



BOARD OF APPEALS
TOWN OF FOXBOROUGH
40 SOUTH STREET
MASSACHUSETTS
02035

APPLICATION FOR BOARD OF APPEALS HEARING

Name of Applicant: Jake Development LLC Tel#. 508-922-2401

Mailing Address: PO Box 643, Foxboro, MA Email: _____

Location of Property Subject of the Hearing: 411 South Street

Assessors Map #: 169 Parcel #: 018 Zoning District: R-40

Is the property located in any zoning overlay district? No Yes ____ If yes, please identify overlay district _____.

Owner of Subject Property (if different than applicant): BRThrasher Realty, LLC

Address of Owner (if different than applicant's address): See Attached

Were previous decisions rendered on the subject property?: No Yes ____ . If yes, please Provide copy of decision(s).

***NATURE OF APPLICATION (complete appropriate hearing request):**

1. Request for a **SPECIAL PERMIT** under Section 5.4.2. of the Zoning By-Laws to allow SEE ATTACHED

2. Request for a **VARIANCE** from Section _____ of the Zoning By-Laws to allow _____

3. An **ADMINISTRATIVE APPEAL** in accordance with Section 10.2.2 of the Zoning By-Laws (explain): _____

4. **OTHER** (i.e. Comprehensive Permit, Finding or Sign Bylaw - Chapter 213 Signs)
Explain: SEE ATTACHED

*If necessary, attach additional description page(s).

Board of Appeals
TOWN OF FOXBOROUGH

Attachment To
APPLICATION FOR BOARD OF APPEALS HEARING

Name of Applicant: Jake Development LLC
Mailing Address: P.O. Box 643
Foxborough, MA 02035

Location of Property Subject of the Hearing: 411 South Street
Assessors: Map 169 Parcel 018 Zoning District: R-40

Owners Subject Property: BRThrasher Realty, LLC
Address of Owner: 22 West Bacon Street, Unit B, Plainville, MA 02762

NATURE OF APPLICATION:

1. Request for a SPECIAL PERMIT under Section 5.4.2. of the Zoning By-Laws to allow the increase in habitable floor area by 25% or more of a pre-existing non-conforming two-family dwelling located in the R-40 Zoning District with a front yard of 27 feet where 35 feet is required and 1,887 square feet of habitable floor area to a reconstructed two-family dwelling that complies with all current dimensional requirements for front, side, and rear yards, building coverage, building height, and area, and 3,512 square feet of habitable floor area.

4. OTHER Explain: Any other required special permit(s), finding(s), and/or variance(s) to allow a pre-existing non-conforming two-family dwelling located in the R-40 Zoning District with a front yard of 27 feet where 35 feet is required and 1,887 square feet of habitable floor area to be reconstructed to a two-family dwelling that complies with all current dimensional requirements and a proposed habitable floor area of 3,512 square feet (880 sq. ft. 1st floor per dwelling, 876 sq. ft. 2nd floor per dwelling).

I, Donald R. Treannie, Jr., Manager as applicant, hereby request a hearing before the Foxborough Zoning Board of Appeals as referenced in the above application.

Applicant's Signature: Donald R. Treannie Jr Date: 4-26-22
Jake Development LLC

***If applicant is other than owner of subject property, owner must sign authorization below.**

I, Scott T. Thrasher, Manager as owner of subject property, hereby authorize the applicant, Jake Development LLC, to act on matters before the Foxborough Zoning Board of Appeals as referenced in the above application.

Subject Property Owner's Signature: Scott T. Thrasher Date: 4/26/22
BRThrasher Realty, LLC
Official Use Only

Tax Collector's Release

The above referenced applicant is applying for a permit from the Zoning Board of Appeals and is in good standing with respect to any taxes, fees, assessments, betterments or other municipal charges as recorded with the Treasurer's Office.

Tax Collector or Agent's Signature: Veronica Hawley Date: 4.26.22

Town Clerk Receipt

The above referenced application has been received and recorded with the Town Clerk.

Town Clerk or Agent's Signature: _____ Date: _____

INSTRUCTIONS FOR APPLICATION FILING: INCLUDE EIGHT (8) COPIES EACH.

1. Completed application with all signatures affixed.
2. Copy of assessor's map showing parcel subject to hearing.
3. Plot Plan, certified by land surveyor or civil engineer showing proposed work (Mortgage survey plans will not be accepted).
4. Construction plans showing building elevations with dimensions (if applicable).
5. If an administrative appeal, include denial letter or zoning determination from the Building Commissioner or other Town Official (if applicable).
6. Abutter's List (within 300 feet of subject property), certified by the Town Assessor.
7. Any additional documentation relevant to the hearing.
8. Appropriate fees (See Fee Schedule)

paid

RECEIVED
BOARD OF ASSESSORS
APR 25 2022
TOWN OF FOXBOROUGH



BOARD OF ASSESSORS
TOWN OF FOXBOROUGH
40 SOUTH STREET
FOXBOROUGH MASSACHUSETTS 02035

(508) 543-1215

Fax: (508) 543-6278

CERTIFICATION OF ABUTTERS

PROPERTY OWNER: BRThrasher Realty LLC
MAILING ADDRESS: 22 West Bacon Street Unit B, Plainville, MA 02762
PROPERTY LOCATION: 411 South Street
ASSESSORS MAP/PARCEL: Map 169 Parcel 01B
APPLICANT: Frank Spillane PHONE: 508-543-0100 x312
AUTHORITY REQUESTING LIST: Attorney closings@spillaneandspillane.com
DATE SUBMITTED: April 25, 2022
LIST REQUESTED: 500 FT 300 FT 100FT ABUTTER TO ABUTTER

I, Sarah Swellitt, acting as a custodian of assessment records, do hereby certify that the attached documents contain true and complete information from the most recent tax list of the Town of Foxborough, Massachusetts.

I further state that these documents include the names and addresses of abutters to the abutters 411 South St. Map 169 Parcel 018

