

SILVA RESIDENCE PROPOSED ADDITION

6 McNAMARA WAY
FOXBORO, MA

AJA PROJECT NO.21-AJA-20



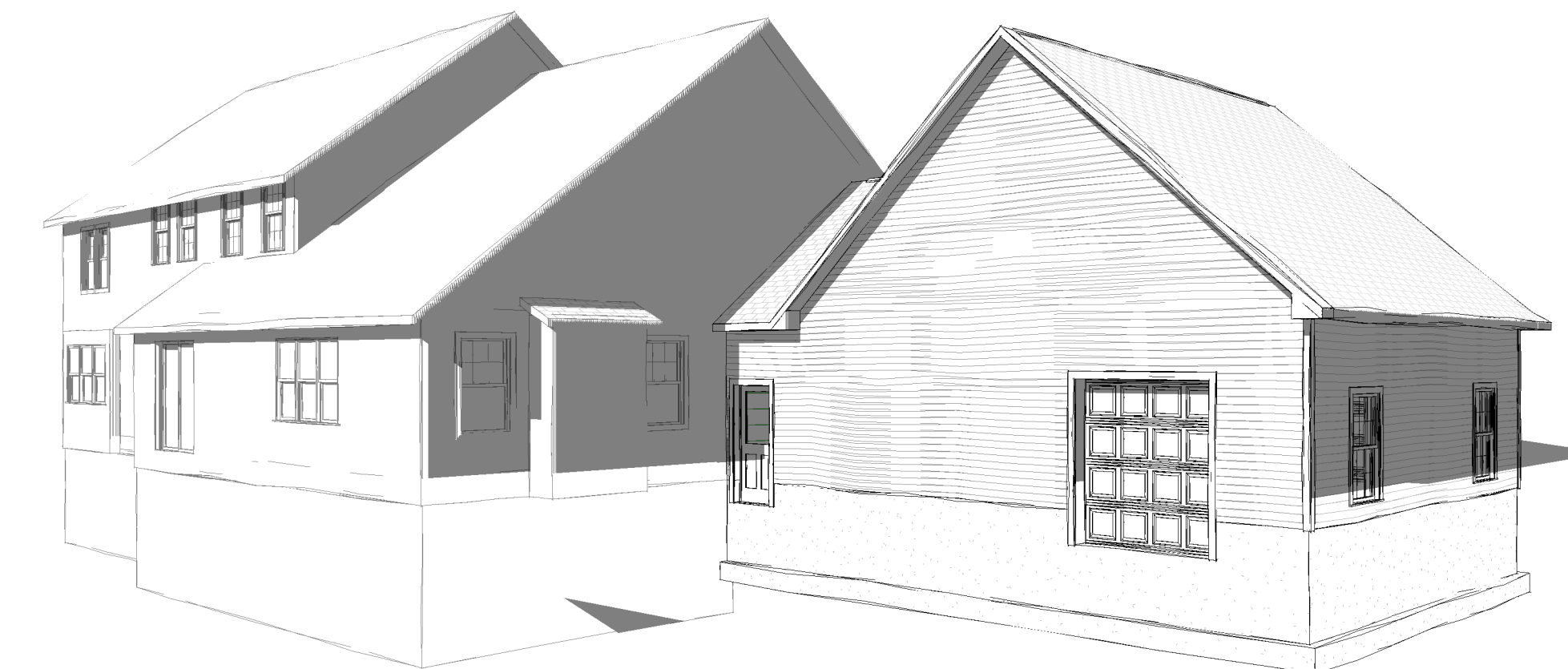
AJA GROUP, INC.
16 MASON AVENUE, SUITE 5 NORTH ATTLEBORO, MA 02760
phone: (781) 935-2500 fax: (781) 935-2519



PROJECT LOCUS MAP



FRONT



REAR

GENERAL NOTES

1	UNLESS OTHERWISE DIRECTED BY THE OWNER IN WRITING, THE WORK MUST BE CONDUCTED BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. ON MONDAY THROUGH FRIDAY. NO WORK IS TO BE DONE ON HOLIDAYS, SATURDAYS OR SUNDAYS OTHER THAN FOR EMERGENCIES
2	ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE FOXBORO , THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
3	IT IS STRONGLY RECOMMENDED THAT ALL BIDDERS/CONTRACTORS INSPECT THE PROJECT TO VERIFY ALL EXISTING CONDITIONS. THE BIDDER/CONTRACTOR WILL BE HELD FULLY RESPONSIBLE FOR THE FULL EXTENT OF ALL WORK REQUIRED.
4	THE BIDDER/CONTRACTOR SHALL CONFIRM AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS AND LOCATIONS PRIOR TO SUBMITTING THEIR BID. DRAWN INFORMATION IS TAKEN FROM EXISTING DRAWINGS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE BIDDER/CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5	THE BIDDER/CONTRACTOR SHALL REPORT IN WRITING ALL DEVIATIONS IN THE EXISTING CONDITIONS, DIMENSIONS AND LOCATIONS ETC. TO THE ARCHITECT. ACTUAL CONDITIONS MAY VARY FROM WHAT IS SHOWN ON THESE DRAWINGS.
6	DO NOT SCALE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES OR AREAS. ALL EXISTING DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR IN THE FIELD.
7	IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT AND /OR CONDITION ETC. OF THE BUILDING SYSTEMS, HOWEVER THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE, TO THE SATISFACTION OF THE ARCHITECT AND IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODE REQUIREMENTS.
8	ALL MATERIALS AND NOTES REFER TO NEW MATERIALS UNLESS OTHERWISE NOTED OR INDICATED AS EXISTING.
9	THE CONTRACTOR SHALL TEMPORARILY DISCONNECT AND REMOVE ALL EXISTING SERVICES THAT INTERFERE WITH THE PROPER INSTALLATION OF THE NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT/OWNER OF THESE SERVICES BEFORE DISCONNECTION. REINSTALL AND RECONNECT ALL TEMPORARILY DISCONNECT AND REMOVED ITEMS TO THE SATISFACTION OF THE ARCHITECT.
10	ALL EXISTING AREAS DISTURBED OR DAMAGED AS A RESULT OF THE NEW CONSTRUCTION ARE TO BE PATCHED OR REPLACED TO MATCH EXISTING AND /OR NEW ADJACENT SURFACES UNLESS NOTED OTHERWISE.
11	DISPOSE OF ALL DEBRIS IN A LEGAL MANNER.

SHEET LIST

NO.	SHEET NAME
A-0	COVER PAGE
A-1	ABBREVIATIONS AND SCHEDULES
A-2	FOUNDATION PLAN
A-3	PROPOSED FIRST FLOOR PLAN
A-4	FRONT & RIGHT SIDE ELEVATIONS
A-5	TYPICAL SECTIONS
A-6	FIRST FLOOR FRAMING PLAN
E-1	ELECTRICAL PLANS

