Yes or No)	E. Wetland Indicator Category *
Tree Tupelo (<i>Nyssa sylvatica</i>)	16-25 (20.5)	17	N	
Red Maple (<i>Acer rubrum</i>)	16-25 (20.5)	17	N	
Yellow Birch (<i>Betula alleghaniensis</i>)	16-25 (20.5)	17	N	
Sassafras (<i>Sassafras albidum</i>)	6-15 (10.5)	9	N	
Red Oak (<i>Quercus rubra</i>)	6-15 (10.5)	9	N	
White Pine (<i>Pinus strobus</i>)	26-50 (38.0)	32	Y	FACU
Total	120.5	101**		
Sapling Red Maple (<i>Acer rubrum</i>)	0-5 (3.0)	50	Y	FAC*
Yellow Birch (<i>Betula alleghaniensis</i>)	0-5 (3.0)	50	Y	FAC*
Total	6.0	100		
Shrub Sweet Pepperbush (<i>Clethra alnifolia</i>)	51-75 (63.0)	62	Y	FAC*
Highbush Blueberry (<i>Vaccinium corymbosum</i>)	26-50 (38.0)	38	Y	FACW*
Total	101	100		
Herb Sweet Pepperbush (<i>Clethra alnifolia</i>)	16-25 (20.5)	100	Y	FAC*
Total	20.5	100		

**Total does not equal 100 due to rounding

*Use an asterisk to mark wetland indicator plants species listed in the Wetlands Protection Act (MGL c. 131, s. 40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological adaptations, describe the adaptation next to the asterisk.

Vegetation Conclusion:

Number of dominant wetland indicator plants: 5

Number of dominant non-wetland indicator plants: 1

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES NO

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes No
Title/Date: Soil Survey of Norfolk and Suffolk Counties, Massachusetts, 2020

Map Number: Accessed via Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/>

Soil type mapped: 254C—Merrimac fine sandy loam, 8 to 15 percent slopes

Hydric Soil Inclusions: None

Are field observations consistent with soil survey? Yes No

Remarks:

2. Soil Description

Horizon	Depth (in)	Matrix Color	Mottles Color
O	1-0"	10YR 2/2	
A	0-4"	10YR 2/2	
B	4-12+"	10YR 4/2	10 YR 2/2 & 7.5YR 4/6

Remarks: dark streaking and redox in B horizon

3. Other:

Conclusion: Is soil hydric? Yes No

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole:
- Water Marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW: channel
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):
- Other: microrelief

Vegetation and Hydrology Conclusion		
	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wetland hydrology present: hydric soil present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
other indicators of hydrology present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sample location is in a BVW	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ **Prepared by:** Pare Corporation **Project location:** 31 Water St, Foxboro **DEP File #:** None
 L. Gluck

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out section I only.
 Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II.
 Method other than dominance test used (attach additional information).

Section I. Observation Plot Number: 4 Transect Number: A (Upland Station) 5'± U/G WF A-115 Date of Delineation: April 8, 2021				
A. Sample Layer and Plant Species (by common/ scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (Yes or No)	E. Wetland Indicator Category *
Tree White Pine (<i>Pinus strobus</i>)	26-50 (38.0)	42	Y	FACU
Tupelo (<i>Nyssa sylvatica</i>)	6-15 (10.5)	12	N	
Red Oak (<i>Quercus rubra</i>)	16-25 (20.5)	23	Y	FACU
Sassafras (<i>Sassafras albidum</i>)	6-15 (10.5)	12	N	
Yellow Birch (<i>Betula alleghaniensis</i>)	6-15 (10.5)	12	N	
Total	90.0	101**		
Sapling Red Oak (<i>Quercus rubra</i>)	6-15 (10.5)	100	Y	FACU
Total	10.5	100		
Shrub Highbush Blueberry (<i>Vaccinium corymbosum</i>)	26-50 (38.0)	55	Y	FACW*
Sweet Pepperbush (<i>Clethra alnifolia</i>)	6-15 (10.5)	15	N	
Huckleberry (<i>Gaylussacia baccata</i>)	16-25 (20.5)	30	Y	FACU
Total	69.0	100		
Herb Indianpipe (<i>Monotropa uniflora</i>)	6-15 (10.5)	78	Y	FACU
Sweet Pepperbush (<i>Clethra alnifolia</i>)	0-5 (3.0)	22	Y	FAC*
Total	13.5	100		

**Total does not equal 100 due to rounding

*Use an asterisk to mark wetland indicator plants species listed in the Wetlands Protection Act (MGL c. 131, s. 40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological adaptations, describe the adaptation next to the asterisk.

Vegetation Conclusion:

Number of dominant wetland indicator plants: 2

Number of dominant non-wetland indicator plants: 5

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES NO

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes No
Title/Date: Soil Survey of Norfolk and Suffolk Counties, Massachusetts, 2020

Map Number: Accessed via Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/>

Soil type mapped: 254C—Merrimac fine sandy loam, 8 to 15 percent slopes

Hydric Soil Inclusions: None

Are field observations consistent with soil survey? Yes No

Remarks:

2. Soil Description

Horizon	Depth (in)	Matrix Color	Mottles Color
O	1/2-0"	10YR 3/2	
A	0-2"	10YR 3/2	
B	2+"	10YR 4/4	

Remarks: Rocky B horizon

3. Other:

Conclusion: Is soil hydric? Yes No

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole:
- Water Marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW:
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):
- Other:

Vegetation and Hydrology Conclusion		
	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetland hydrology present: hydric soil present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
other indicators of hydrology present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sample location is in a BVW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ Prepared by: Pare Corporation Project location: 31 Water St. Foxboro DEP File #: None
 L. Gluck

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary; fill out section I only.
 Vegetation and other indicators of hydrology used to delineate BVW boundary; fill out Sections I and II.
 Method other than dominance test used (attach additional information).

Section I. Observation Plot Number: 5 Transect Number: A (Wetland Station) 5'± D/G WF A-130 Date of Delineation: April 8, 2021				
A. Sample Layer and Plant Species (by common/ scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (Yes or No)	E. Wetland Indicator Category *
Tree Red Maple (<i>Acer rubrum</i>)	26-50 (38.0)	38	Y	FAC*
Gray Birch (<i>Betula populifolia</i>)	16-25 (20.5)	21	Y	FAC*
Tupelo (<i>Nyssa sylvatica</i>)	16-25 (20.5)	21	Y	FACW*
Red Oak (<i>Quercus rubra</i>)	6-15 (10.5)	11	N	
White Pine (<i>Pinus strobus</i>)	6-15 (10.5)	11	N	
Total	100	102**		
Sapling Red Maple (<i>Acer rubrum</i>)	0-5 (3.0)	50	Y	FAC*
Gray Birch (<i>Betula populifolia</i>)	0-5 (3.0)	50	Y	FAC*
Total	6.0	100		
Shrub Sweet Pepperbush (<i>Clethra alnifolia</i>)	26-50 (38.0)	65	Y	FAC*
Highbush Blueberry (<i>Vaccinium corymbosum</i>)	16-25 (20.5)	35	Y	FACW*
Total	58.5	100		
Herb Wintergreen (<i>Pyrola americana</i>)	6-15 (10.5)	100	Y	FACU
Total	10.5	100		

**Total does not equal 100 due to rounding

*Use an asterisk to mark wetland indicator plants species listed in the Wetlands Protection Act (MGL c. 131, s. 40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological adaptations, describe the adaptation next to the asterisk.