Date: April 26, 2022

BOARD OF ASSESSORS
FOXBOROUGH MASSACHUSETTS

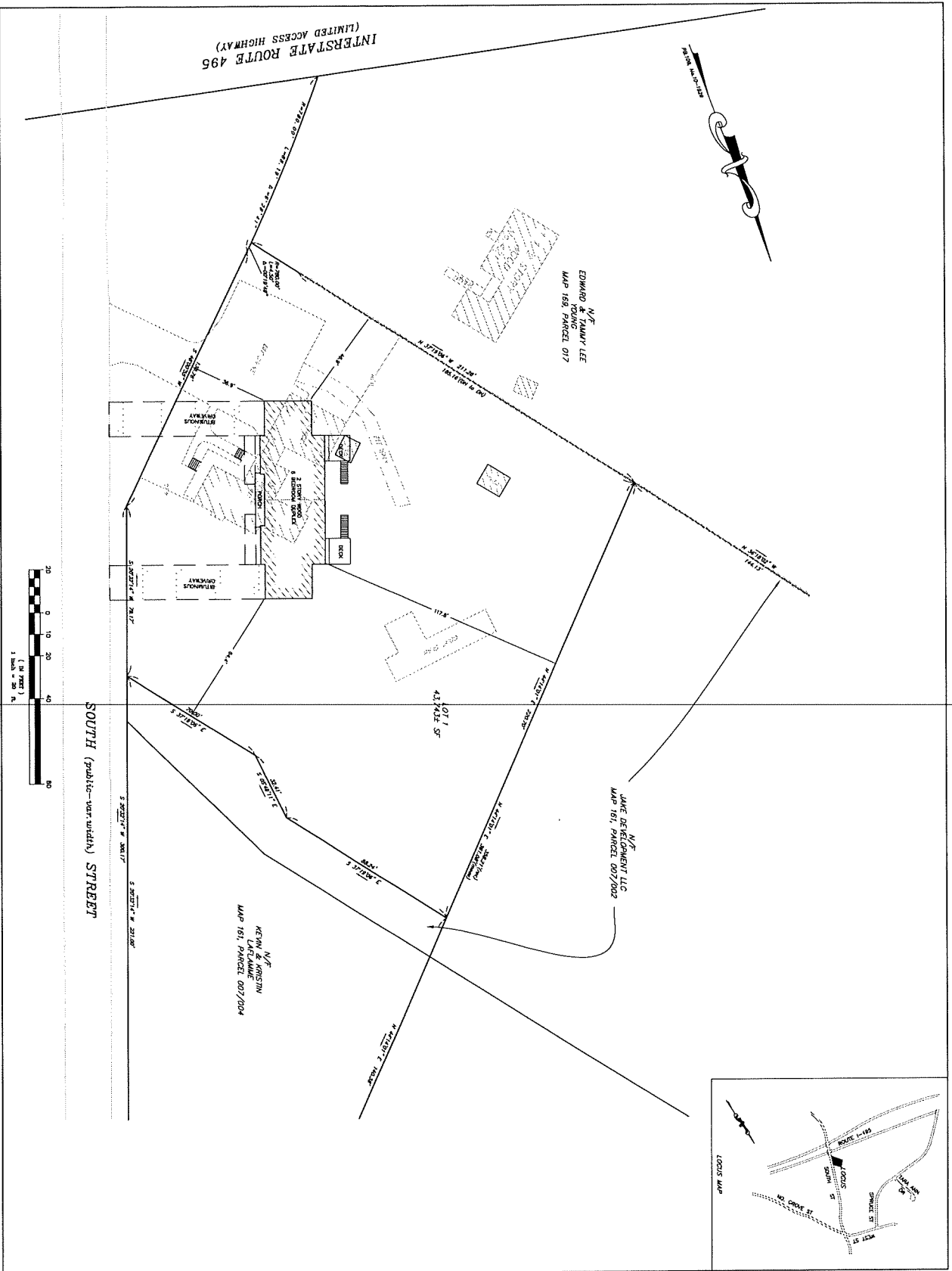
Massachusetts General Law c. 40A, s.11, "The assessors maintaining any applicable tax list shall certify to the permit granting authority or special permit granting authority the names and addresses of parties in interest and such certification shall be conclusive for all purposes."

The Assessors Office will complete the abutters list within 7-10 business days. There is a \$25.00 fee for an abutters list.

"The applicant is solely responsible for requesting the appropriate abutters list required by the applicable Mass General Law."

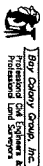
4/26/2022
411 South Street 169/018
300 FT.

Owner Name	Owner Address	Owner City	Owner State	Owner Zip
ALL PHASE CONCRETE INC	24 SPRUCE ST	FOXBOROUGH	MA	02035
DEVELLIS JAMES & NICOLE	19A NORTH ST	FOXBOROUGH	MA	02035
DRT DEVELOPMENT LLC	399 SOUTH STREET	FOXBOROUGH	MA	02035
FRASER JOANNE M	406 SOUTH STREET	FOXBOROUGH	MA	02035
GROVES NICOLE BRADLEY	412 SOUTH STREET	FOXBOROUGH	MA	02035
YOUNG EDWARD & TAMMY LEE	421 SOUTH STREET	FOXBOROUGH	MA	02035
ZADROGA ALICJA J	410 SOUTH ST	FOXBORO	MA	02035