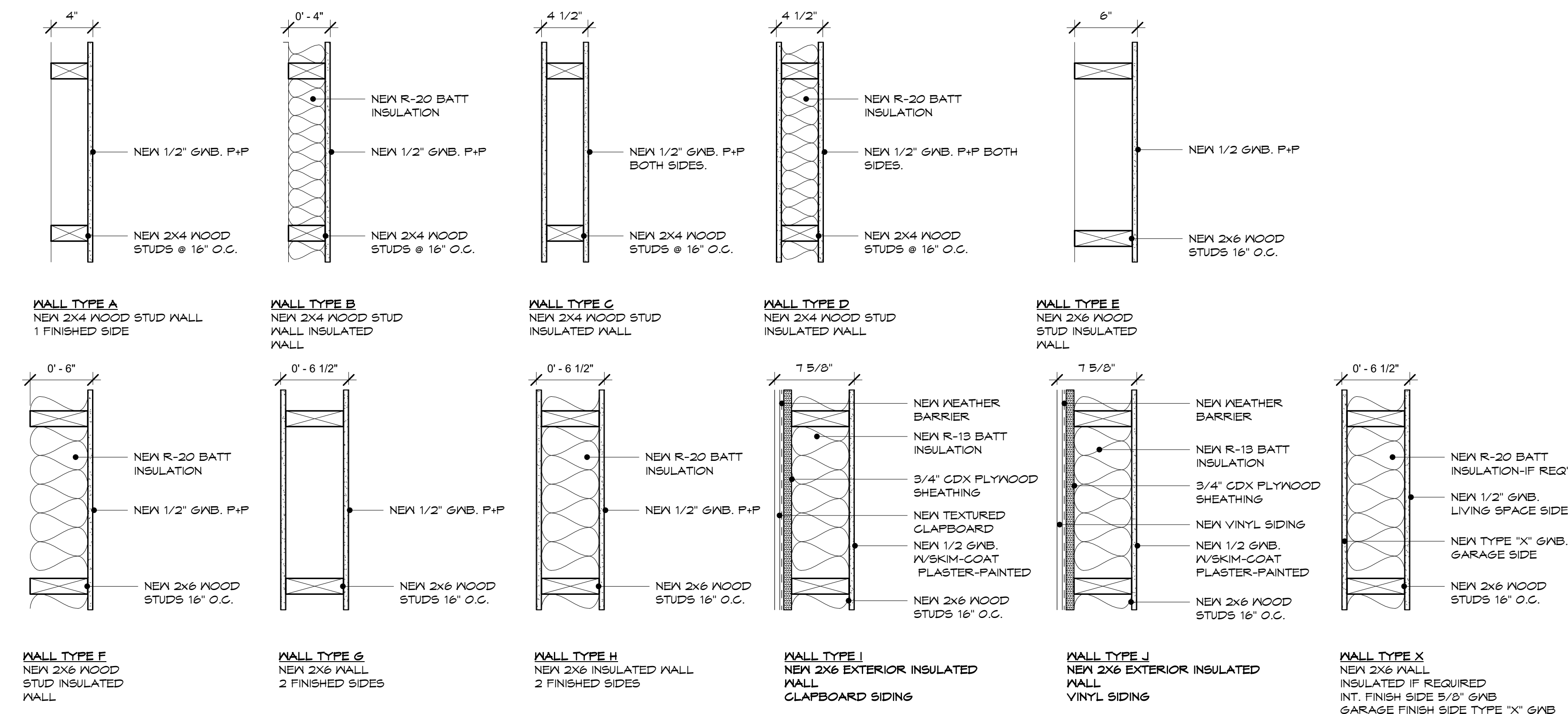
DATE: 3/01/22

LOCUS PLAN & TITLE SHEET

A-0

ABBREVIATIONS

A/C	AIR CONDITIONING	GA	GAUGE	REF	REFRIGERATOR
ACT	ACQUISITION TILE	GB	GENERAL CONTRACTOR	REFURB	REFURBISH
A.F.F.	ABOVE FINISH FLOOR	GC	GENERAL CONTRACTOR	REINF	REINFORCEMENT
ALT	ALTERNATE	GALV	GALVANIZED	RES	RESILIENT
ALUM	ALUMINUM	GL	GLASS	REGD	REQUIRED
ANG BLT	ANCHOR BOLT	GLAZ	GLAZED BLOCK	RH	RIGHT HAND
APPROX	APPROXIMATE	GLB	GLASS BLOCK	RL	RAIN LEADER
ARCH	ARCHITECT	GN	GOOSENECK	RM	ROOM
ARGB	ABUSE RESISTANT	GWB	GYPSUM WALL BOARD	R/O	ROUGH OPENING
ASPH	ASPHALT	HC	HANDICAP	RST	RUBBER STAIR TREAD
BC	BRICK COURSE	HD	HEAVY DUTY	RT	RUBBER TILE
BD	BOARD	HDNR	HARDWARE	RTU	ROOF TOP UNIT
BITUM	BITUMINOUS	HDPE	HIGH DENSITY POLYETHYLENE	S	SEALANT
BLDG	BUILDING	HM	HOLLOW METAL	SG	SECURITY GLASS
BLK	BLOCK	HOR	HORIZONTAL	SHM	SECURITY HOLLOW METAL
BLKG	BLOCKING	HF	HIGH POINT	SCH	SCHEDULE
BM	BENCH MARK	HT	HEIGHT	SCR	SHOWER CURTAIN ROD
BOF	BOTTOM OF FOOTING	HTR	HEATER	SCM	SOLID CORE WOOD
BOD	BOTTOM OF DUCT	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SD	SOAP DISPENSER
BOTT	BOTTOM BEARING	ID	INSIDE DIAMETER	SECT	SECTION
BRG	BRICK	INSUL	INSULATION	SF	SQUARE FEET
BS	BRICK SHELF	INT	INTERIOR	SIM	SIMILAR
BSMT	BASEMENT	INV	INVERT	SIP	STRUCTURALLY INSULATED PANEL
CAB	CABINET	JST	JOIST	SND	SANITARY NAPKIN DISPENSER
CB	CEMENT BOARD	JT	JOINT	SNV	SANITARY NAPKIN VENDOR
CDM	CANTITY DRAINAGE	L	LENGTH	SPEC	SPECIFICATION
CH	CEILING HEIGHT	LAM	LAMINATE	SQ	SQUARE
CIP	CAST IN PLACE	LAV	LAVATORY	SS	STAINLESS STEEL
CJ	CONTROL JOINT	LBL	LABEL	STD	STANDARD
CL	CENTRAL LINE	LC	LEAD COATED	STL	STANDARD STEEL
CLG	CEILING	LGT	LEAD COATED COMPOSITE TILE	STL	STEEL
CLOS	CLOSEST	LCC	LEAD COATED COPPER	STOR	STORAGE
CMU	CONCRETE MASONRY UNIT	LSC	LIFE SAFETY CODE	STRUCT	STRUCTURE OR STRUCTURAL
CNTR	COUNTER	MAS	MASONRY	SUSP	SUSPENDED OR SUSPENSION
CO	CASED OPENING	MAX	MAXIMUM	SV	SHEET VINYL
COL	COLUMN	MB	MARKER BOARD	T	T
COMP	COMPOSITION	MBL	MARBLE TILE	T & B	TOP AND BOTTOM
CONC	CONCRETE	MC	MEDICINE CABINET	TB	TOWEL BAR
CONST	CONSTRUCTION	MDF	MEDIUM DENSITY FIBERBOARD	TBA	TO BE ABANDONED
CONT	CONTINUOUS	MDO	MEDIUM DENSITY OVERLAY	TB	TILE BACKER BOARD
CONV	CONVECTOR	MECH	MECHANICAL	TD	TO BE DETERMINED
CORR	CORRIDOR	MFR	MANUFACTURER	TEL	TELEPHONE
COORD	COORDINATE	MH	MANHOLE	THK	THICK OR THICKNESS
CPT	CARPET	MIN	MINIMUM	THOLD	THRESHOLD
CT	CERAMIC TILE	MIR	MIRROR	TOC	TOP OF CURB
CUH	CABINET UNIT HEATER	MISC	MISCELLANEOUS	TOL	TOP OF LANDING
D	DRYER	ML	MATCH LINE	TOP	TOP OF PLATE
DBL	DOUBLE	MO	MASONRY OPENING	TOS	TOP OF STEEL
DEMO	DEMOLITION	MR&B	MOISTURE RESISTANT GB	TOW	TOP OF WALL
DI	DRAIN INLET	MS	METAL STUD	TS	TUBULAR STEEL
DIAS	DIAGONAL	MTD	MOUNTED	TTD	TOILET TISSUE DISPENSER
DIAM	DIAMETER	MTL	METAL	TM	TYPICAL
DIM	DIMENSION	MTP	METAL TIE PARTITION	UC	UNDERCUT
DL	DRAIN LEADER	MWF	MOLDED WOOD FIBERBOARD	UNO	UNLESS NOTED OTHERWISE
DN	DOWN	MWP	MULTI-COLOR WALL PAINT	UV	UNIT VENTILATOR
D-PART	DEMOUNTABLE	NA	NOT APPLICABLE	VB	VINYL WALL BASE
PARTITION		NC	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
DR	DOWNPOUT	NG	NOT TO SCALE	VERT	VERTICAL
DR	DR	NOM	NOMINAL	VEST	VESTIBULE
DTL	DETAIL	NTS	NOT TO SCALE	VIF	VERTICAL FIELD
DWG	DRAWING	NO	NUMBER	VFB	VENEER PLASTER BASE
DW	DISHWASHER	NM	NEW	VS	VENT-STACK
EA	EACH	OA	OVERALL	VT	VINYL TREAD
EF	EACH FACE	OC	ON CENTER	VTS	VINYL TRANSITION STRIP
EIFS	EXTERIOR INSULATED FINISH SYSTEM	OD	OUTSIDE DIAMETER	VWB	VINYL WALL BASE
EJ	EXPANSION JOINT	OH	OPPOSITE HAND/OVERHEAD	VYC	VAINLY WALL COVERING
ELEC	ELECTRIC	OPNG	OPENING	W	WASHER
ELEV	ELEVATOR/ELEVATION	OPPHAND	OPPOSITE HAND	W/	WITH
EMER	EMERGENCY	OPP	OPPOSITE	W/O	WITHOUT
ENCL	ENCLOSURE	OSB	ORIENTED STRAND BOARD	WB	WRITING (WHITE) BOARD
EP	ELECTRICAL PANEL	OVN	OPERABLE WALL	WC	WATER CLOSET
EPXY	EPOXY SEALING SYSTEM	P+P	PREPARE AND PAINT	WD	WOOD
EQ	EQUAL	PART BD	PARTICLE BOARD	WF	WIRE FABRIC
EQUIP	EQUIPMENT	PCP	PRECAST CONCRETE PLANK	WG	WIRE GLASS
ER	EXISTING TO REMAIN	PERM	PERIMETER	WP	WALL PAPER
EXH	EXHAUST	PF	PREFINISHED	WPG	WATER PROOF(ING)
EXIST	EXISTING	PL	PLASTER OR PROPERTY LINE	WS	WOOD STUD
EXP	EXPANSION	PLAM	PLASTIC LAMINATE	WT	WEIGHT
EXPT	EPOXY PAINT	PLAS	PLASTIC	WVF	WELDED WIRE FABRIC
EXT	EXTERIOR	PLND	PLYWOOD	SD	Smoke Detector
EM	EACH WAY	FMJF	FREMOLDED JOINT FILLER	CO	CO Detector
ENC	ELECTRIC WATER COOLER	FNT	PAINT	HD	Heat Detector
FACP	FIRE ALARM CONTROL PANEL	FNTD	PAINTED		
FB	FIRE BLANKET	FR	PAIR		
FD	FLOOR DRAIN	FSP	POUNDS PER SQUARE FEET		
FE	FIRE EXTINGUISHER	FT	PRESSURE TREATED		
FF	FINISH FLOOR	FTD	PAPER TOWEL DISPENSER		
FFE	FINISH FLOOR ELEVATION	FTN	PARTITION		
FINISH		FVC	POLYVINYL CHLORIDE		
FG	FIBERGLASS	FVMT	PAVEMENT		
FLASH	FLASHING	QT	QUARRY TILE		
FLR	FLOOR	R & D	REMOVE AND DISPOSE		
FLUOR	FLUORESCENT	R & R	REMOVE AND REPLACE		
FNDN	FOUNDATION	R & S	REMOVE AND SALVAGE		
FCC	FACE OF CONCRETE	R	RADIUS/RISER		
FOF	FACE OF FINISH	RB	RUBBER MAT		
FOM	FACE OF MASONRY	RD	ROOF DRAIN		
FOS	FACE OF STUD				
FP	FIRE PROOFING				
FR	FIRE RETARDANT				
FTG	FOOTING				
FUR	FURRING				
FAM	FLUID APPLIED MEMBRANE				



2 WALL TYPES
A-1 1 1/2" = 1'-0"

DOOR SCHEDULE					
TYPE	COUNT	WIDTH	HEIGHT	MATERIAL	DOOR TYPE
001	4	3' - 0"	6' - 8"		
002	2	3' - 0"	6' - 8"		
003	1	2' - 8"	6' - 8"		
004	16	2' - 6"	6' - 8"		
005	1	6' - 0"	6' - 8"		
006	2	10' - 0"	7' - 6"		
007	1	7' - 0"	7' - 6"		

WINDOW SCHEDULE				
MARK	ROUGH WIDTH	ROUGH HEIGHT	MANUFACTURER	MODEL
A	2' - 10"	4' - 9 1/2"	HARVEY BP	2846
B	2' - 6"	3' - 5 1/2"	HARVEY BP	2432
C	5' - 9 1/4"	5' - 1 1/2"	HARVEY BP	29410-2

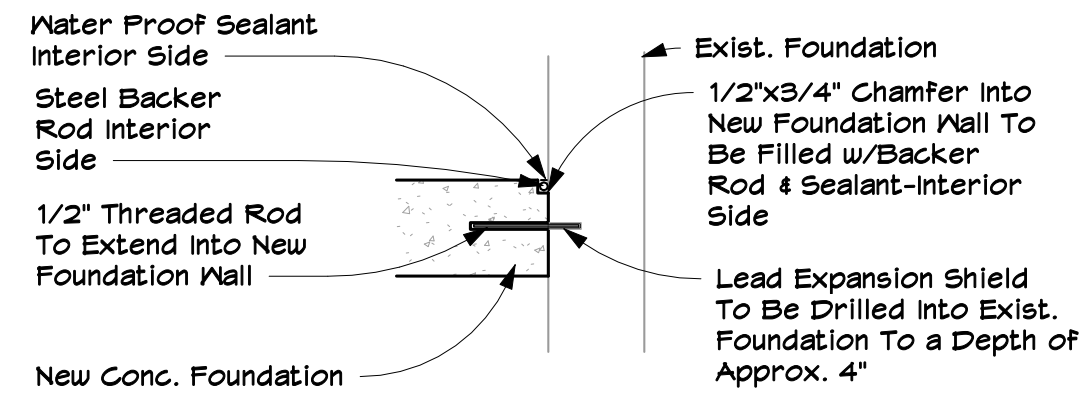
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SILVA RESIDENCE
PROPOSED ADDITION
AJA GROUP, INC.
16 MASON AVENUE, SUITE 5 NORTH ATTLEBORO, MA 02760

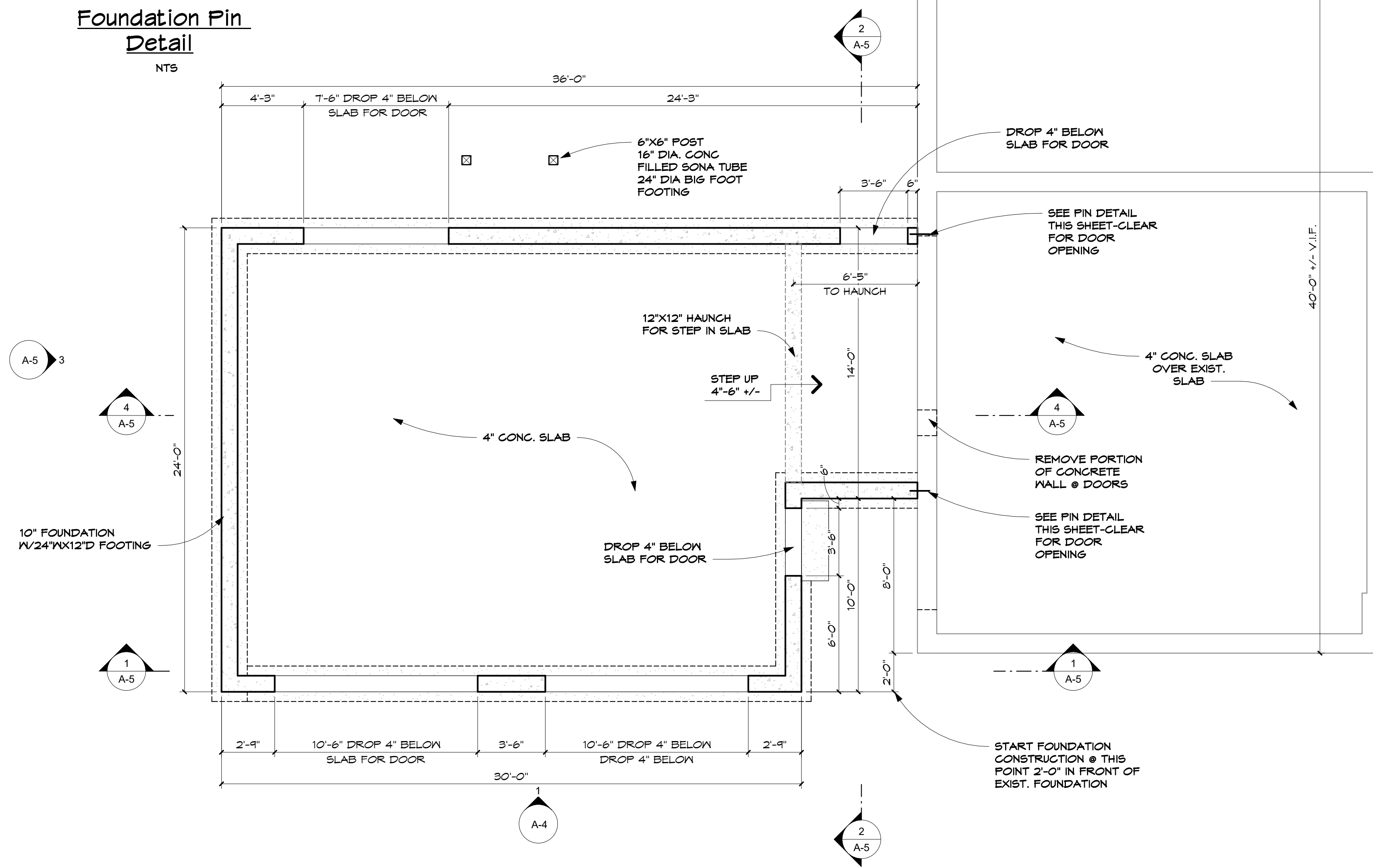
DATE: 3/01/22
SCALE: As indicated
DRAWN BY: R.M.D.
PROJECT #: 21-AJA-20