Vegetation Conclusion:

Number of dominant wetland indicator plants: 7

Number of dominant non-wetland indicator plants: 1

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES NO

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes No
Title/Date: Soil Survey of Norfolk and Suffolk Counties, Massachusetts, 2020

Map Number: Accessed via Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/>

Soil type mapped: 254C—Merrimac fine sandy loam, 8 to 15 percent slopes

Hydric Soil Inclusions: None

Are field observations consistent with soil survey? Yes No

Remarks:

2. Soil Description

Horizon	Depth (in)	Matrix Color	Mottles Color
O	2-0"	10YR 2/2	
A	0-6"	10YR 2/1	
B	6-12+"	10YR 4/3	5YR 5/8 & 10YR 2/2

Remarks:

3. Other:

Conclusion: Is soil hydric? Yes No

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole:
- Water Marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW: channel
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):
- Other: microrelief

Vegetation and Hydrology Conclusion		
	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wetland hydrology present:		
hydric soil present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
other indicators of hydrology present	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sample location is in a BVW	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Submit this form with the Request for Determination of Applicability or Notice of Intent

DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: _____ **Prepared by:** Pare Corporation **Project location:** 31 Water St. Foxboro **DEP File #:** None
 L. Gluck

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out section I only.
 Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II.
 Method other than dominance test used (attach additional information).

Section I. Observation Plot Number: 6 Transect Number: A (Upland Station) 5'± U/G WF A-130 Date of Delineation: April 8, 2021				
A. Sample Layer and Plant Species (by common/ scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (Yes or No)	E. Wetland Indicator Category *
Tree Red Oak (<i>Quercus rubra</i>)	26-50 (38.0)	34	Y	FACU
White Pine (<i>Pinus strobus</i>)	26-50 (38.0)	34	Y	FACU
Tupelo (<i>Nyssa sylvatica</i>)	6-15 (10.5)	10	N	
Gray Birch (<i>Betula populifolia</i>)	0-5 (3.0)	3	N	
Yellow Birch (<i>Betula alleghaniensis</i>)	6-15 (10.5)	10	N	
Red Maple (<i>Acer rubrum</i>)	6-15 (10.5)	10	N	
Total	110.5	101**		
Sapling White Pine (<i>Pinus strobus</i>)	6-15 (10.5)	44	Y	FACU
Red Maple (<i>Acer rubrum</i>)	0-5 (3.0)	13	N	
Gray Birch (<i>Betula populifolia</i>)	6-15 (10.5)	44	Y	FAC*
Total	24.0	101**		
Shrub Sweet Pepperbush (<i>Clethra alnifolia</i>)	16-25 (20.5)	40	Y	FAC*
Huckleberry (<i>Gaylussacia baccata</i>)	16-25 (20.5)	40	Y	FACU
Highbush Blueberry (<i>Vaccinium corymbosum</i>)	6-15 (10.5)	20	Y	FACW*
Total	51.5	100		
Herb Wintergreen (<i>Pyrola americana</i>)	6-15 (10.5)	100	Y	FACU
Total	10.5	100		

**Total does not equal 100 due to rounding

*Use an asterisk to mark wetland indicator plants species listed in the Wetlands Protection Act (MGL c. 131, s. 40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological adaptations, describe the adaptation next to the asterisk.

Vegetation Conclusion:

Number of dominant wetland indicator plants: 3

Number of dominant non-wetland indicator plants: 5

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? YES NO

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes No
Title/Date: Soil Survey of Norfolk and Suffolk Counties, Massachusetts, 2020

Map Number: Accessed via Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov/>

Soil type mapped: 254C—Merrimac fine sandy loam, 8 to 15 percent slopes

Hydric Soil Inclusions: None

Are field observations consistent with soil survey? Yes No

Remarks:

2. Soil Description

Horizon	Depth (in)	Matrix Color	Mottles Color
O	1/2-0"	10YR 2/2	
A	0-3"	10YR 2/2	
B	3+"	10YR 4/3	

Remarks:

3. Other:

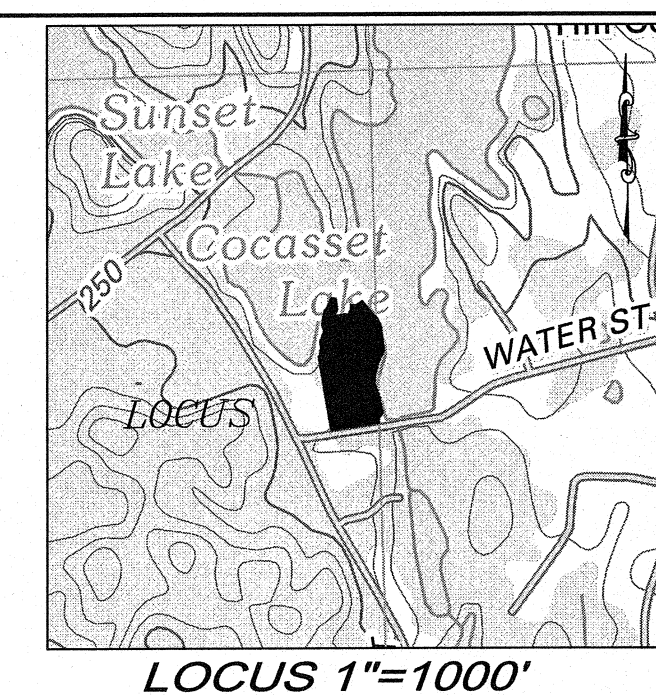
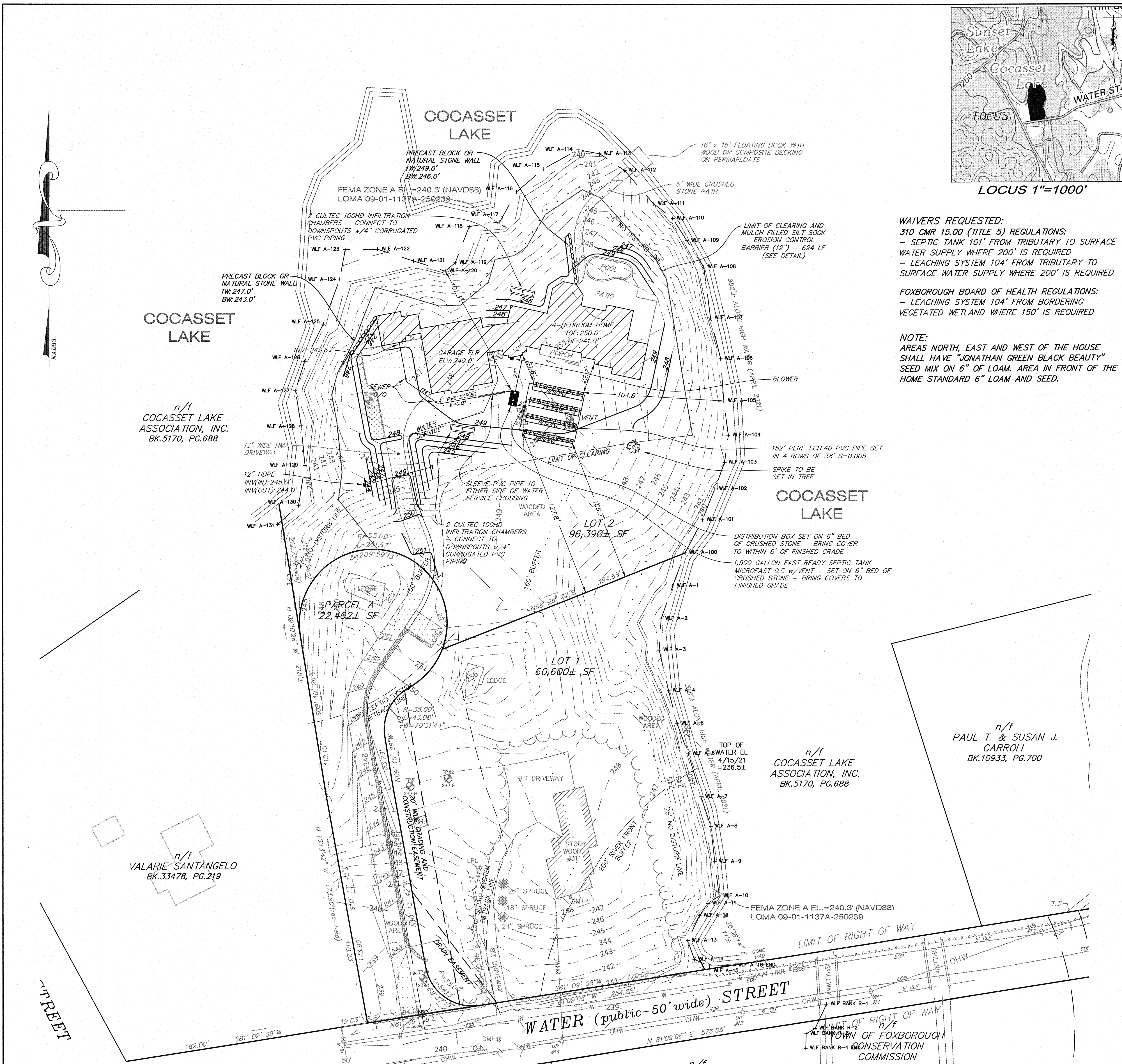
Conclusion: Is soil hydric? Yes No

Other Indicators of Hydrology: (check all that apply and describe)

- Site inundated:
- Depth to free water in observation hole:
- Depth to soil saturation in observation hole:
- Water Marks:
- Drift lines:
- Sediment deposits:
- Drainage patterns in BVW:
- Oxidized rhizospheres:
- Water-stained leaves:
- Recorded data (stream, lake, or tidal gauge; aerial photo; other):
- Other:

Vegetation and Hydrology Conclusion		
	Yes	No
Number of wetland indicator plants ≥ number of non-wetland indicator plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetland hydrology present: hydric soil present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
other indicators of hydrology present	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sample location is in a BVW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

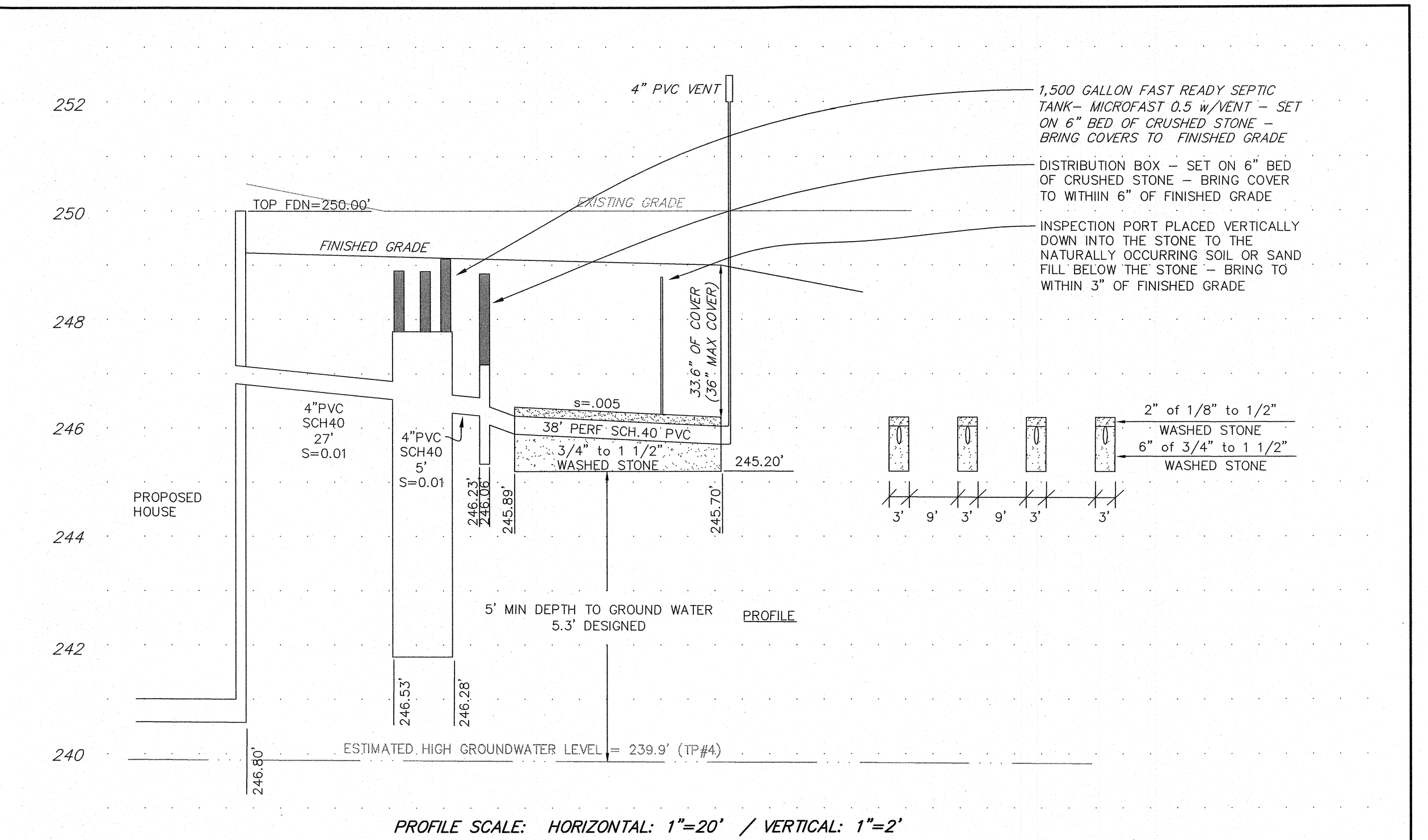
Submit this form with the Request for Determination of Applicability or Notice of Intent