BOUNDARY:
 411 South Street
 Foxborough
 Massachusetts

OWNER:
 BROTSHASHER
 REALTY LLC
 22 West Beacon Street
 Plainville, MA 02762



FOUR SCHOOL STREET
 FOXBOROUGH
 MASSACHUSETTS 01533
 508-543-2833

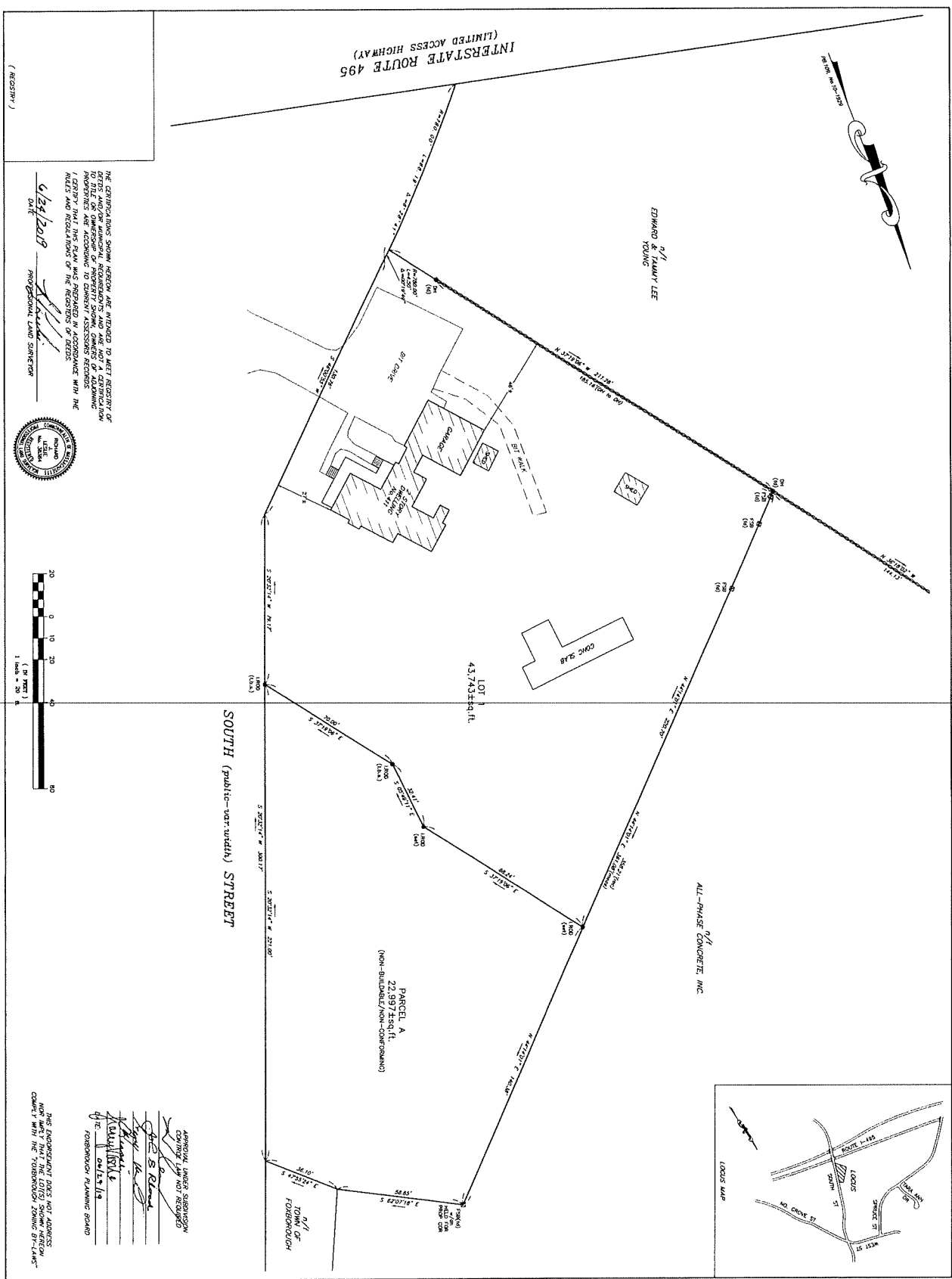
REFERENCES

- DEED REC.
- PLATING REC.
- BLANK REC.
- PLANS REC.
- ASSESSOR'S REC.
- MAP 188, PARCEL 018
- ZONING.
- RESPONDENT - AERONICA, R-40

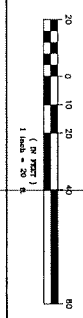
DRAWING TITLE

Zoning Board of Appeals
 Plan of Land

SCALE: 1" = 20'
 APRIL 8, 2022 SHEET NUMBER
 22-0244 **1 of 1**



THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REQUIRING OF THE REGISTERED PROFESSIONAL ENGINEER TO FILE OR OTHERWISE OF PROPERTY SHOWING OWNERS OF ALABAMA INVESTMENTS ARE ACCORDING TO CURRENT ASSESSORS RECORDS. CERTIFICATIONS MADE BY THE REGISTERED PROFESSIONAL ENGINEER AND CONSTRUCTION OF THE PROJECTS OF RECORD.



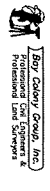
APPROVAL: JAMES GARDNER
 COUNTY: LAWYER NOT REQUIRED
 DATE: 02/13/19
 FOKSBOROUGH PLANNING BOARD

THIS ENGINEERING DOES NOT ADDRESS COMPLIANCE WITH THE FOKSBOROUGH ZONING BY-LAWS.