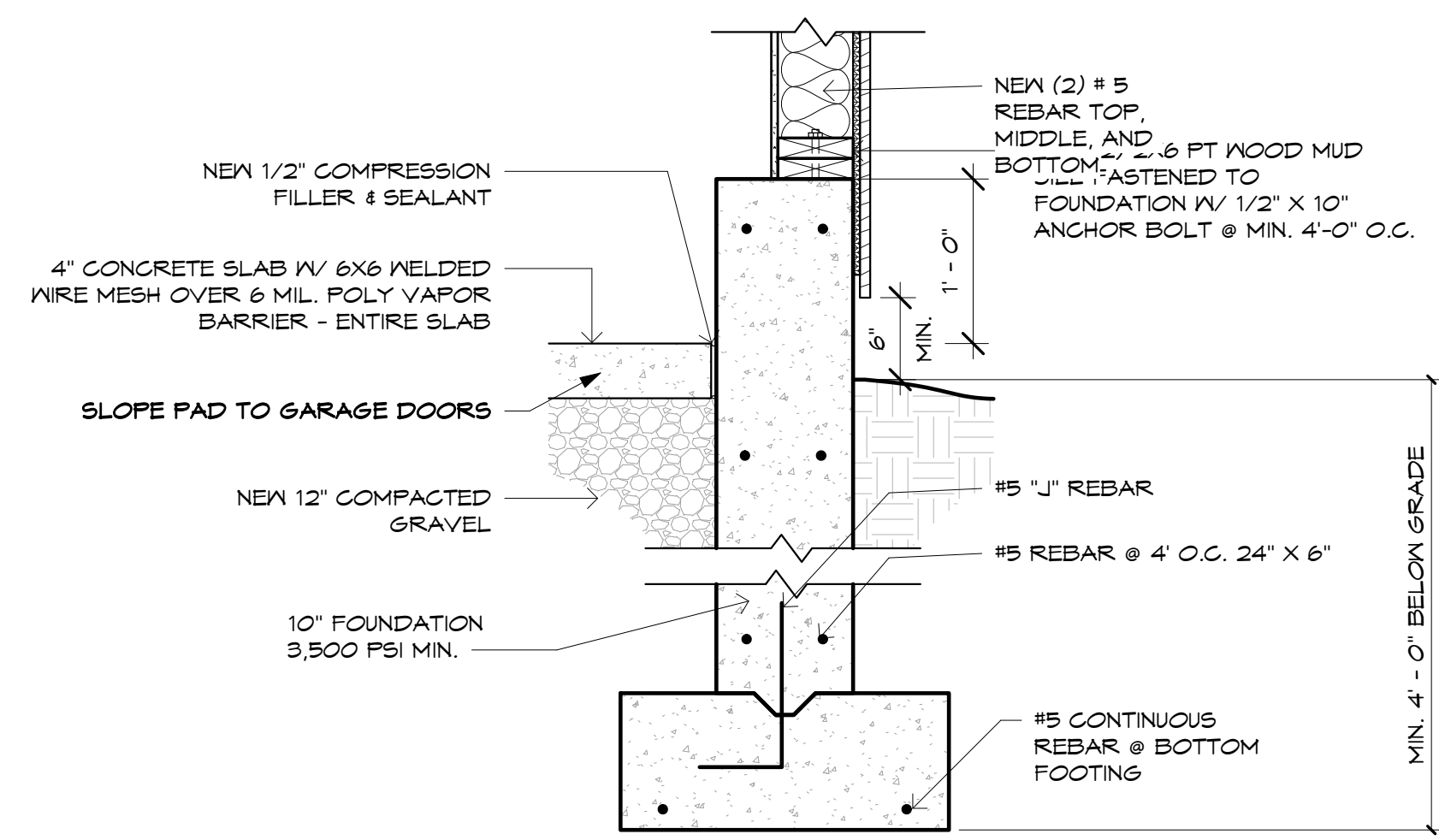
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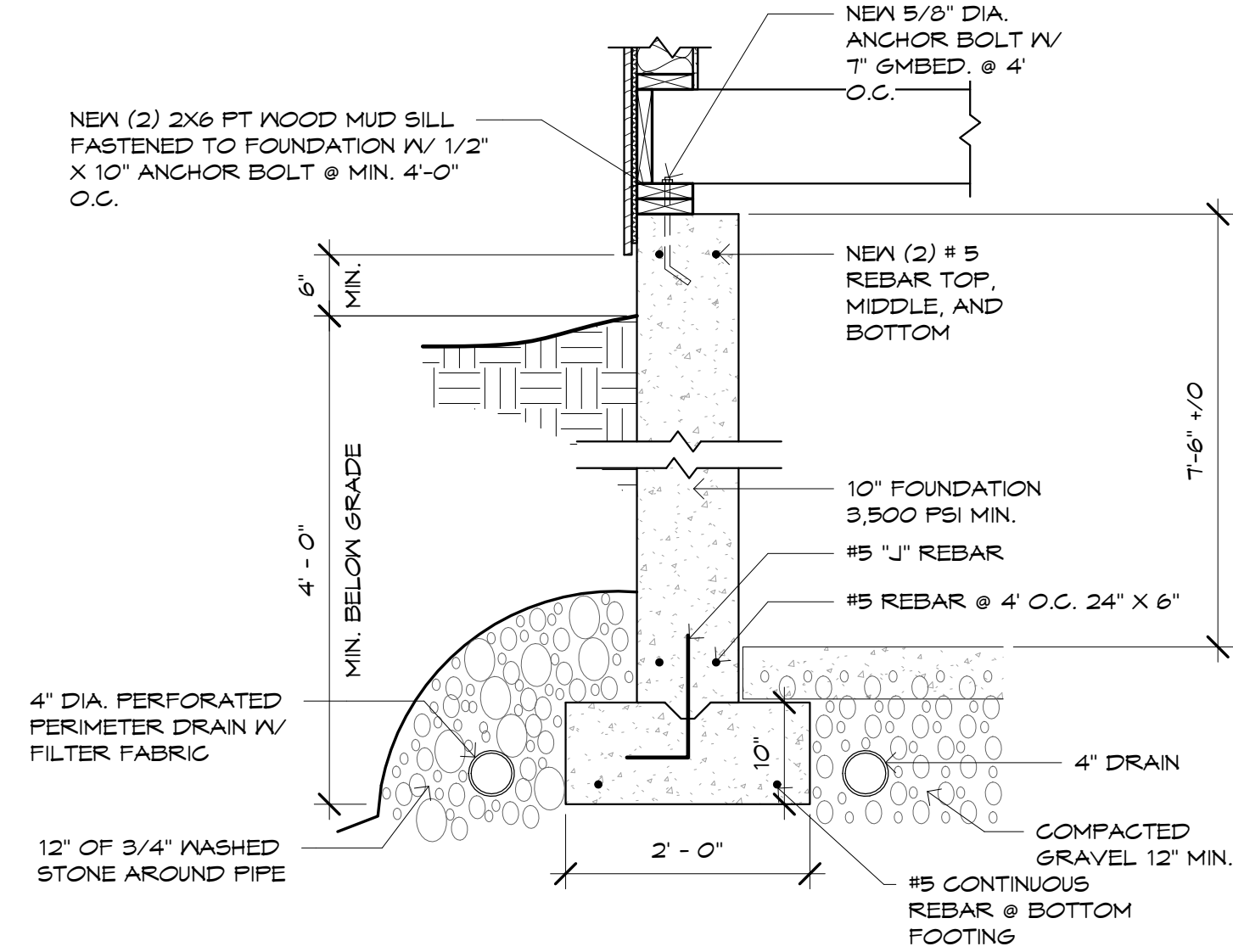
Foundation Pin Detail
NTS



2 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



1 TYP. FOUNDATION @ GARAGE
1" = 1'-0"



3 TYP. FOUNDATION DETAIL
3/4" = 1'-0"

CONCRETE AND REINFORCEMENT

ALL CONCRETE WORK SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-99) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
 ALL CONCRETE IN FOUNDATIONS AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.
 ALL CONCRETE SLABS ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 ALL CONCRETE SHALL HAVE BETWEEN 5% TO 7% AIR ENTRAINMENT AND 4" MAX. SLUMP.
 NO CONCRETE SHALL BE CAST IN WATER OR ON FROZEN GROUND.
 BACKFILL AGAINST WALLS SHALL BE PLACED ALTERNATELY ON EACH SIDE IN 12" MAXIMUM LIFTS.
 REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:
 (A) ASTM 615, GRADE 60 FOR DEFORMED BARS (F_y=60,000 PSI)
 (B) WELDED WIRE FABRIC (WWF) REINFORCEMENT: ASTM A105

REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS AS INDICATED ON THE DRAWINGS.
 WELDED WIRE FABRIC SHALL BE LAPPED 6 INCHES OR ONE SPACE, WHICHEVER IS LARGER, AND SHALL BE WIRED TOGETHER