WAIVERS REQUESTED:
 310 CMR 15.00 (TITLE 5) REGULATIONS:
 - SEPTIC TANK 101' FROM TRIBUTARY TO SURFACE WATER SUPPLY WHERE 200' IS REQUIRED
 - LEACHING SYSTEM 104' FROM TRIBUTARY TO SURFACE WATER SUPPLY WHERE 200' IS REQUIRED

FOXBOROUGH BOARD OF HEALTH REGULATIONS:
 - LEACHING SYSTEM 104' FROM BORDERING VEGETATED WETLAND WHERE 150' IS REQUIRED

NOTE:
 AREAS NORTH, EAST AND WEST OF THE HOUSE SHALL HAVE "JONATHAN GREEN BLACK BEAUTY" SEED MIX ON 6" OF LOAM. AREA IN FRONT OF THE HOME STANDARD 6" LOAM AND SEED.



DESIGN DATA:

- ESTIMATED HYDRAULIC LOADING: 4 BEDROOMS AT 110 GPD/BEDROOM = 440 G.P.D. GARBAGE DISPOSAL: NOT ALLOWED WITH DESIGN
- SEPTIC TANK SIZE: AVERAGE DAILY FLOW = 440 x 200% = 880 GALLONS SEPTIC TANK PROVIDED = 1500 GALLONS
- DESIGN PERCOLATION RATE = 2 M.P.I. SOIL CLASS = I EFFLUENT LOADING RATE = 0.74 GPD/SF
- LEACHING AREA: SIDEWALL = 152 SF x 0.74 GAL/SF = 113 G.P.D. BOTTOM = 456 SF x 0.74 GAL/SF = 337 G.P.D.
- REQUIRED HYDRAULIC LOADING = 440 GAL/DAY DESIGN HYDRAULIC LOADING = 450 GAL/DAY

SOIL TEST DATA		TEST PIT #3		TEST PIT #4		PERCOLATION TESTS				
DATE:	8/11/2021	GND ELEV:	248.8'	DATE:	8/11/2021	GND ELEV:	250.0'	TEST PIT No.3	TEST PIT No.	TEST PIT No.
DEPTH (Elevation)	Soil Description	DEPTH (Elevation)	Soil Description	DEPTH (Elevation)	Soil Description	DATE:	DATE:	DATE:		
10" (248.0')	A SL; 10YR3/2	10" (249.2')	A SL; 10YR3/2							
24" (246.8')	B SL; 10YR5/6	24" (248.0')	B SL; 10YR5/6							
	C SAND; 2.5Y5/3; GRAVELLY; COBBLY, SOME BOULDERS		C SAND; 2.5Y5/3; GRAVELLY; COBBLY, COARSE							
120" (238.8')	NO WATER OR MOTTLING	121" (239.9')	NO WATER OR MOTTLING							
BASIS OF GNDWTR ADJUSTMENT: DIRECT READING			BASIS OF GNDWTR ADJUSTMENT: DIRECT READING			DEPTH OF PERC: 40"			START PRESOAK: 1120	
SCS SOIL TYPE: MERRIMAC FINE SANDY LOAM			SCS SOIL TYPE: MERRIMAC FINE SANDY LOAM			END PRESOAK: 24 GALS @ 1129			TIME @ 12":	
SOIL EVALUATOR: WILLIAM BUCKLEY, JR.			SOIL EVALUATOR: WILLIAM BUCKLEY, JR.			TIME @ 9":			TIME @ 6":	
WITNESS: KEVIN DUQUETTE			WITNESS: KEVIN DUQUETTE			TIME (9"-6"):			CALC. RATE: 2 MPI	
CONSTRUCTION NOTES:			CONSTRUCTION NOTES:			DESIGN RATE: 2 MPI			NOTES: COULD NOT SOAK	

GENERAL CONSTRUCTION NOTES:

- All work shall conform to the latest edition of the Commonwealth of Massachusetts regulations governing the installation of subsurface sewage disposal systems, as published in the Code of Massachusetts Regulations and referred to as "Title 5", and any additional requirements of the Board of Health.
- Both the Contractor and Designer must certify construction and prepare as-built plans showing locations and elevations. Contractor shall coordinate his work with the Designer to allow inspection and collection of elevations and locations of the system components, including an open hole inspection of the foundation excavation. Components shall not be backfilled until inspection and approval is obtained from the Board of Health, Designer and Owner.
- Vehicle traffic, parking of vehicles, stockpiling of materials, and storage of equipment over leaching area prohibited at all times. System shall be staked and flagged or otherwise barricaded from time of installation until Certificate of Compliance is issued. Magnetic tape shall be placed over all components.

LEACHING FIELD NOTES:

- Contractor shall strip and stockpile A and B horizons and any other unsuitable material. Excavated material shall remain on site and be used as required for final grading. Excess material shall be removed from the site.
- Stone used in leaching system shall consist of double washed 3/4" to 1-1/2" stone free of dust, iron, silt and other deleterious material.
- Smear or compacted surfaces of the leaching excavation shall be scarified prior to placement of the stone.
- Leaching pipe shall be schedule 80 PVC with solvent welded joints. Holes shall be 3/8 inch diameter to 5/8 inch diameter spaced at least every six inches and ends shall be capped. Leaching stone shall be covered with a 2 inch layer of double washed 1/8" to 1/2" peastone.
- Stone shall be free of dust, fines, iron, silt and other deleterious material.
- Contractor shall provide certified fill material as required to replace topsoil, subsoil, contaminated soil to a depth of AS NECESSARY and other unsuitable material if found in or within 5' of the leaching area. Any required fill for the leaching area shall conform to the requirements of Title 5 as repeated below.