SCALE: 1" = 20'
 DATE: 11, 2019
 SHEET NUMBER: 1 of 1

PROJECT:
 411 South Street
 Foksborough
 Massachusetts

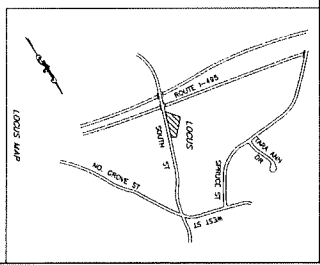
DRAWN BY:
 ERIC J. CURRY
 411 SOUTH STREET
 FOXBOROUGH, MA
 02035



FOR RECORDS: STREET
 P.O. BOX 9176
 FOXBOROUGH, MA 02035
 508-545-5133

REFERENCES:
 DEED REF:
 BK 1054, PG 497
 DEED REF:
 BK 643, PG 38
 BK 644, PG 38
 BK 645, PG 38
 BK 646, PG 38
 BK 647, PG 38
 BK 648, PG 38
 BK 649, PG 38
 BK 650, PG 38
 BK 651, PG 38
 BK 652, PG 38
 BK 653, PG 38
 BK 654, PG 38
 BK 655, PG 38
 BK 656, PG 38
 BK 657, PG 38
 BK 658, PG 38
 BK 659, PG 38
 BK 660, PG 38
 BK 661, PG 38
 BK 662, PG 38
 BK 663, PG 38
 BK 664, PG 38
 BK 665, PG 38
 BK 666, PG 38
 BK 667, PG 38
 BK 668, PG 38
 BK 669, PG 38
 BK 670, PG 38
 BK 671, PG 38
 BK 672, PG 38
 BK 673, PG 38
 BK 674, PG 38
 BK 675, PG 38
 BK 676, PG 38
 BK 677, PG 38
 BK 678, PG 38
 BK 679, PG 38
 BK 680, PG 38
 BK 681, PG 38
 BK 682, PG 38
 BK 683, PG 38
 BK 684, PG 38
 BK 685, PG 38
 BK 686, PG 38
 BK 687, PG 38
 BK 688, PG 38
 BK 689, PG 38
 BK 690, PG 38
 BK 691, PG 38
 BK 692, PG 38
 BK 693, PG 38
 BK 694, PG 38
 BK 695, PG 38
 BK 696, PG 38
 BK 697, PG 38
 BK 698, PG 38
 BK 699, PG 38
 BK 700, PG 38
 BK 701, PG 38
 BK 702, PG 38
 BK 703, PG 38
 BK 704, PG 38
 BK 705, PG 38
 BK 706, PG 38
 BK 707, PG 38
 BK 708, PG 38
 BK 709, PG 38
 BK 710, PG 38
 BK 711, PG 38
 BK 712, PG 38
 BK 713, PG 38
 BK 714, PG 38
 BK 715, PG 38
 BK 716, PG 38
 BK 717, PG 38
 BK 718, PG 38
 BK 719, PG 38
 BK 720, PG 38
 BK 721, PG 38
 BK 722, PG 38
 BK 723, PG 38
 BK 724, PG 38
 BK 725, PG 38
 BK 726, PG 38
 BK 727, PG 38
 BK 728, PG 38
 BK 729, PG 38
 BK 730, PG 38
 BK 731, PG 38
 BK 732, PG 38
 BK 733, PG 38
 BK 734, PG 38
 BK 735, PG 38
 BK 736, PG 38
 BK 737, PG 38
 BK 738, PG 38
 BK 739, PG 38
 BK 740, PG 38
 BK 741, PG 38
 BK 742, PG 38
 BK 743, PG 38
 BK 744, PG 38
 BK 745, PG 38
 BK 746, PG 38
 BK 747, PG 38
 BK 748, PG 38
 BK 749, PG 38
 BK 750, PG 38
 BK 751, PG 38
 BK 752, PG 38
 BK 753, PG 38
 BK 754, PG 38
 BK 755, PG 38
 BK 756, PG 38
 BK 757, PG 38
 BK 758, PG 38
 BK 759, PG 38
 BK 760, PG 38
 BK 761, PG 38
 BK 762, PG 38
 BK 763, PG 38
 BK 764, PG 38
 BK 765, PG 38
 BK 766, PG 38
 BK 767, PG 38
 BK 768, PG 38
 BK 769, PG 38
 BK 770, PG 38
 BK 771, PG 38
 BK 772, PG 38
 BK 773, PG 38
 BK 774, PG 38
 BK 775, PG 38
 BK 776, PG 38
 BK 777, PG 38
 BK 778, PG 38
 BK 779, PG 38
 BK 780, PG 38
 BK 781, PG 38
 BK 782, PG 38
 BK 783, PG 38
 BK 784, PG 38
 BK 785, PG 38
 BK 786, PG 38
 BK 787, PG 38
 BK 788, PG 38
 BK 789, PG 38
 BK 790, PG 38
 BK 791, PG 38
 BK 792, PG 38
 BK 793, PG 38
 BK 794, PG 38
 BK 795, PG 38
 BK 796, PG 38
 BK 797, PG 38
 BK 798, PG 38
 BK 799, PG 38
 BK 800, PG 38
 BK 801, PG 38
 BK 802, PG 38
 BK 803, PG 38
 BK 804, PG 38
 BK 805, PG 38
 BK 806, PG 38
 BK 807, PG 38
 BK 808, PG 38
 BK 809, PG 38
 BK 810, PG 38
 BK 811, PG 38
 BK 812, PG 38
 BK 813, PG 38
 BK 814, PG 38
 BK 815, PG 38
 BK 816, PG 38
 BK 817, PG 38
 BK 818, PG 38
 BK 819, PG 38
 BK 820, PG 38
 BK 821, PG 38
 BK 822, PG 38
 BK 823, PG 38
 BK 824, PG 38
 BK 825, PG 38
 BK 826, PG 38
 BK 827, PG 38
 BK 828, PG 38
 BK 829, PG 38
 BK 830, PG 38
 BK 831, PG 38
 BK 832, PG 38
 BK 833, PG 38
 BK 834, PG 38
 BK 835, PG 38
 BK 836, PG 38
 BK 837, PG 38
 BK 838, PG 38
 BK 839, PG 38
 BK 840, PG 38
 BK 841, PG 38
 BK 842, PG 38
 BK 843, PG 38
 BK 844, PG 38
 BK 845, PG 38
 BK 846, PG 38
 BK 847, PG 38
 BK 848, PG 38
 BK 849, PG 38
 BK 850, PG 38
 BK 851, PG 38
 BK 852, PG 38
 BK 853, PG 38
 BK 854, PG 38
 BK 855, PG 38
 BK 856, PG 38
 BK 857, PG 38
 BK 858, PG 38
 BK 859, PG 38
 BK 860, PG 38
 BK 861, PG 38
 BK 862, PG 38
 BK 863, PG 38
 BK 864, PG 38
 BK 865, PG 38
 BK 866, PG 38
 BK 867, PG 38
 BK 868, PG 38
 BK 869, PG 38
 BK 870, PG 38
 BK 871, PG 38
 BK 872, PG 38
 BK 873, PG 38
 BK 874, PG 38
 BK 875, PG 38
 BK 876, PG 38
 BK 877, PG 38
 BK 878, PG 38
 BK 879, PG 38
 BK 880, PG 38
 BK 881, PG 38
 BK 882, PG 38
 BK 883, PG 38
 BK 884, PG 38
 BK 885, PG 38
 BK 886, PG 38
 BK 887, PG 38
 BK 888, PG 38
 BK 889, PG 38
 BK 890, PG 38
 BK 891, PG 38
 BK 892, PG 38
 BK 893, PG 38
 BK 894, PG 38
 BK 895, PG 38
 BK 896, PG 38
 BK 897, PG 38
 BK 898, PG 38
 BK 899, PG 38
 BK 900, PG 38
 BK 901, PG 38
 BK 902, PG 38
 BK 903, PG 38
 BK 904, PG 38
 BK 905, PG 38
 BK 906, PG 38
 BK 907, PG 38
 BK 908, PG 38
 BK 909, PG 38
 BK 910, PG 38
 BK 911, PG 38
 BK 912, PG 38
 BK 913, PG 38
 BK 914, PG 38
 BK 915, PG 38
 BK 916, PG 38
 BK 917, PG 38
 BK 918, PG 38
 BK 919, PG 38
 BK 920, PG 38
 BK 921, PG 38
 BK 922, PG 38
 BK 923, PG 38
 BK 924, PG 38
 BK 925, PG 38
 BK 926, PG 38
 BK 927, PG 38
 BK 928, PG 38
 BK 929, PG 38
 BK 930, PG 38
 BK 931, PG 38
 BK 932, PG 38
 BK 933, PG 38
 BK 934, PG 38
 BK 935, PG 38
 BK 936, PG 38
 BK 937, PG 38
 BK 938, PG 38
 BK 939, PG 38
 BK 940, PG 38
 BK 941, PG 38
 BK 942, PG 38
 BK 943, PG 38
 BK 944, PG 38
 BK 945, PG 38
 BK 946, PG 38
 BK 947, PG 38
 BK 948, PG 38
 BK 949, PG 38
 BK 950, PG 38
 BK 951, PG 38
 BK 952, PG 38
 BK 953, PG 38
 BK 954, PG 38
 BK 955, PG 38
 BK 956, PG 38
 BK 957, PG 38
 BK 958, PG 38
 BK 959, PG 38
 BK 960, PG 38
 BK 961, PG 38
 BK 962, PG 38
 BK 963, PG 38
 BK 964, PG 38
 BK 965, PG 38
 BK 966, PG 38
 BK 967, PG 38
 BK 968, PG 38
 BK 969, PG 38
 BK 970, PG 38
 BK 971, PG 38
 BK 972, PG 38
 BK 973, PG 38
 BK 974, PG 38
 BK 975, PG 38
 BK 976, PG 38
 BK 977, PG 38
 BK 978, PG 38
 BK 979, PG 38
 BK 980, PG 38
 BK 981, PG 38
 BK 982, PG 38
 BK 983, PG 38
 BK 984, PG 38
 BK 985, PG 38
 BK 986, PG 38
 BK 987, PG 38
 BK 988, PG 38
 BK 989, PG 38
 BK 990, PG 38
 BK 991, PG 38
 BK 992, PG 38
 BK 993, PG 38
 BK 994, PG 38
 BK 995, PG 38
 BK 996, PG 38
 BK 997, PG 38
 BK 998, PG 38
 BK 999, PG 38
 BK 1000, PG 38

ASSESSOR'S REF:
 MAP 162, PARCEL 019





TOWN OF FOXBOROUGH
Inspections Department

40 South Street
Foxborough, Massachusetts 02035
Tel. (508) 543-1206 / Fax. (508) 543-6278

June 20, 2019

Re: Prior Pre-Existing Non-Conforming Two-Family Dwelling at 411 South Street

To Whom It May Concern:

I am the Building Commissioner and Zoning Enforcement Officer for The Town of Foxborough, Massachusetts.

The property at 411 South Street is in the single-family R 40 district. The Foxborough Assessors' records refer to the property as Map 169 Parcel 018 and describe it as a two-family, and there is in fact a prior pre-existing nonconforming, two-family dwelling on the parcel.