GENERAL FOUNDATION NOTES

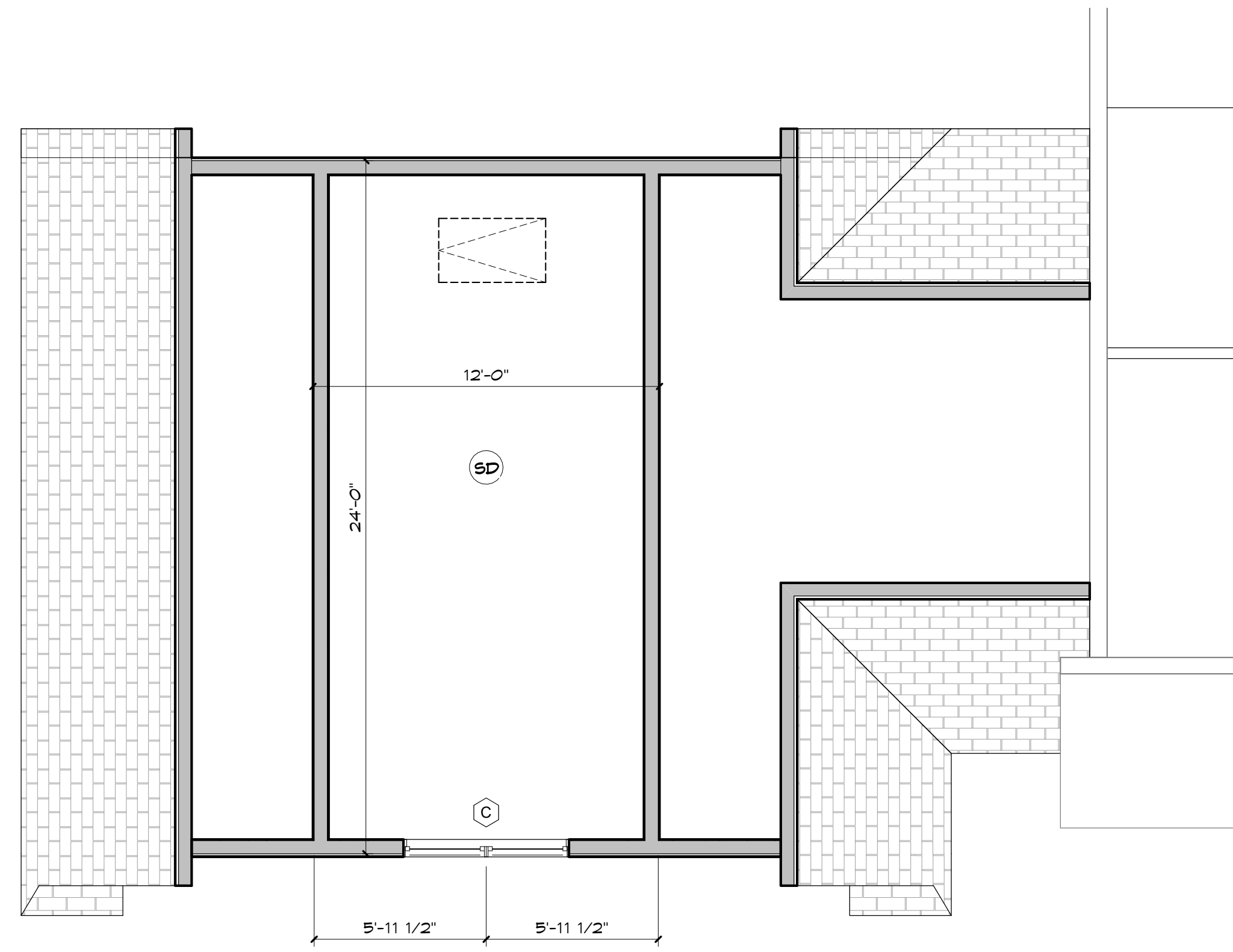
ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL AND STATE REGULATIONS AND BUILDING CODES.
 THE CONTRACTOR SHALL EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR VERIFICATION, LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE DRAWINGS.
 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND SHALL NOTIFY AJA ARCHITECTS OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.
 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING & SHORING UNTIL ALL STRUCTURAL WORK IS COMPLETE.
 THE CONTRACTOR SHALL NOTIFY AJA ARCHITECTS IF ANY CHANGES ARE MADE TO PROPOSED GRADE ELEVATIONS.
 PROVIDE EXPANSION JOINT FILLER AND SEALANT WHERE FLOOR SLAB ABUTS WALLS.
 ALL EXTERIOR FOUNDATION WALL CONSTRUCTION SHALL BE CARRIED DOWN TO A MINIMUM DEPTH OF FOUR FEET (4'-0") BELOW FINISHED EXTERIOR GRADE.
 BOTTOM ELEVATION OF FOOTING SHALL BE ADJUSTED IF NECESSARY TO BEAR ON FIRM UNDISTURBED VIRGIN MATERIAL OR ENGINEERED FILL CAPABLE OF SUPPORTING A MIN. SOIL BEARING CAPACITY OF 2,500 PSF.

FOUNDATION PLAN

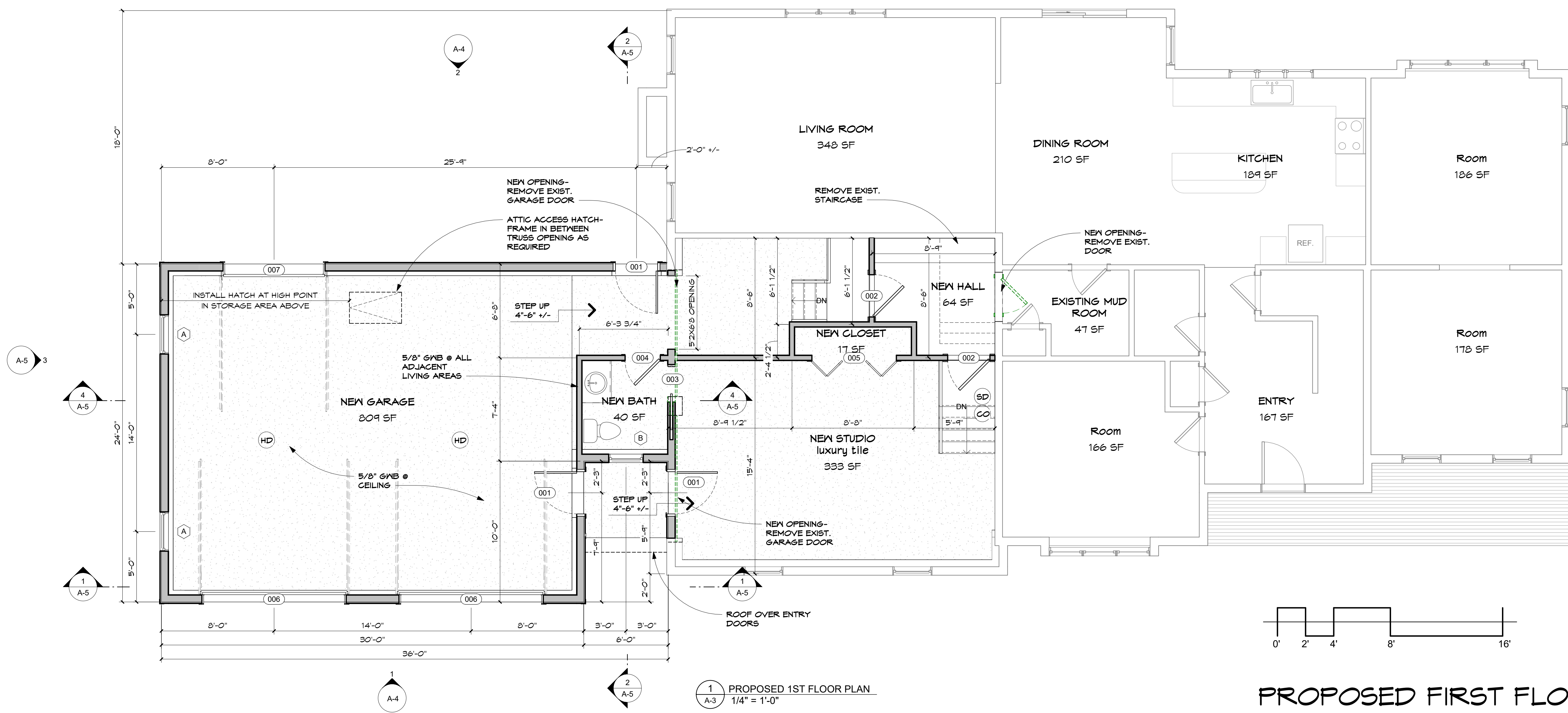
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AJA architects
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 (781) 935-2500

A-2



2 PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN

DATE: 3/01/22
SCALE: 1/4" = 1'-0"
DRAWN BY: R.M.D.

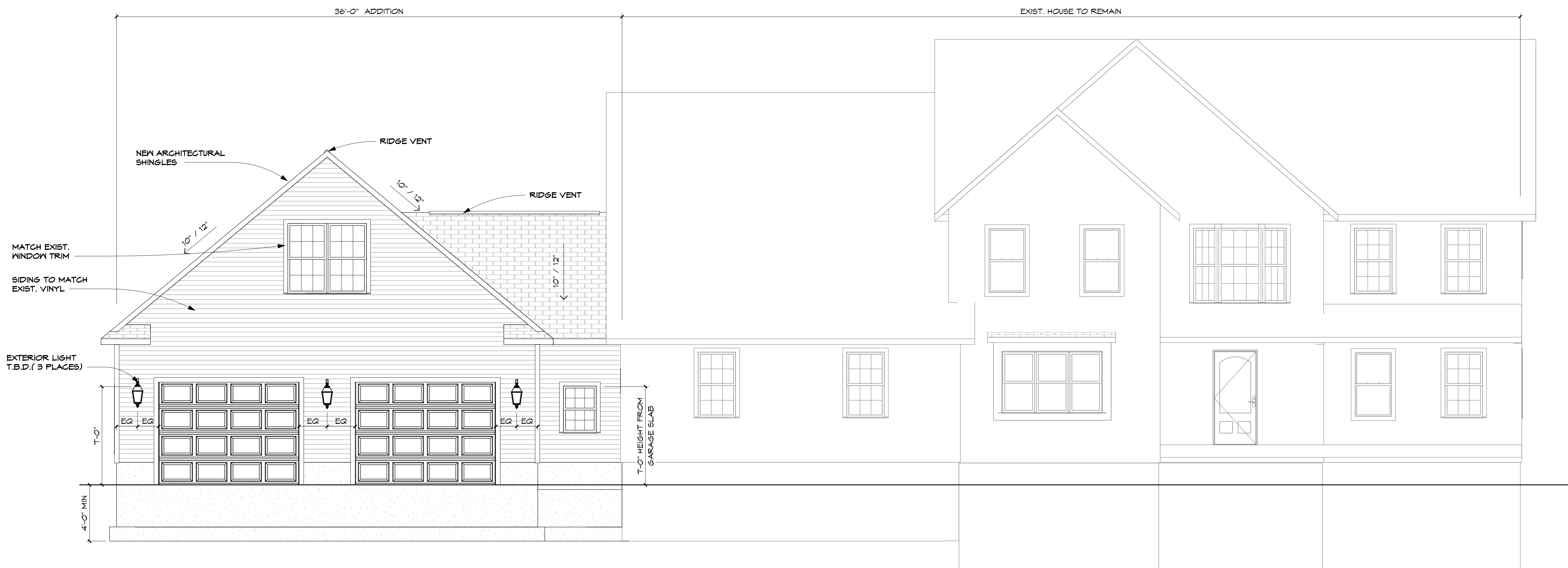


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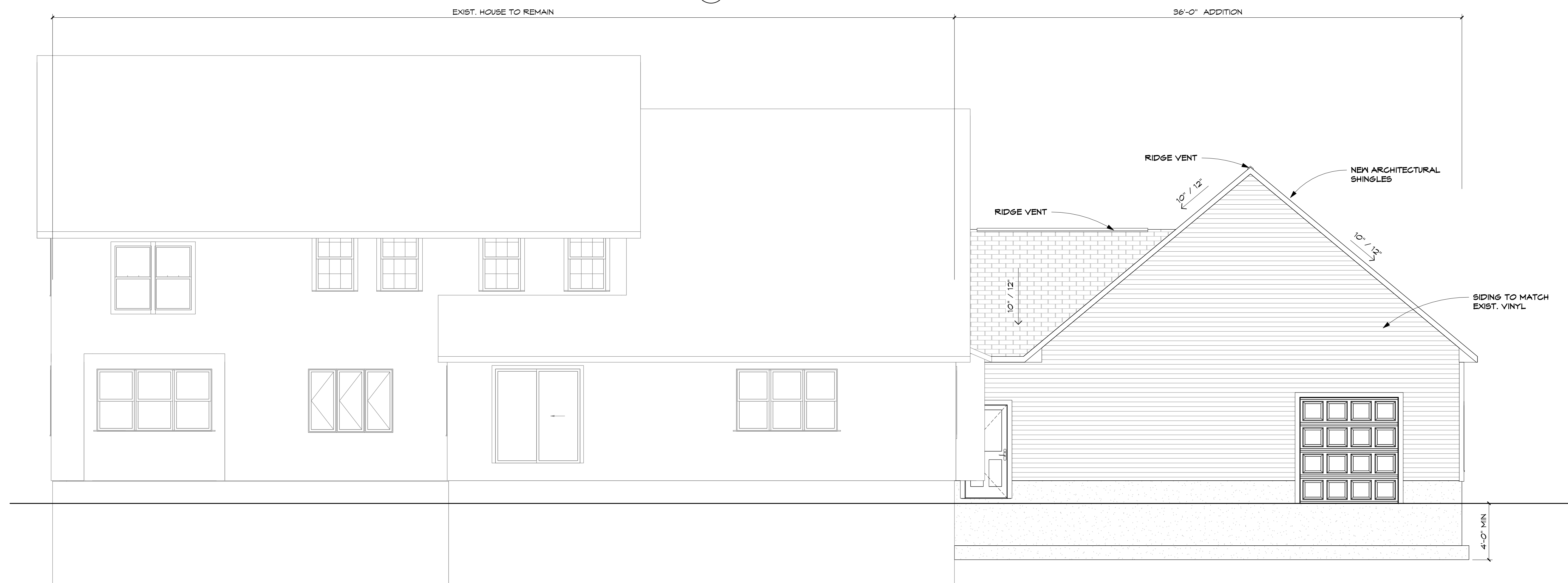
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A-3

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1 FRONT ELEVATION
A-4 1/4" = 1'-0"



2 REAR ELEVATION
A-4 1/4" = 1'-0"

FRONT & RIGHT SIDE ELEVATIONS

DATE: 3/01/22

SCALE: 1/4" = 1'-0"

DRAWN BY: R.M.D.