DISTRIBUTION BOX NOTES:

- Distribution box shall be watertight precast concrete with an influent baffle and watertight, removable cover. Unused outlets shall be plugged for future use.
- A minimum 6" sump below outlet invert and minimum 12" inside dimensions shall be provided.
- Distribution box shall be set level on 6" of 3/4" stone. Verify by filling distribution box with water and observe that all outlets are at same elevation.

SEPTIC TANK NOTES:

- Septic tank shall be watertight, FAST READY, 1,500 gallon capacity.
- Tank shall be set level on 6" of 3/4" stone.
- Inside length to width ratio shall be equal to or greater than 1.5, with a ratio of 2:1 preferred.
- Tank shall be constructed of reinforced watertight precast concrete and shall have manufacturers quality control seal affixed thereon.

DESIGNER NOTES:

- No variations from this plan shall be made without written direction from the Designer, Owner and Board of Health Agent.
- The contractor shall notify the Designer of any discrepancies between the plan and actual site conditions, should they exist, before installation of the system.
- These plans are meant to be used by a contractor with an in-depth knowledge of 310 CMR 15.00 (Title 5) and are not meant as stand-alone documents.
- Notwithstanding anything shown or not shown on these drawings, the Owner and Contractor are responsible for complying with the current edition of the Massachusetts Building Code regarding foundation drainage, backfilling and waterproofing and are responsible for ensuring that water does not enter the basement through the walls or floor.

SEWAGE DISPOSAL SYSTEM DESIGN

PREPARED FOR: STEVEN GRINGERI 617.680.8039
 54 SHORELINE DRIVE FOXBOROUGH, MA 02035

PROPERTY ADDRESS: #31 WATER STREET (LOT 2) FOXBOROUGH, MA
 ASSESSORS MAP/PARCEL: MAP 105, PARCEL 026

BENCHMARK DESCRIPTION: SPIKE IN TREE TO BE SET BENCHMARK ELEVATION AND DATUM: TO BE SET (NAVD 88)

THERE ARE NO PUBLIC WELLS OR SURFACE WATER SUPPLIES WITHIN 400' OF THE PROPOSED SYSTEM.

THERE ARE NO PRIVATE WELLS WITHIN 200' OF THE PROPOSED SYSTEM.

THERE ARE BORDERING VEGETATED WETLANDS WITHIN 150' OF THE PROPOSED SYSTEM.

THERE ARE NO STREAMS AS DEFINED BY THE RIVERS ACT WITHIN 200' OF THE PROPOSED SYSTEM.

THERE ARE NO OPEN, SURFACE OR SUBSURFACE DRAINS THAT INTERCEPT HIGH GROUND WATER ON THE LOT.

THERE ARE NO OTHER OPEN, SURFACE OR SUBSURFACE DRAINS ON THE LOT.

THE SITE DOES NOT LIE WITHIN A REGULATORY FLOODWAY BUT IS PARTIALLY WITHIN A 100 YEAR FLOOD ZONE. WASTEWATER FROM THE PROPERTY WILL CONSIST OF DOMESTIC WASTE ONLY.

SCHEDULE OF ELEVATIONS

Item	Finished Grade Above Structure	Finished Grade Above Structure	Finished Grade Above Structure
Top of foundation	= 250.00'	Inv. @ septic tank inlet = 246.53'	Inv. @ leaching structure(in) = 245.89' 249.2'
Basement floor	= 241.00'	Inv. @ septic tank outlet = 246.28' 249.2'	Inv. @ leaching structure(out) = 245.70' 249.2'
Inv. of pipe @ foundation = 246.06' 249.2'		Inv. @ dist. box inlet = 246.23'	Elevation of stone bottom = 245.20'
		Inv. @ dist. box outlet = 246.06' 249.1'	

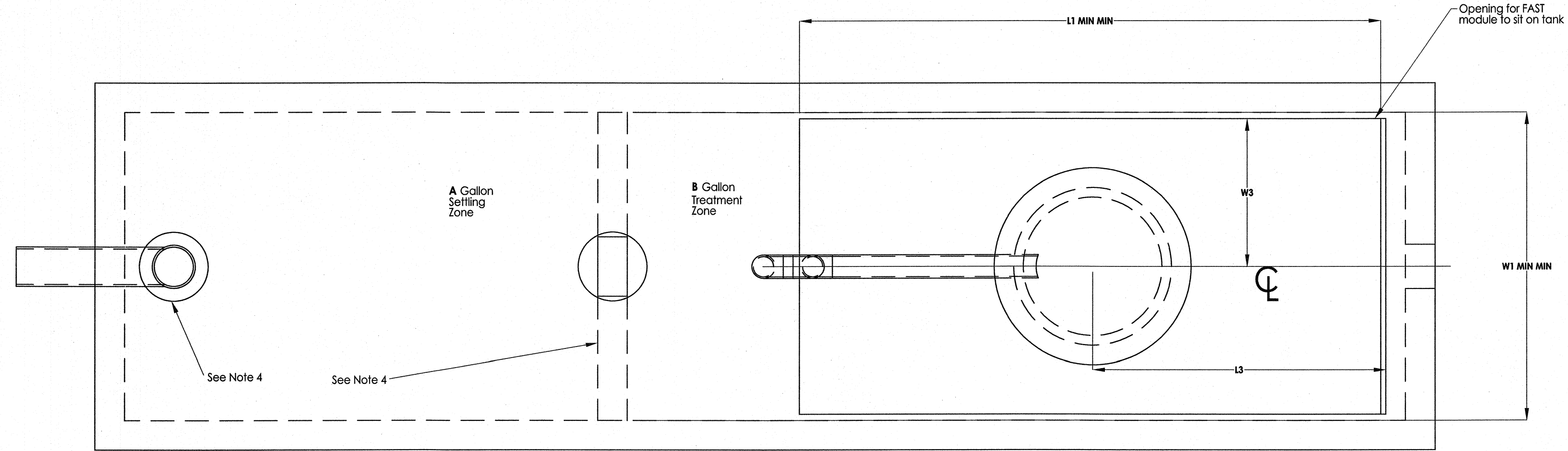
THIS SEWAGE DISPOSAL SYSTEM WAS DESIGNED IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS ENVIRONMENTAL CODE OF REGULATIONS (TITLE 5) AND THE BOARD OF HEALTH REGULATIONS OF THE TOWN/CITY OF FOXBOROUGH

ZONE CLASSIFICATION: R-40
 NITROGEN SENSITIVE AREA?: NO
 BUILDING SET-BACKS:
 FRONT: 35' SIDE: 15' REAR: 30'