The attached ANR plan dated June 11, 2019 depicts a division of Map 169 Parcel 018 into two lots: Lot 1 and Lot 2. Lot 1 depicts the prior pre-existing nonconforming, two-family dwelling and meets the area, frontage, and side and rear setback requirements for a single-family dwelling in the R 40 district. The front setback of 27 feet is less than the required setback of 35 feet. This does not create a greater nonconformity than already exists, and is therefore allowable.

I certify that the use of the two-family dwelling on Lot 1 as shown on the attached ANR plan dated June 11, 2019 remains lawful, as a prior pre-existing nonconforming use. No additional findings or zoning requests are necessary.

Nicholas J. Riccio, Building Commissioner

411 SOUTH STREET

Location 411 SOUTH STREET

MapParcel 169 / 018/000 000/000

Owner CURRY ERIC J

Assessment \$439,900

PID 5597

Building Count 1

Current Value

Assessment					
Valuation Year	Building	Extra Features	Outbuildings	Land	Total
2021	\$220,400	\$0	\$1,400	\$218,100	\$439,900

Owner of Record

Owner CURRY ERIC J

Sale Price \$345,000

Co-Owner C/O BRTHRASHER REALTY LLC

Certificate

Address 22 WEST BACON STREET UNIT B
PLAINVILLE , MA 02762

Book & Page 37044/0521

Sale Date 08/09/2019

Instrument 10

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
CURRY ERIC J	\$345,000		37044/0521	10	08/09/2019
CURRY CLIFFORD R. & ERIC J JT	\$1		10053/0497	1F	08/20/1993

Building Information

Building 1 : Section 1

Year Built: 1920
Living Area: 1,887
Replacement Cost: \$259,269
Building Percent Good: 85
Replacement Cost Less Depreciation: \$220,400

Building Attributes	
Field	Description
Style:	Family Conversion
Model	Residential
Grade:	C+
Stories:	1.75
Occupancy	2
Exterior Wall 1	Wood Shingle
Exterior Wall 2	

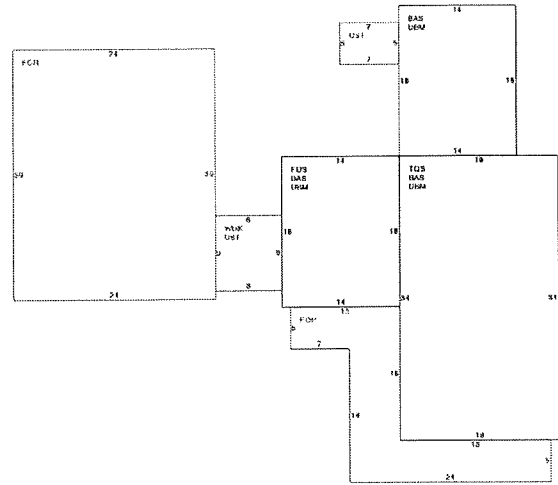
Building Photo



(<https://images.vgsi.com/photos/FoxboroughMAPphotos/A0010157153.jpg>)

Roof Structure:	Gable
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Flr 1	Hardwood
Interior Flr 2	
Heat Fuel	Oil/Gas
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	3 Bedrooms
Full Baths	2
Half Baths:	0
Extra Fixtures	0
Total Rooms:	7
Bath Style:	Average
Kitchen Style:	Average
Extra Kitchens	
Fireplace	1
Extra Openings	
Gas Fireplace	
SF Fin Bsmt	
FBM Quality	
Bsmt Garage	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	

Building Layout



(ParcelSketch_ashx?pid=5597&bid=5597)

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	1,150	1,150	
TQS	Three Quarter Story	646	485	
FUS	Fin Upper Stor	252	252	
FGR	Garage	720	0	
FOP	Open Porch	251	0	
UBM	Basement	1,150	0	
UST	Unfin Utility	107	0	
WDK	Wood Deck	72	0	
		4,348	1,887	

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code 1040
 Description Two Family
 Zone R 40
 Neighborhood 0300
 Alt Land Appr No
 Category

Land Line Valuation

Size (Acres) 1.01
 Frontage 430
 Depth
 Assessed Value \$218,100

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	Shed - Average			120.00 S.F.	\$1,400	1

Valuation History

valuation history

Assessment					
Valuation Year	Building	Extra Features	Outbuildings	Land	Total
2022	\$220,400	\$0	\$1,400	\$218,100	\$439,900
2021	\$183,600	\$0	\$1,200	\$207,200	\$392,000
2020	\$183,600	\$0	\$1,200	\$213,800	\$398,600

(c) 2022 Vision Government Solutions, Inc. All rights reserved.

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

- 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
- 1998 INTERNATIONAL BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE
- 2009 INTERNATIONAL MECHANICAL HANDBOOK FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION
- 2009 INTERNATIONAL CONSTRUCTION MANUAL, GUIDE TO WOOD CONSTRUCTION
- 2009 INTERNATIONAL WOOD DECK PREScriptive RESIDENTIAL WOOD DECK CONSTRUCTION MANUAL, 2009 INTERNATIONAL RESIDENTIAL CODE