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PROPOSED ADDITION

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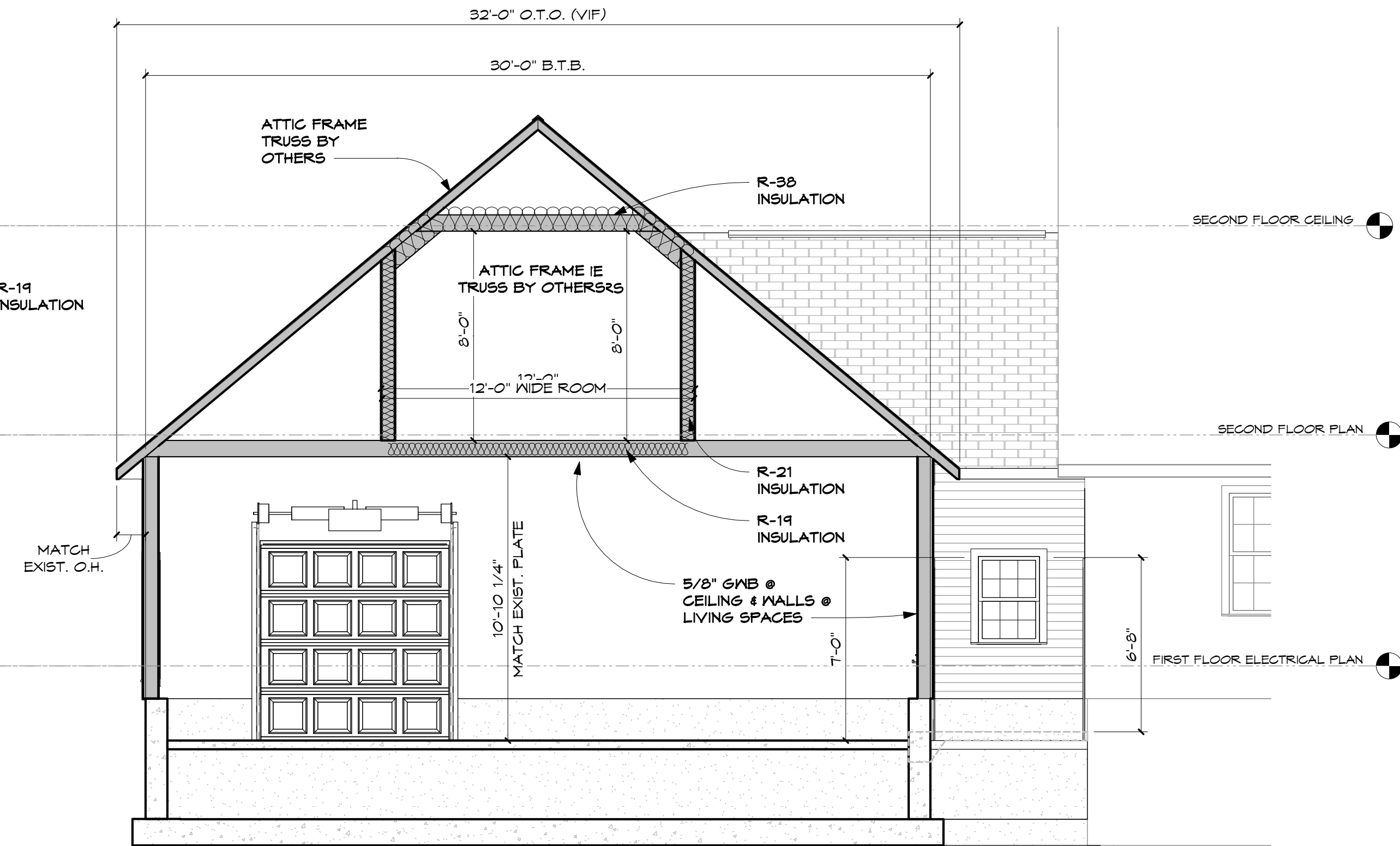
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A-4

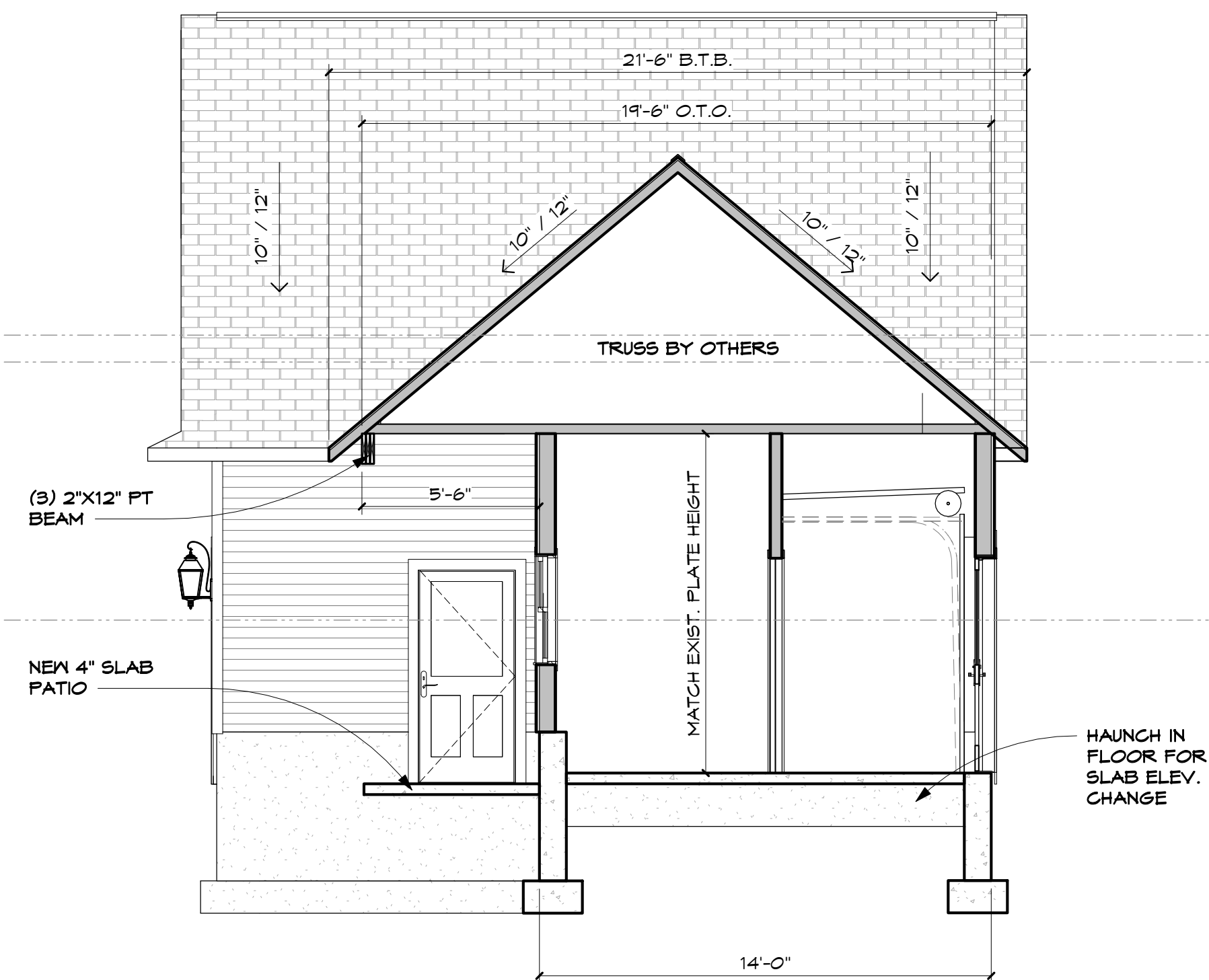
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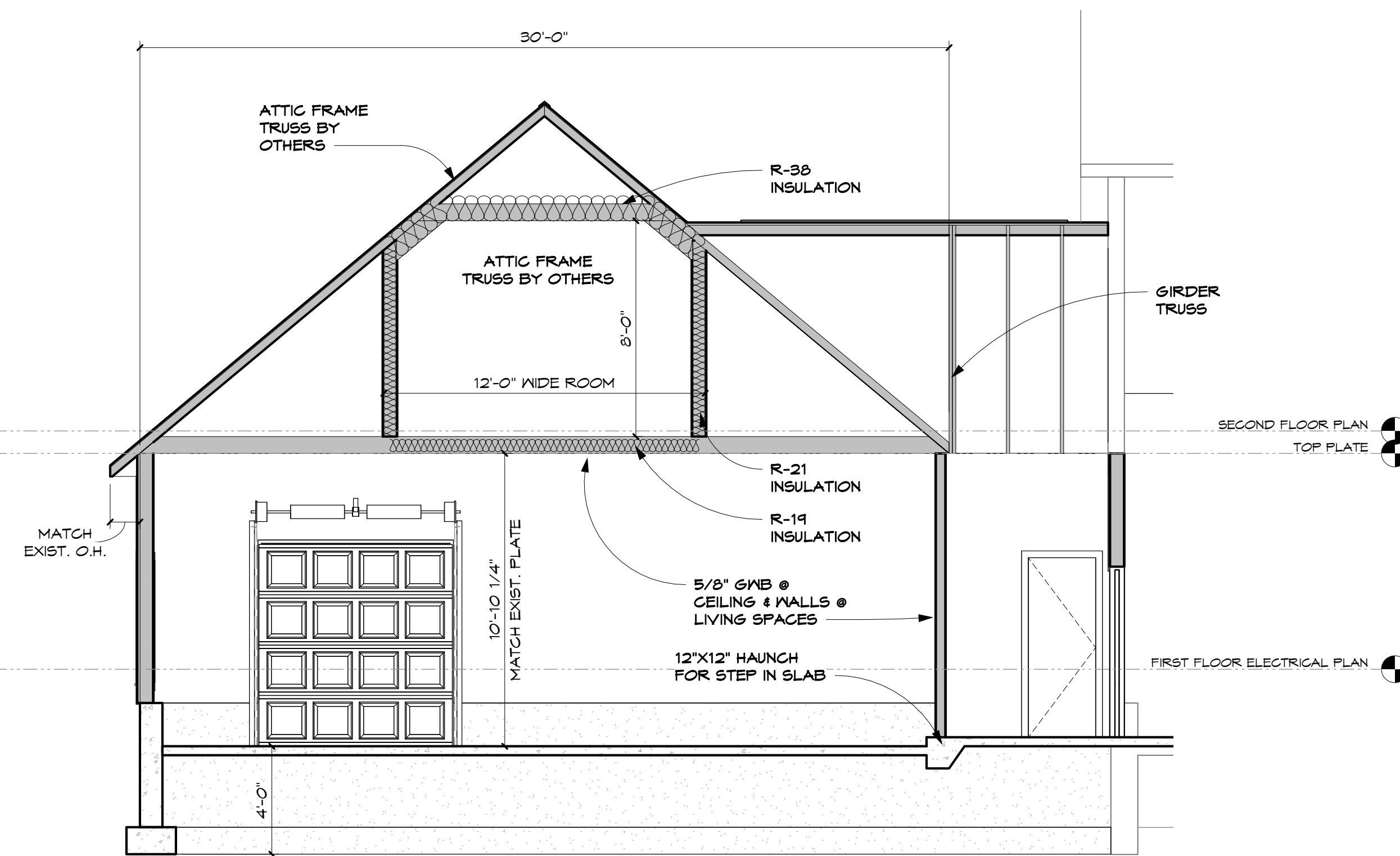
3 LEFT ELEVATION
A-5 1/4" = 1'-0"



1 SECTION-GARAGE ATTIC
A-5 1/4" = 1'-0"



2 ROOF @ BREEZEWAY
A-5 1/4" = 1'-0"



4 Section 3
A-5 1/4" = 1'-0"

TYPICAL SECTIONS

DATE: 3/01/22

SCALE: 1/4" = 1'-0"

DRAWN BY: R.M.D.