BAY COLONY GROUP, INC.
 FOUR SCHOOL STREET
 FOXBOROUGH, MA 02035
 (508) 543-3939

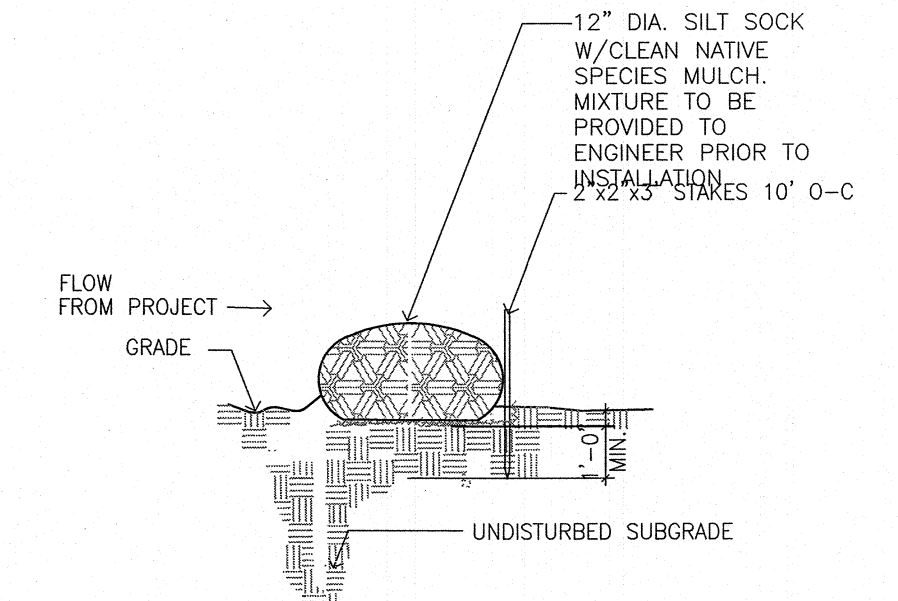
Date: AUGUST 20, 2020 Scale: 1"=40'
 Designed by: CHG Drawn by: CHG Checked by: WBJr
 Revisions: 21-0142 JOB NUMBER
 21-0142B-SS FILE NUMBER
 SHEET 1 of 2

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF BIO-MICROBICS, INC. CONTRACTOR SHALL CONTACT BIO-MICROBICS, INC. TO CONFIRM THE DESIGN DATA AND TO RECEIVE CONSTRUCTION DRAWINGS. ANY CHANGES TO THE PLAN ARE TO BE COORDINATED AND APPROVED BY THE ENGINEER AND THE BOARD OF HEALTH.

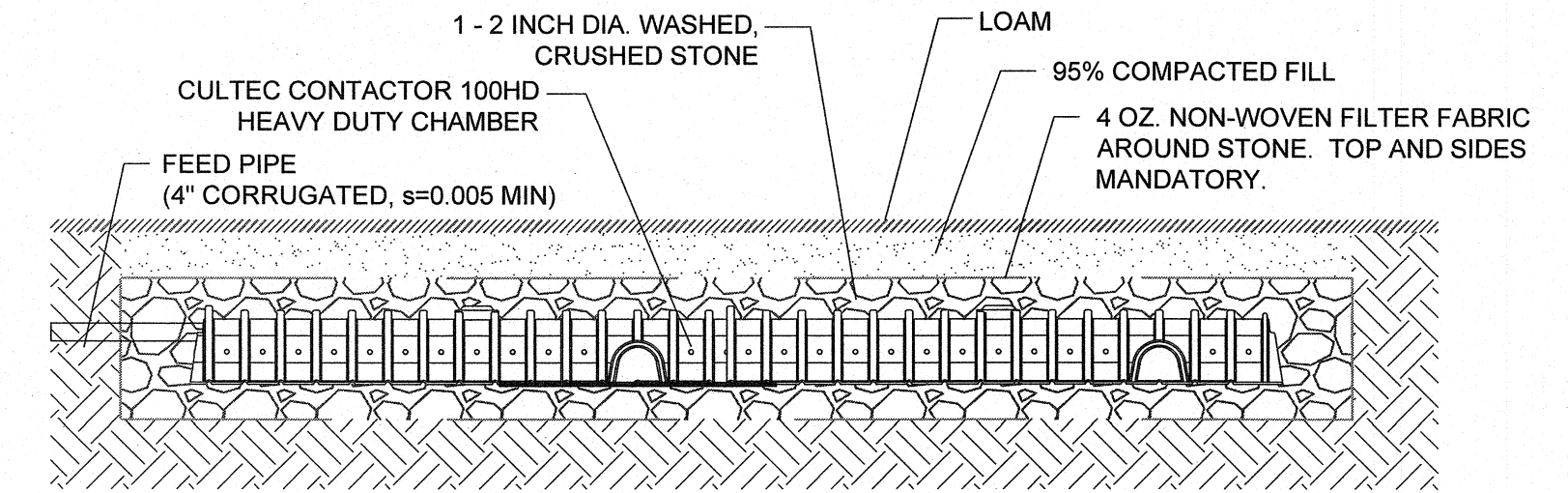
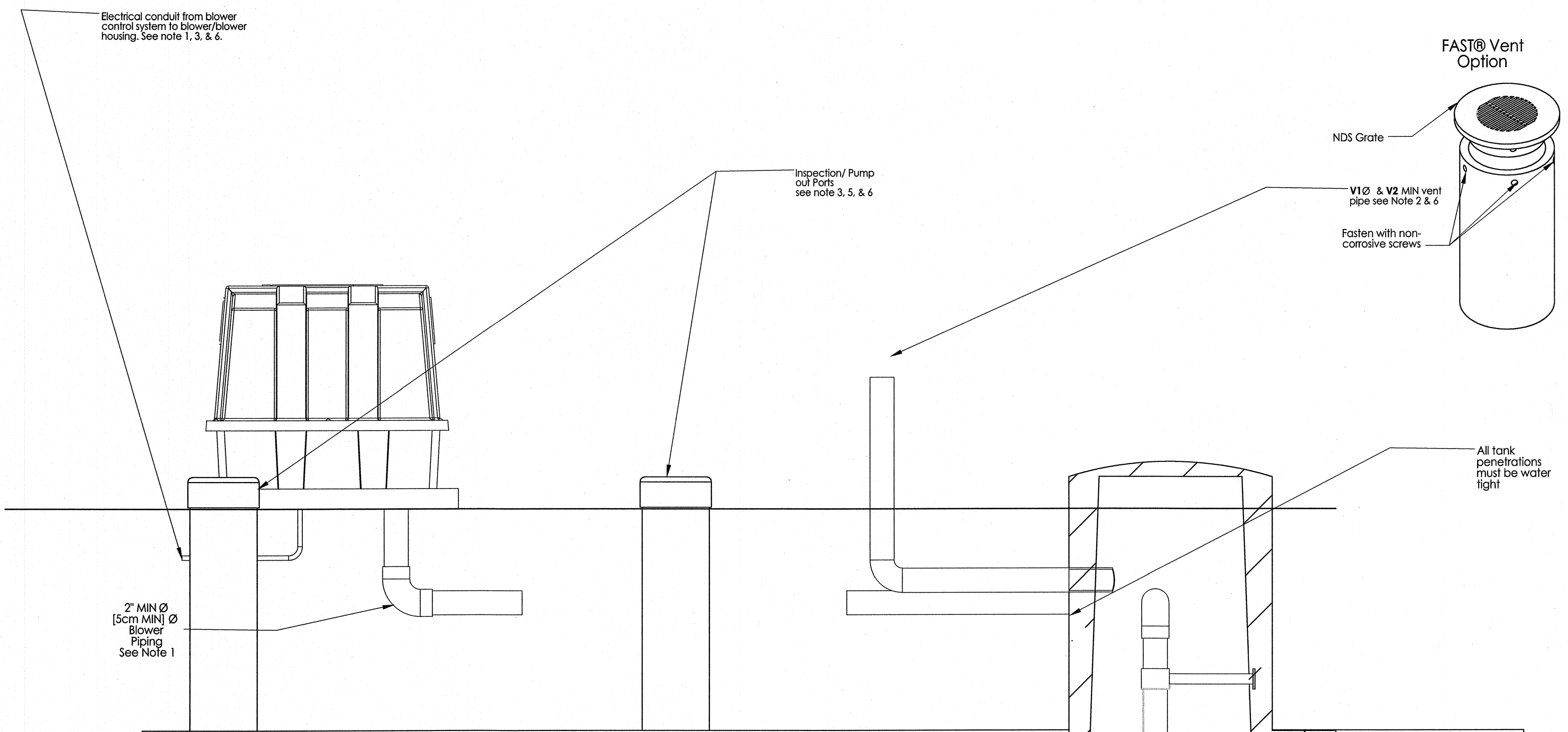