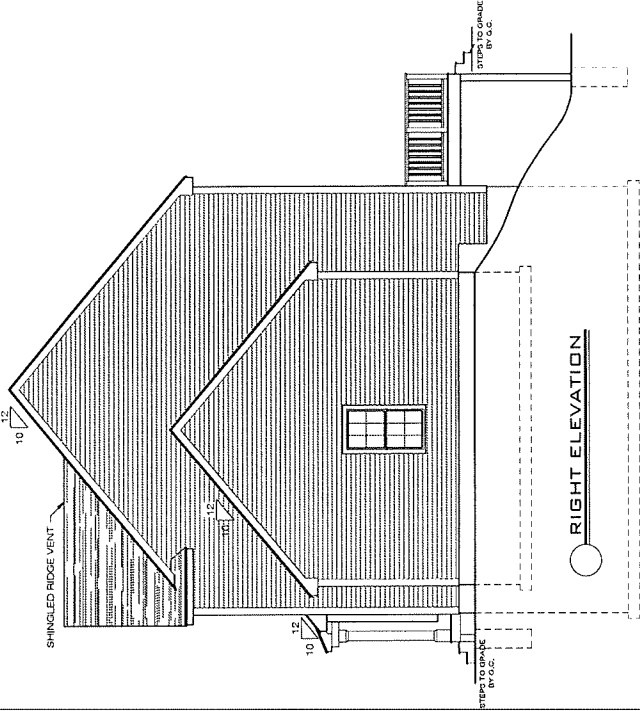
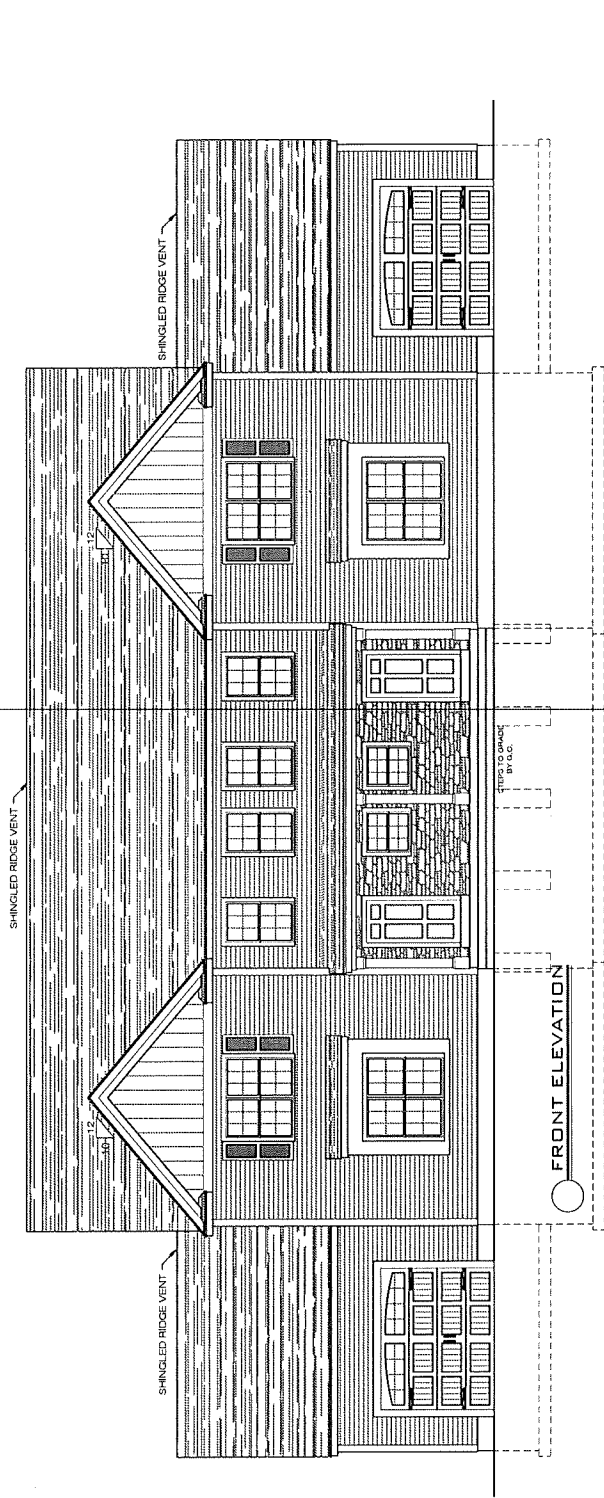
DON TREANNIE
7 PETTEE PLACE
FOXBORO, MA

ELEVATIONS

Date	Revisions

Scale: 1/4" = 1'-0"
 Date: 2018-11-5
 Drawn By: C.G.J.D.U.S.
 Checked By: CCM
 Job Number: 18184
 Drawing:

A1



- GENERAL NOTES**
- OWNER: ALL WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
 - ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVICE OF ONE ARCHITECTS, INC.
 - ONE ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL THESE PLANS. FOR STRUCTURES BUILT FROM:
 - G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS
 - ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
 - ALL WORK SHALL BE COMPLETED WITH WRITTEN PERMISSION FROM ONE ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
 - ALL ON-SITE WORK TO BE OVERSEEN BY A LICENSED ARCHITECT, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
 - ALL PAINTS AND FINISHES PROVIDED BY OWNER.
 - ALL SPECIFICATIONS TO BE VERIFIED BY OWNER.
 - EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
 - FIRE STOPPING REQUIRED: SHALL CUT OFF ALL CONCEALED OPENINGS. MINIMUM 2" NOMINAL LUMBER REQUIRED.

- EXTERIOR NOTES**
- VINYL SIDING AS SPECIFIED
 - REFER TO BUILDING SECTIONS FOR ALL EAVE DETAILS
 - REFER TO ROOF & CEILING FRAMING PLANS FOR ALL ROOF PITCH AND RIDGE VENT LOCATIONS
 - CONNECTIONS REQUIRED FOR ALL ROOF TO SIDING CONNECTIONS
 - CABLE END AND EAVE OVERHANGS TO BE SPECIFIED BY GENERAL CONTRACTOR
 - GRADES WILL VARY AS PER SITE CONDITIONS

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

- 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
- 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
- 2009 INTERNATIONAL RESIDENTIAL CODE
- INTERNATIONAL MECHANICAL CODE
- INTERNATIONAL PLUMBING AND MECHANICAL CODE FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION
- INTERNATIONAL CONSTRUCTION MANUAL, GUIDE TO WOOD CONSTRUCTION FOR ONE AND TWO FAMILY DWELLINGS, 10A
- PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION MANUAL, GUIDE TO WOOD CONSTRUCTION FOR ONE AND TWO FAMILY DWELLINGS, 10A
- 2009 INTERNATIONAL RESIDENTIAL CODE