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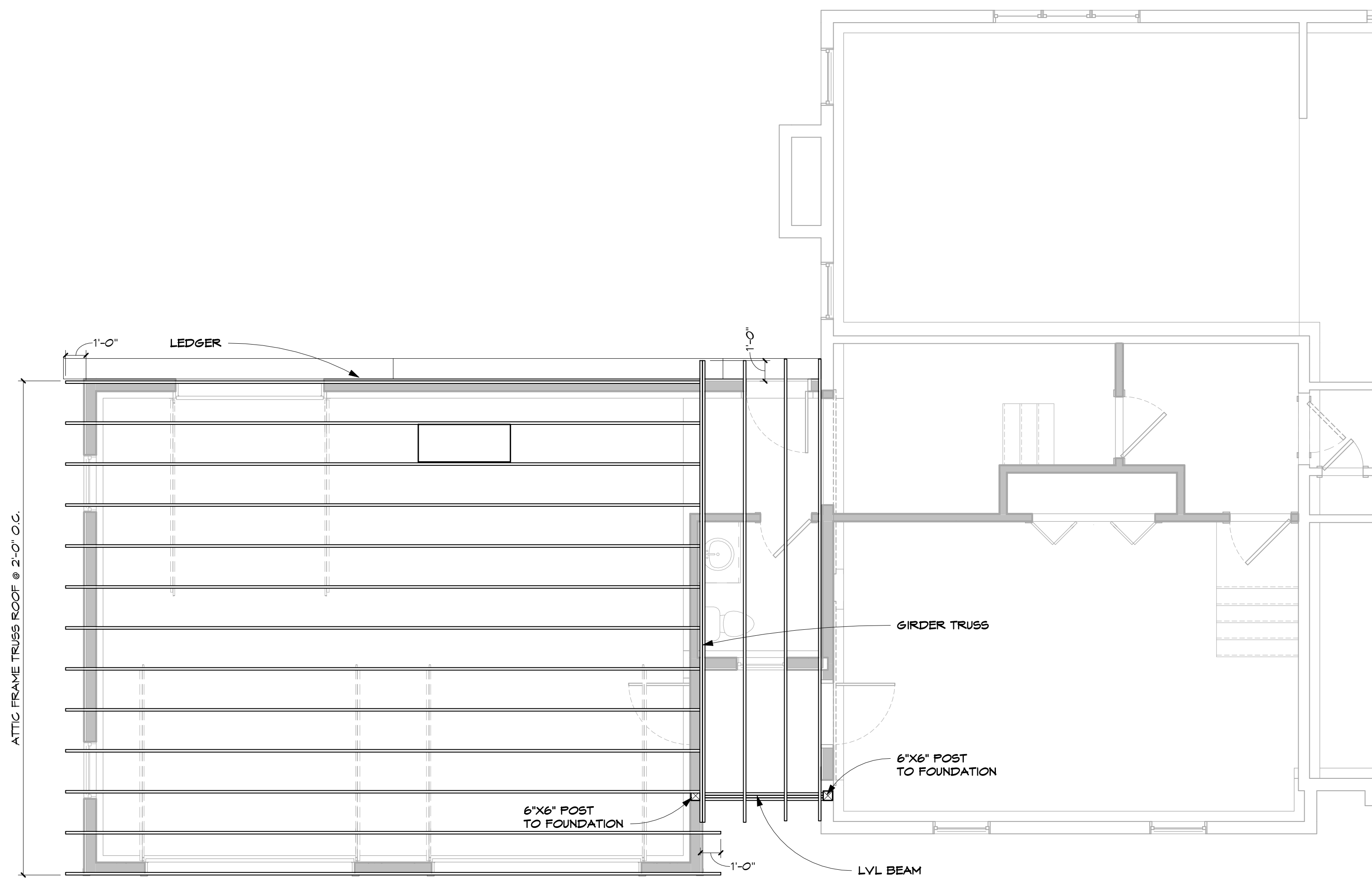
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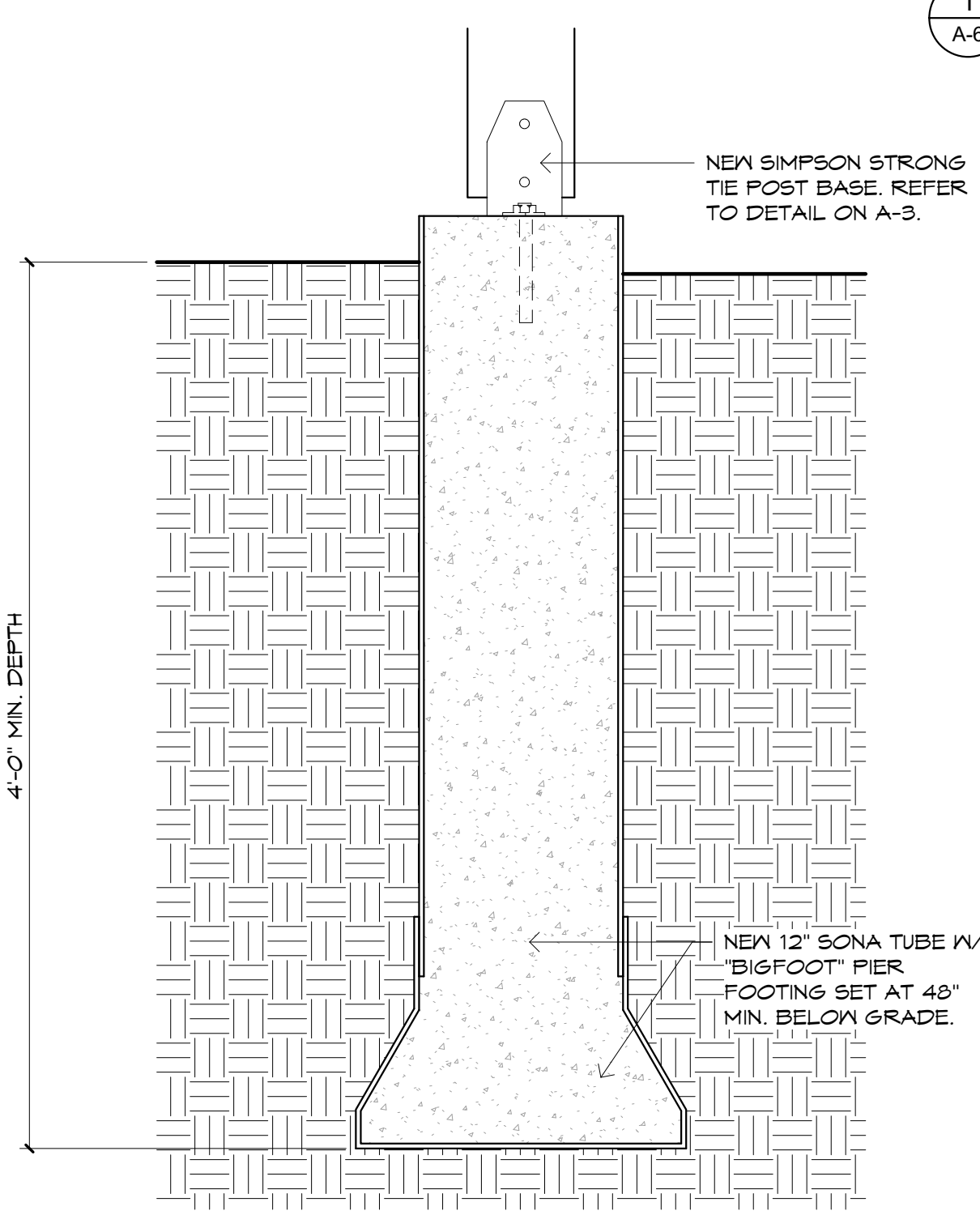
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A-5

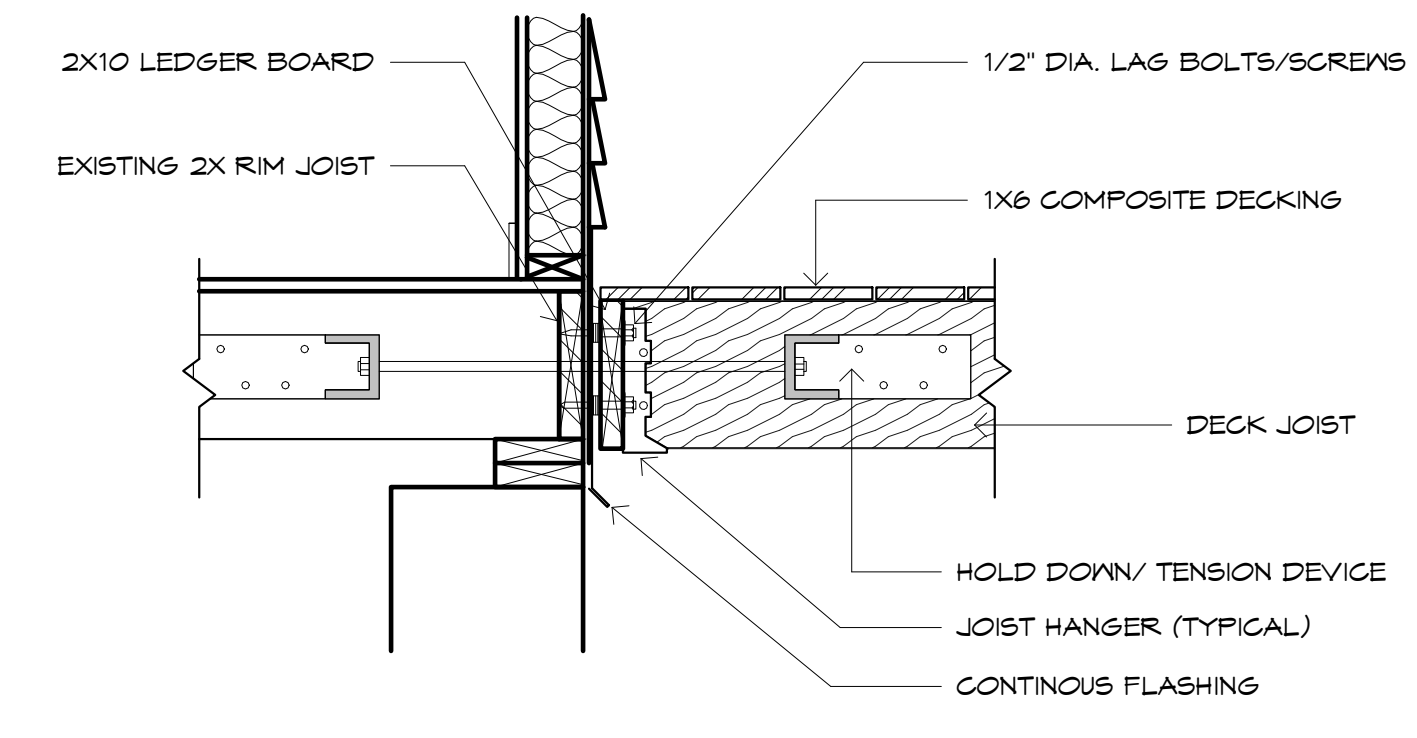
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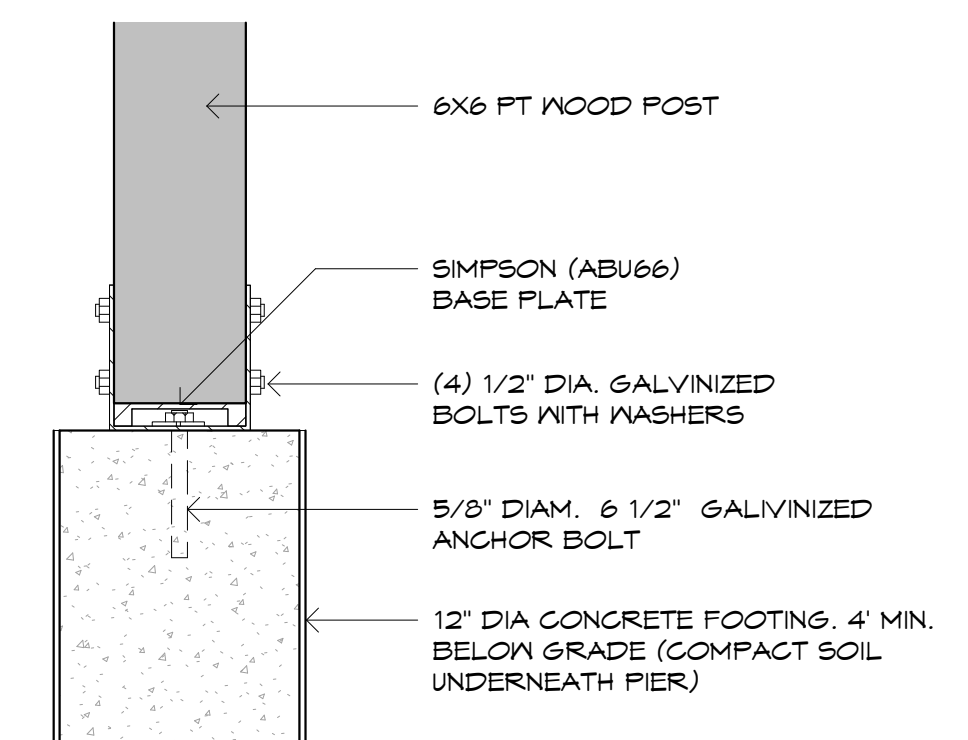
1 FRAMING PLAN
A-6
1/4" = 1'-0"