- NOTES**
- Blower piping to FAST® may not exceed 100 FT [30.5m] total length and use 4 elbows maximum. For distances greater than 100 FT [30.5m] - consult factory. Blower must be located above flood/standing water levels on a concrete base.
 - Vent to be located above finish grade or higher to avoid infiltration. Cap with vent grate with at least V2 sq in. of open surface area. Secure with stainless steel screws (see sheet 3 of 3 FAST Details.)
or
Run vent to desired location and cover opening with vent grate with at least V2 sq in. of open surface area. Secure with stainless steel screws. Vent piping must not allow excess moisture build up or back pressure.
 - All appurtenances to FAST® (e.g. tank pump outs, etc.) must conform to all country, state, province, and local plumbing and electrical codes. The blower control system is provided by Bio-Microbics, Inc.
 - Either the influent pipe tee shall be fitted with a pipe cap or the baffle separating the two zones shall be extended to the top of the tank. If choosing to use the pipe cap: drill a 1/4" [0.5cm] vent hole in the cap and the baffle shall be at least 3/8" higher than the water level as shown on the drawing.
 - All inspection, viewing and pump out ports must be secured to prevent accidental or unauthorized access.
 - Tank anchors, piping, conduit, blower housing pad and vents are provided by others.
 - All piping and ancillary equipment installed after FAST® must not impede or restrict free flow of effluent.
 - H1 Min Height may be reduced, consult factory and reference "Short-FAST-Module-Procedure.pdf".
 - See sheet 3 of 4 for required dimensions.
 - Contractor shall supply a backup generator that will connect through a secondary panel to the main panel. Said generator shall be capable of servicing the FAST system as a minimum.

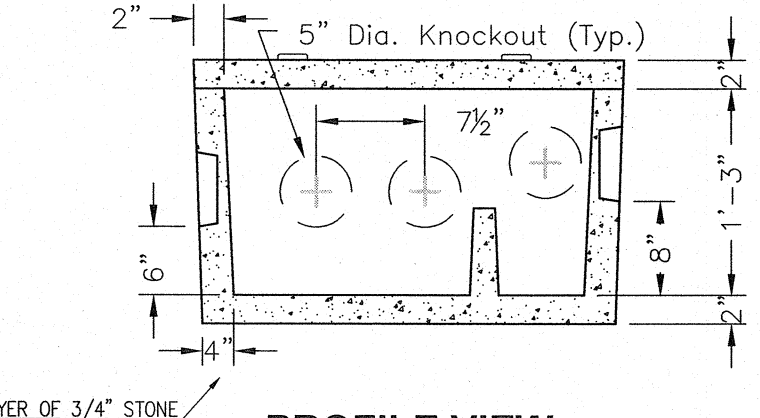
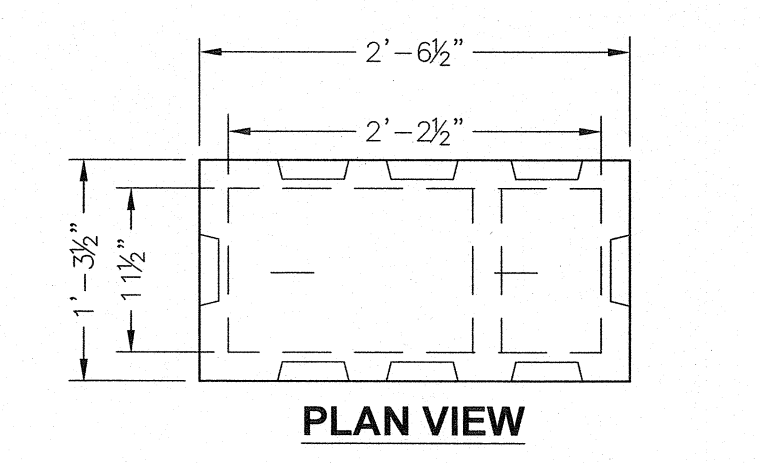
Unit Size	A MIN	B MIN	V1 MIN	V2 MIN	L1	L2	L3	W1 MIN	W2	W3	H1 MIN
0.5	500	1000	3"	7.1 in sq	59.5"	54"	29.75"	31.25"	25"	15.125"	16.375"
0.75	500	1000	3"	7.1 in sq	60"	54"	31.5"	44.25"	37"	21.5	16.375"
0.9	500	1000	3"	7.1 in sq	59"	54"	31.25"	54.5"	49"	26.625	16.375"
1.0	500	1000	4"	9 in sq	59"	54"	31.25"	54.5"	49"	26.625	16.375"
1.5	750	2000	4"	9 in sq	83.5"	75.75"	42.875"	55.75"	49"	27.625	16.25"