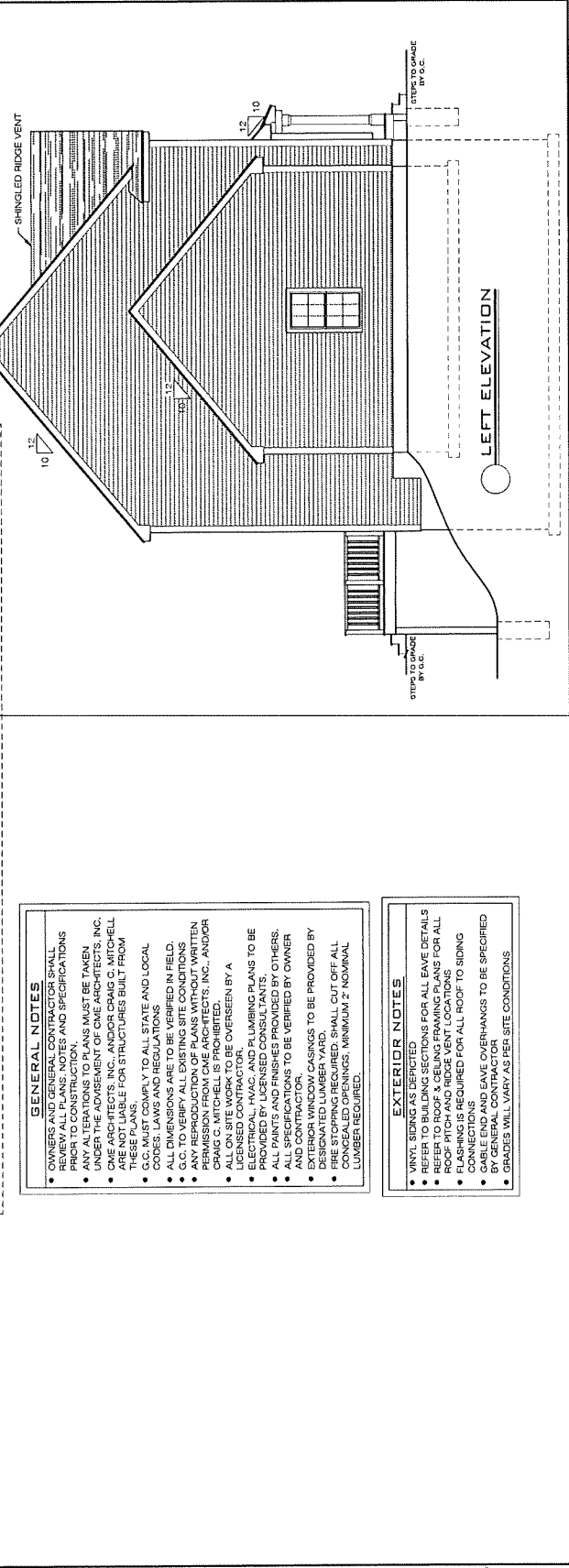
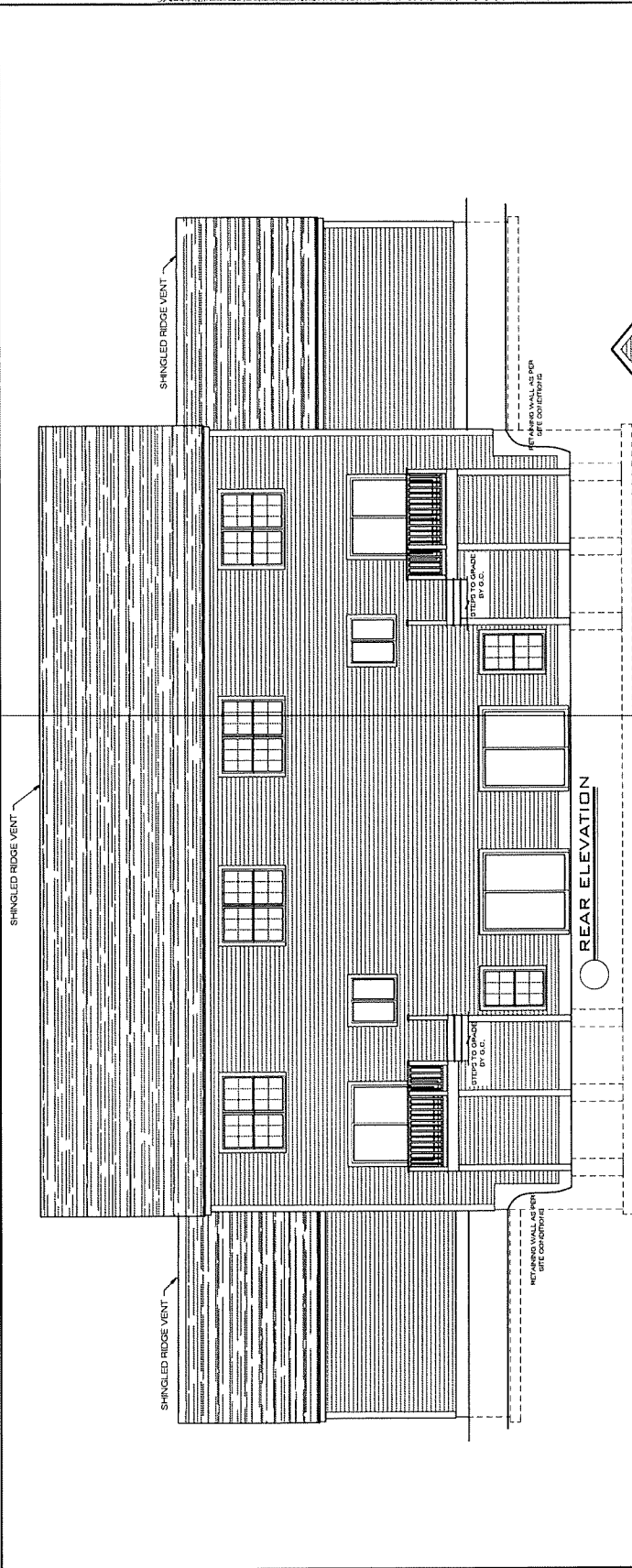
DON TREANNIE
 7 PETTEE PLACE
 FOXBORO, MA

ELEVATIONS

Date	Revisions

Scale: 1/4" = 1'-0"
 Date: 2018-11-15
 Drawn By: C.GU/DJ.S
 Checked By: CCM
 Job Number: 16184
 Drawing:

A2



GENERAL NOTES

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN UNDER THE ADVICE OF CME ARCHITECTS, INC.
- PERMITS AND INSURANCE REQUIREMENTS SHALL BE NOTED FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL CODES, LAWS AND REGULATIONS.
- ALL DIMENSIONS ARE GIVEN UNLESS NOTED OTHERWISE IN FIELD.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS.
- ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CRAIG C. MITCHELL IS PROHIBITED.
- ALL WORK SHALL BE SUPERVISED BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES PROVIDED BY OTHERS.
- ALL MATERIALS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED, SHALL CUT OFF ALL PENETRATIONS, MINIMUM 2" NOMINAL LUMBER REQUIRED.

EXTERIOR NOTES

- VINYL SIDING AS DEPICTED
- REFER TO BUILDING SECTIONS FOR ALL LEAVE DETAILS
- REFER TO ROOF & CEILING FRAMING PLANS FOR ALL ROOF FLASHINGS
- FLASHINGS IS REQUIRED FOR ALL ROOF TO SIDING CONNECTIONS
- CABLE END AND GAVE OVERHANGS TO BE SPECIFIED BY GENERAL CONTRACTOR
- GRADES WILL VARY AS PER SITE CONDITIONS



ARCHITECTS, INC.
6 WILKINS DRIVE, SUITE 210
PLAINVILLE, MA 02762 508-859-3509

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
1. 2009 INTERNATIONAL RESIDENTIAL CODE
2. 2009 INTERNATIONAL FIRE AND FLOOD CODE
3. 2009 INTERNATIONAL MECHANICAL AND PLUMBING CODE
4. 2009 INTERNATIONAL ENERGY EFFICIENCY CODE
5. 2009 INTERNATIONAL SCHEDULE D WOOD CONSTRUCTION
6. 2009 INTERNATIONAL SCHEDULE 400 DWELLING UNITS
7. 2009 INTERNATIONAL SCHEDULE 500 DWELLING UNITS
8. 2009 INTERNATIONAL SCHEDULE 600 DWELLING UNITS
9. 2009 INTERNATIONAL SCHEDULE 700 DWELLING UNITS
10. 2009 INTERNATIONAL SCHEDULE 800 DWELLING UNITS