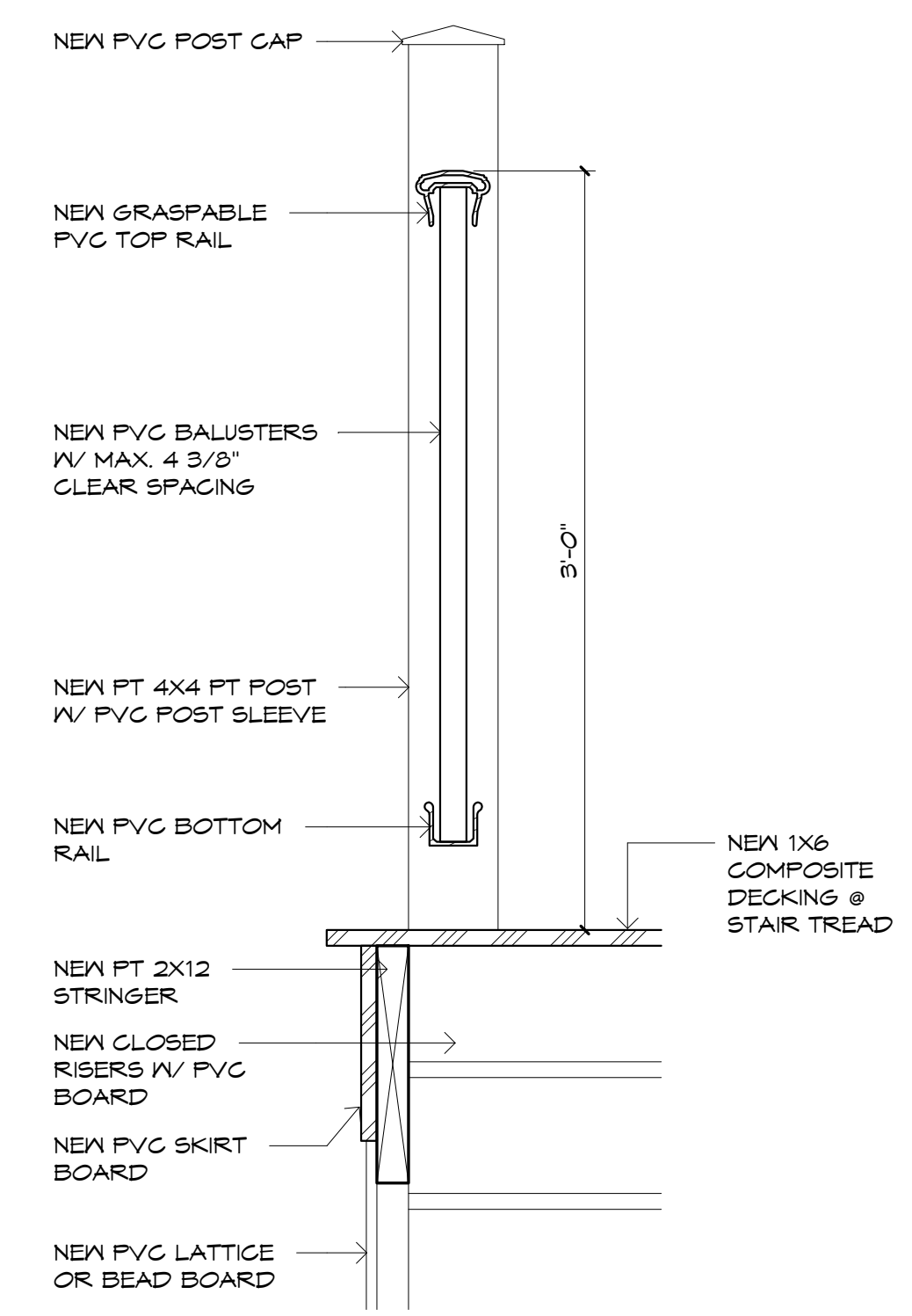
2 DECK POST & BEAM DETAIL
A-6
1 1/2" = 1'-0"



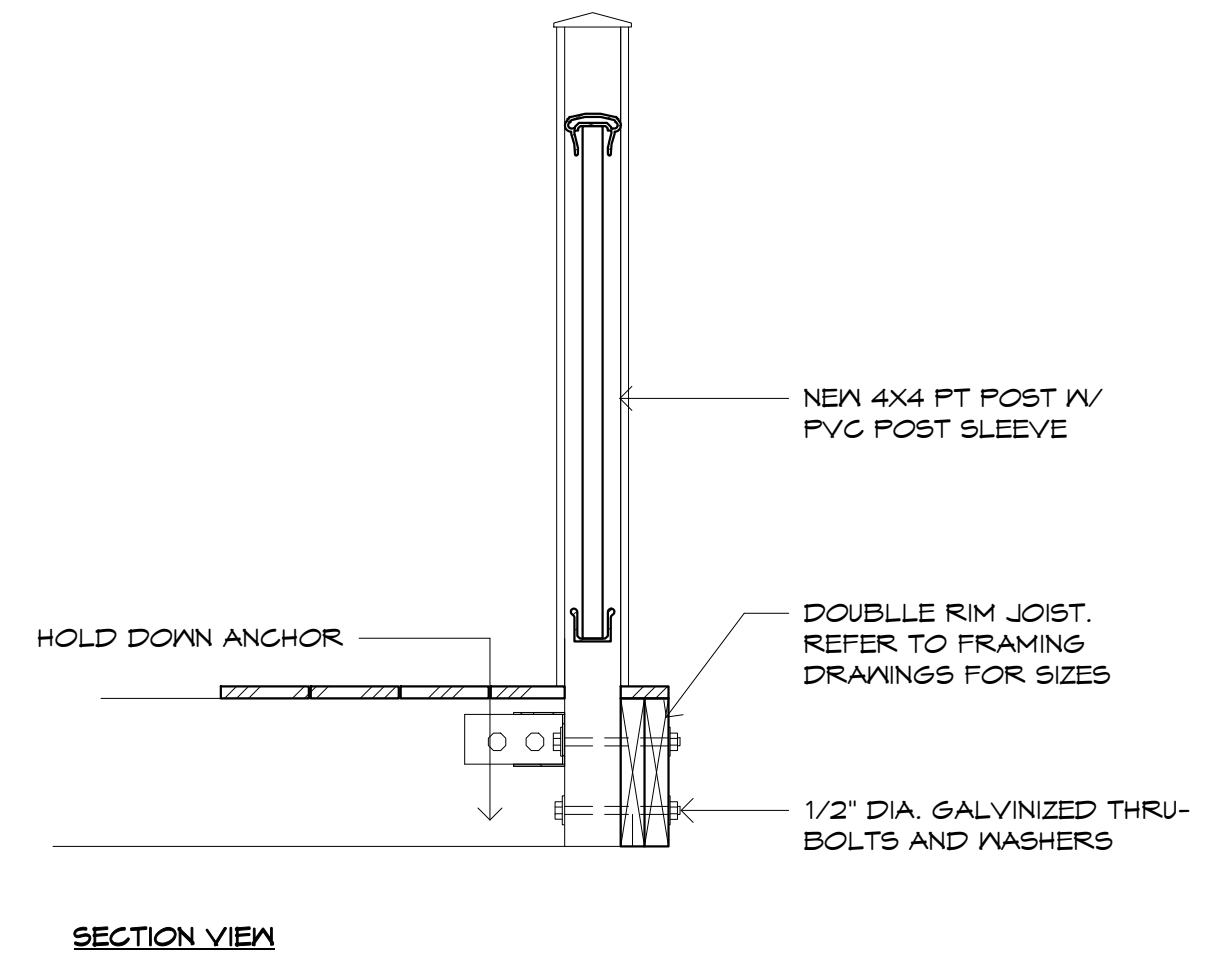
3 DECK LATERAL BRACING DETAIL
A-6
1" = 1'-0"



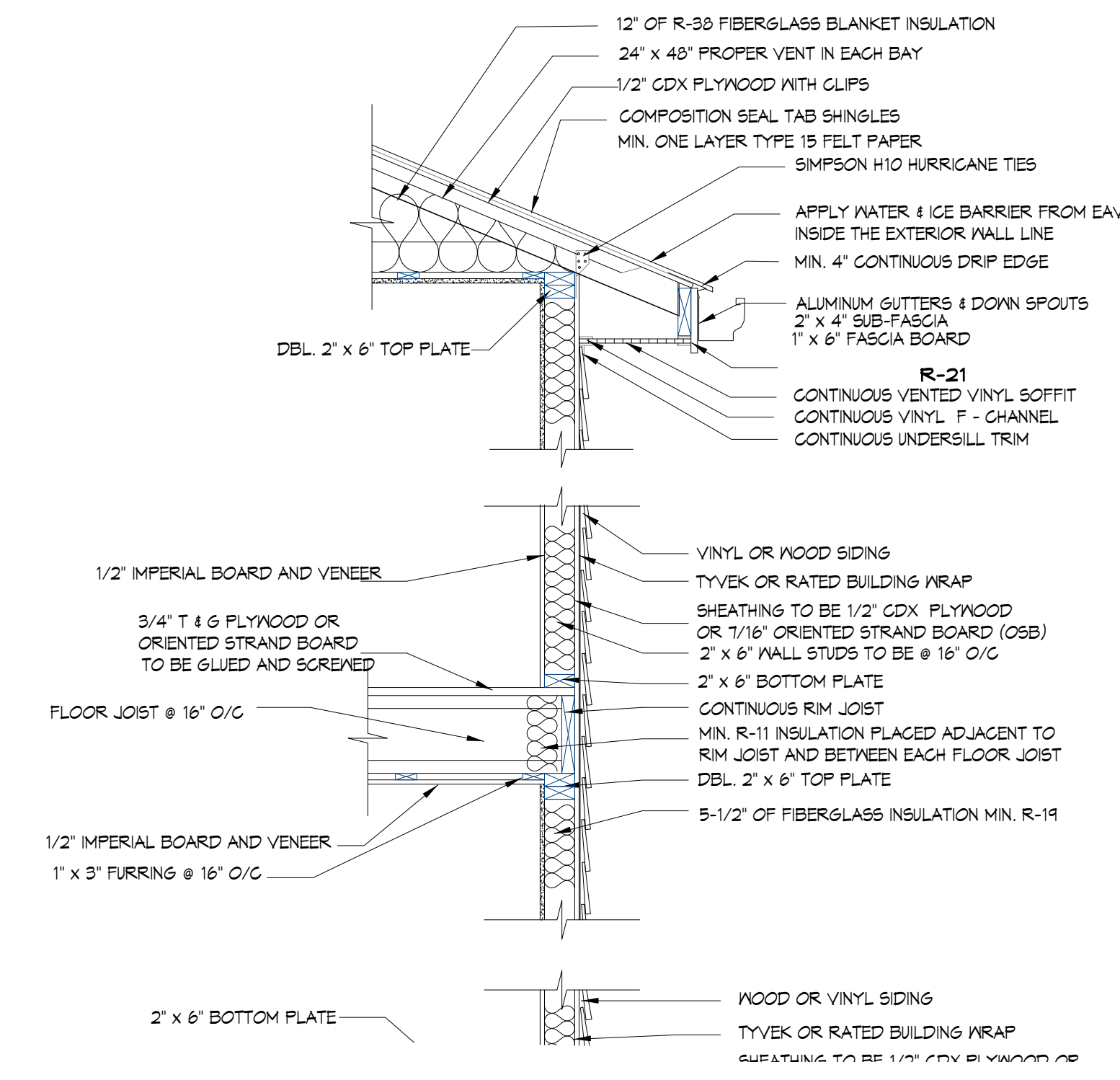
6 TYP. POST BASE DETAIL
A-6
1 1/2" = 1'-0"