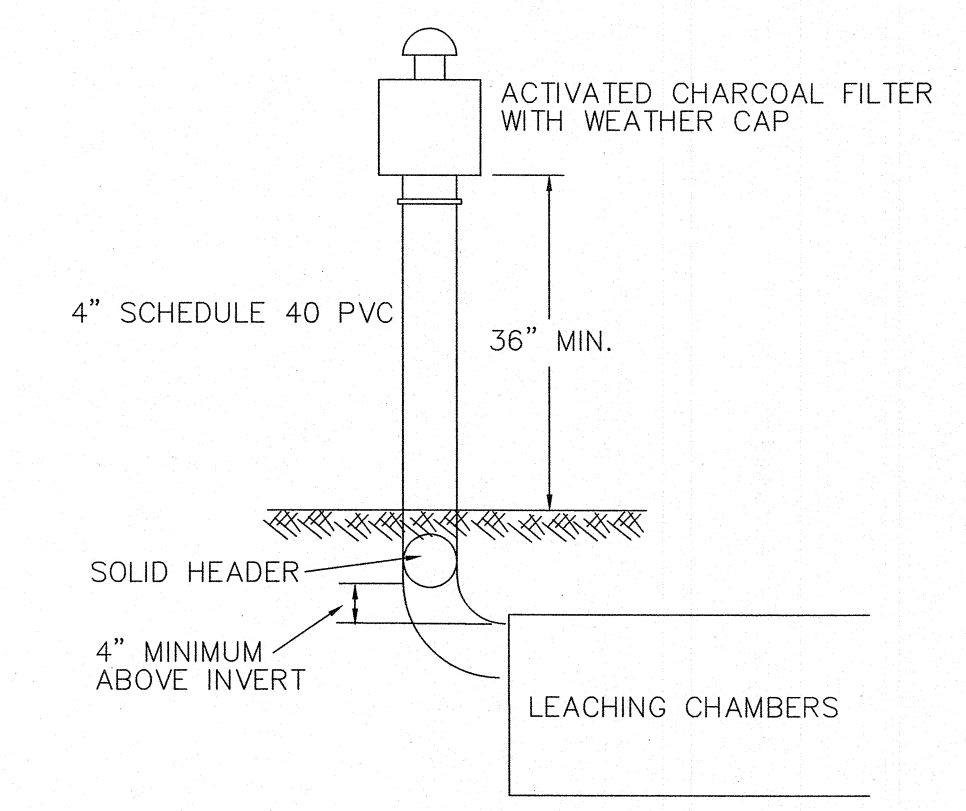
SILT SOCK EROSION CONTROL
NOT TO SCALE



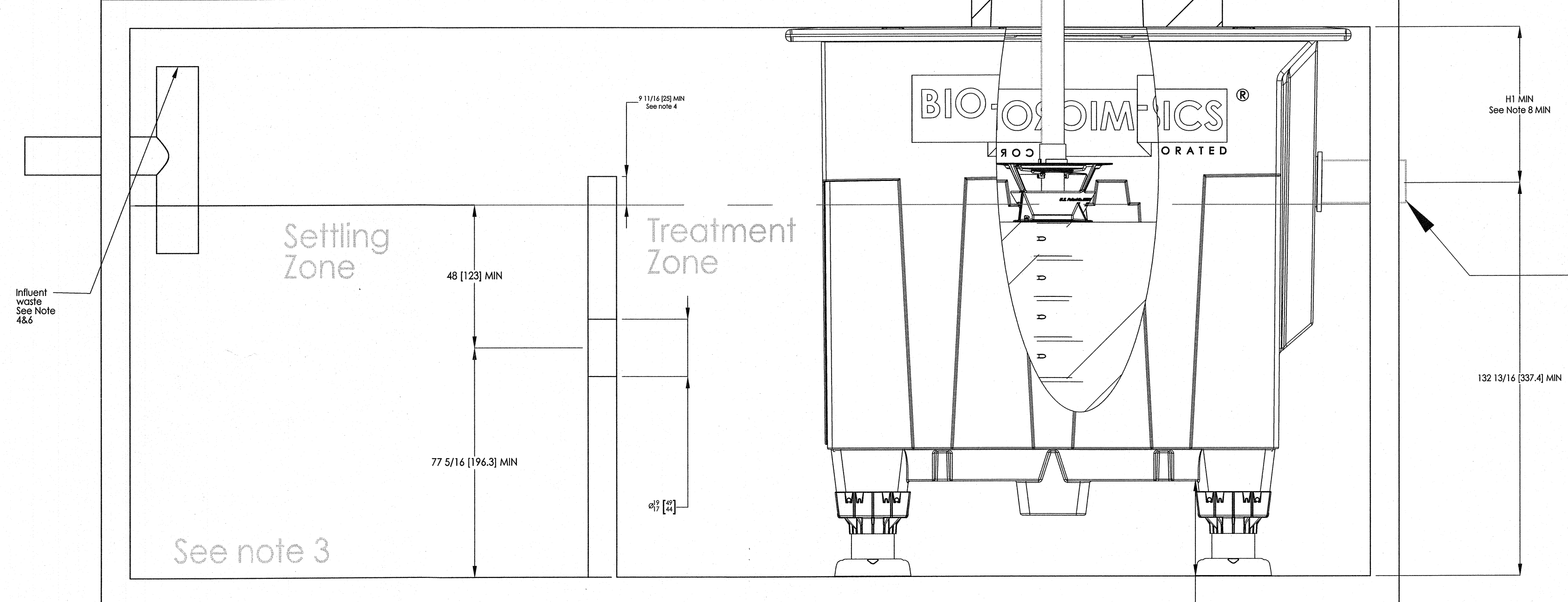
ROOF DRAIN SYSTEM
NOT TO SCALE



PROFILE VIEW
DISTRIBUTION BOX
ROTONDO DB-5 OR EQUIV



VENT DETAIL
NOT TO SCALE

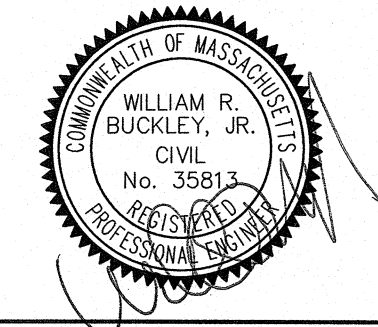


See note 3

SEWAGE DISPOSAL SYSTEM DESIGN

PREPARED FOR: STEVEN GRINGERI 617.680.8039
54 SHORELINE DRIVE FOXBOROUGH, MA 02035

PROPERTY ADDRESS: #31 WATER STREET (LOT 2) FOXBOROUGH, MA
ASSESSORS MAP/PARCEL: MAP 105, PARCEL 026



BAY COLONY GROUP, INC.
FOUR SCHOOL STREET
FOXBOROUGH, MA 02035
(508) 543-3939

Date: AUGUST 20, 2020 Scale: 1"=40'
Designed by: CHG Drawn by: CHG Checked by: WB/Jr
Revisions: JOB NUMBER 21-0142
PLAN NUMBER 21-0142B-SS
SHEET 2 of 2