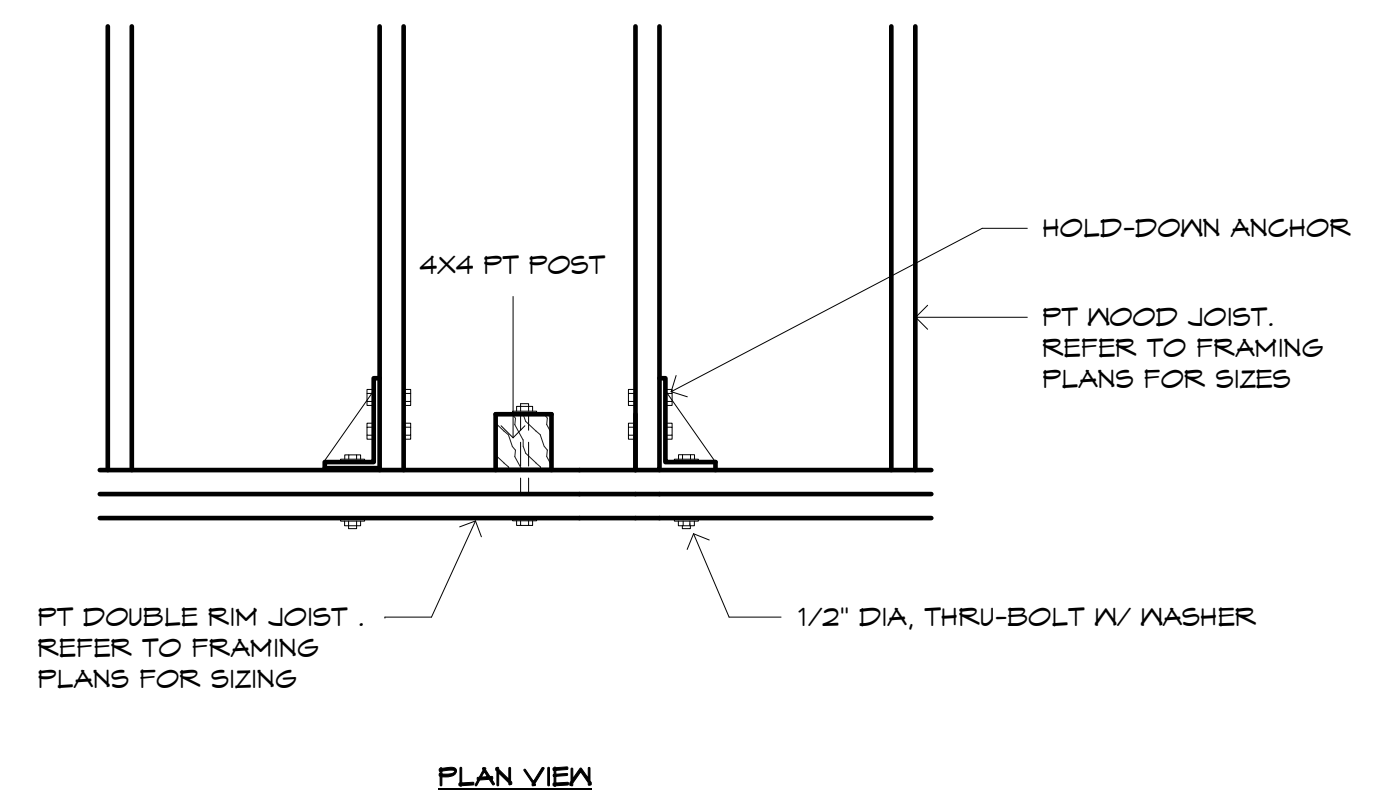
5 TYP. STAIR RAILING DETAIL
A-6
1 1/2" = 1'-0"



4 TYP. GUARDRAIL POST DETAIL
A-6
1" = 1'-0"



TYPICAL WALL SECTION
NTS



FIRST FLOOR FRAMING PLAN

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SCALE: As indicated
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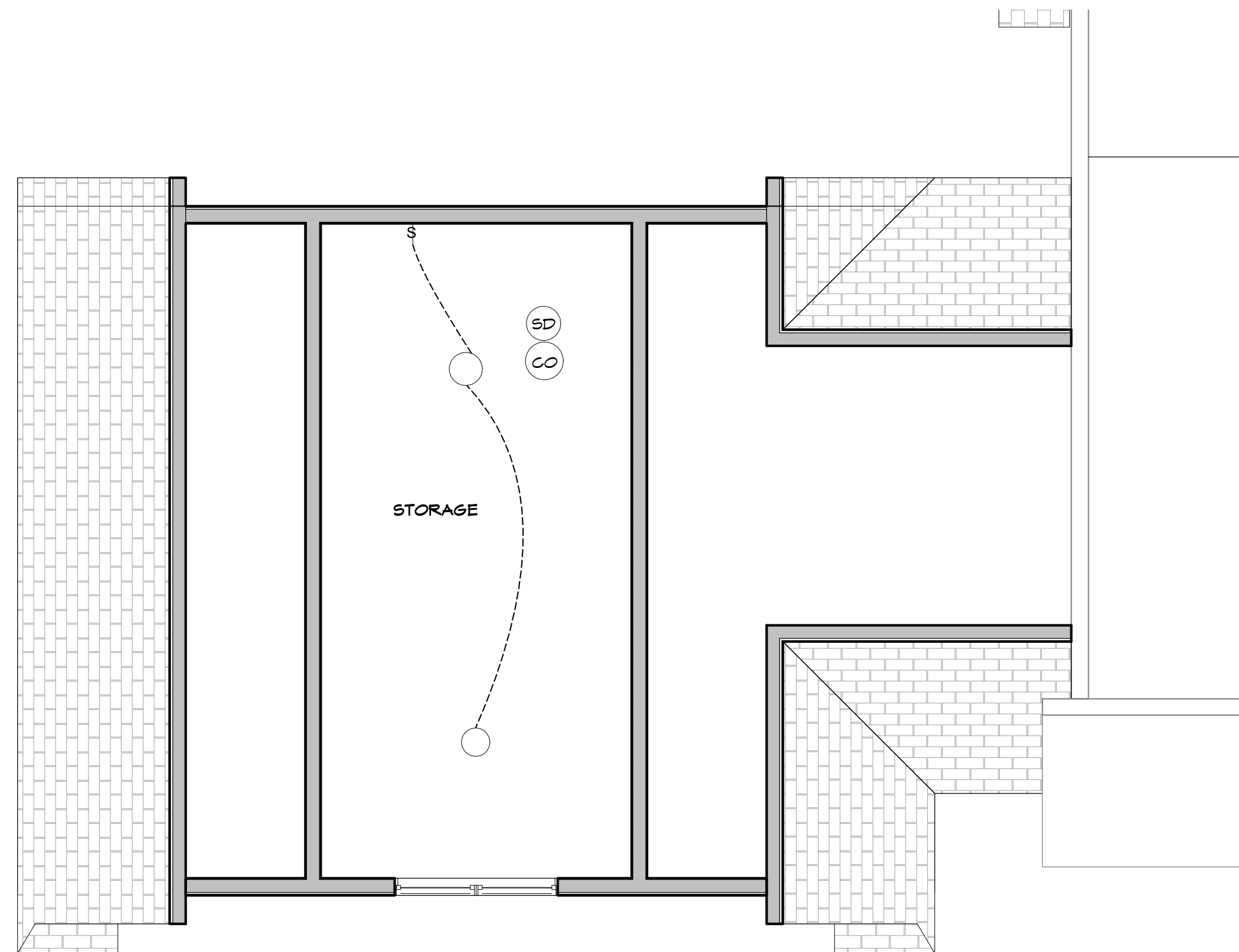


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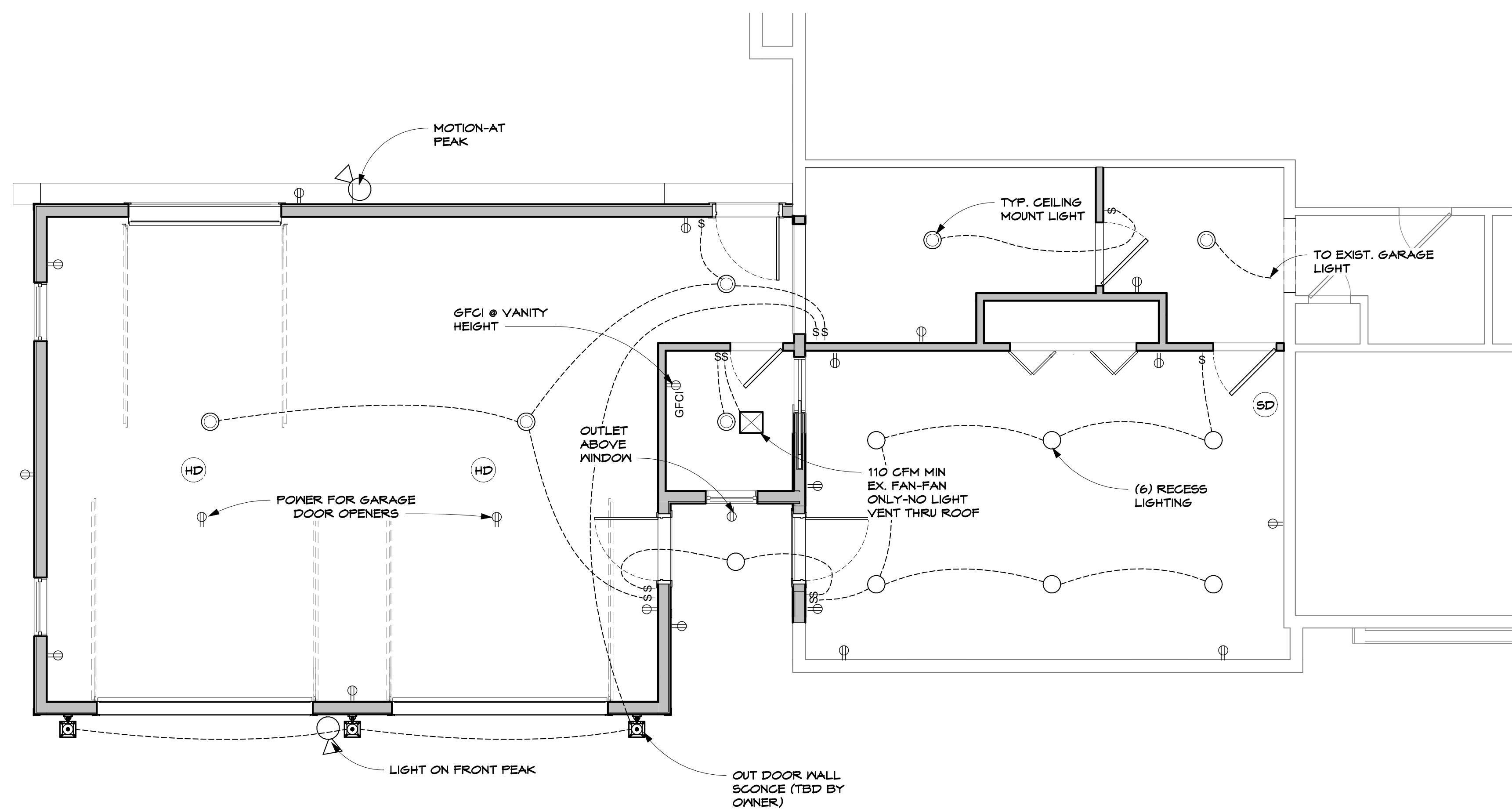
A-6

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2 SECOND FLOOR ELECTRICAL PLAN
E-1 1/4" = 1'-0"



1 FIRST FLOOR ELECTRICAL PLAN
E-1 1/4" = 1'-0"

ELECTRICAL PLANS

DATE: 3/01/22

SCALE: 1/4" = 1'-0"

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E-1

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