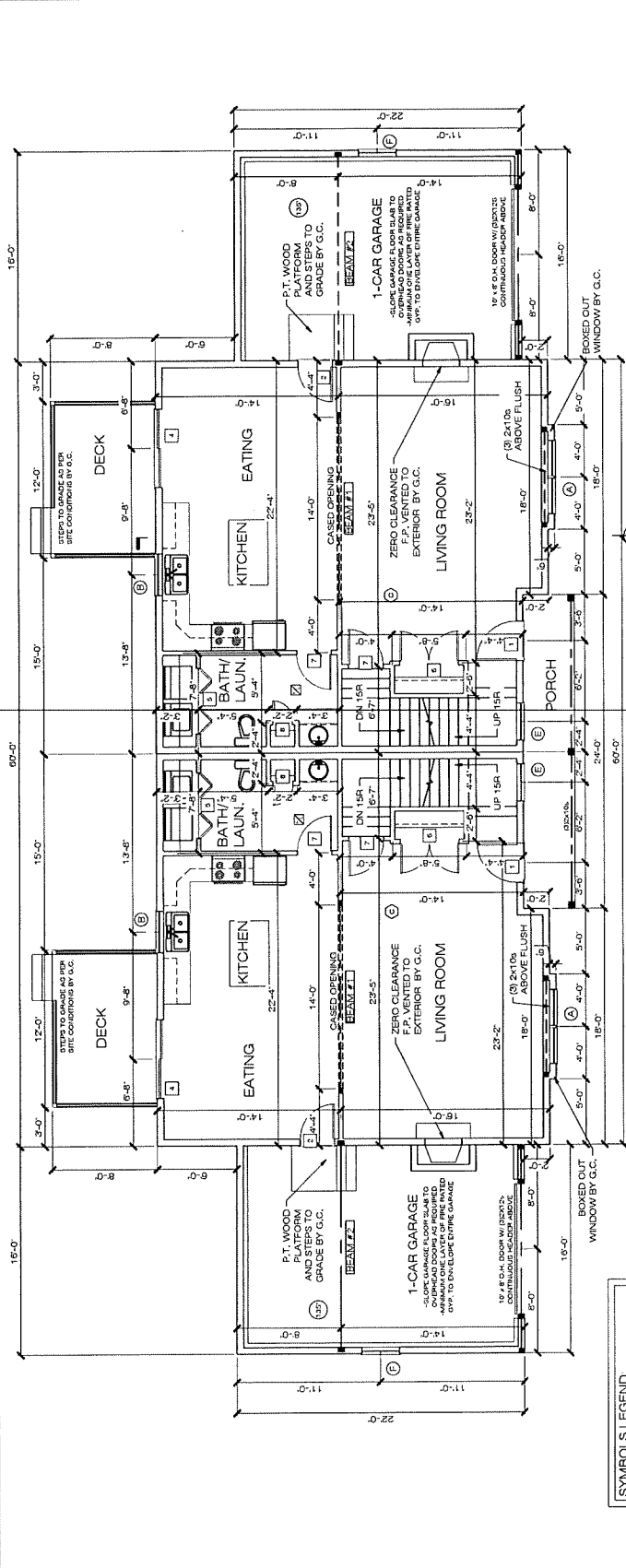
DON TREANNIE
7 PETTEE PLACE
FOXBORO, MA

FLOOR PLANS

Rev.	Date	By	Description
A			Revisions

Scale: 1/4" = 1'-0"
Date: 2018-11-5
Drawn By: C.GOLDEN
Checked By: C.GOLDEN
Job Number: 18184
Drawing:

A3



FIRST FLOOR PLAN
1:250 S4:1

TYPE	MODEL	QTY	ROUGH OPENING
A	DOUBLE HUNG	2	3'-7 1/2" X 2'-4 1/2"
B	DOUBLE HUNG	2	3'-0" X 2'-4 1/2"
C	DOUBLE HUNG	6	2'-10 1/4" X 4'-6 1/2"
D	DOUBLE HUNG	6	2'-9 1/2" X 4'-6 1/2"
E	DOUBLE HUNG	2	2'-10 1/4" X 3'-0 1/2"
F	DOUBLE HUNG	7	2'-10 1/4" X 3'-4 1/2"

MEMBER LENGTH	CLEAR SPAN	LOCATION	QUANTITY
1'-0"	1'-0"	LIVING RM	2
1'-0"	1'-0"	M. BLD	2
1'-0"	1'-0"	BATH	2

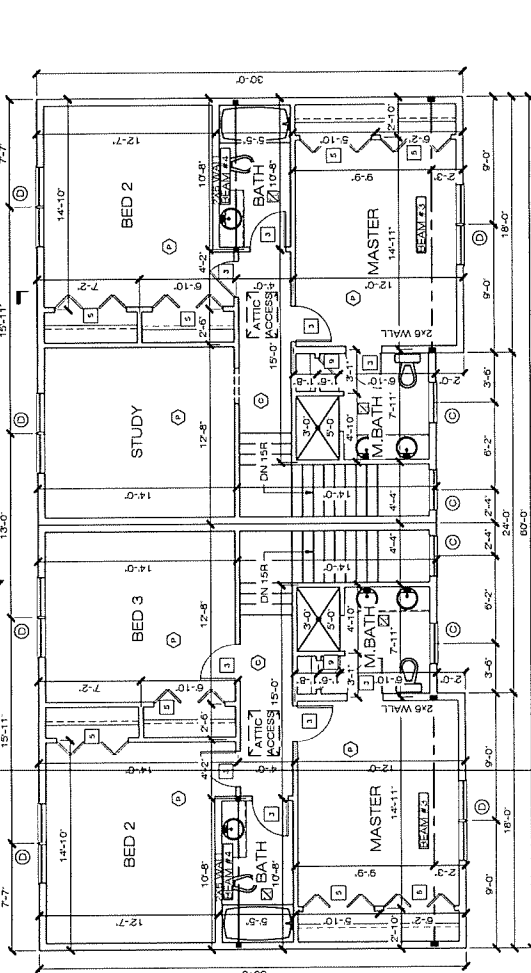
MODEL	QTY
1	3
2	2
3	2
4	2
5	2
6	2
7	2
8	2

SYMBOLS LEGEND:
 DOOR TAG (SEE SCHEDULE)
 WINDOW TAG (SEE SCHEDULE)
 PHOTOSENSITIVE SMOKE DETECTOR
 COMBINATION CARBON MONOXIDE
 AND SMOKE DETECTOR
 135° HEAT DETECTOR
 FAN LIGHT
 NEW 2X6/2X4 WALL PARTITION
 LOAD BEARING WALL

FLOOR PLAN NOTES
 1. GLAZED HEADERS ABOVE ALL EXTERIOR ROUGH OPENINGS TO BE INSTALLED PER SUPPLIER'S RECOMMENDATIONS AND SHOWN ON CHARTS.
 2. ALL LUMBER SPP#2 OR BETTER.

INTERIOR STAIR NOTES
 1. MAXIMUM 8 1/4" RISERS
 2. MINIMUM 9" TREAD DEPTH
 3. MIN. 34" & MAX. 38" HIGH HANDRAILS
 4. MAXIMUM 4" BALLAST SPACING

NOTE: ALL ENGINEERS, FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SUPPLIER. SPANS SHOWN TO BE VERIFIED.



SECOND FLOOR PLAN
1:250 S4:1

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 1. 2009 INTERNATIONAL RESIDENTIAL CODE
 2. 780 CMR 5.00 - MASS AMENDMENTS TO THE INTERNATIONAL RESIDENTIAL CODE
 3. 2012 INTERNATIONAL RESIDENTIAL CODE
 4. 2012 INTERNATIONAL RESIDENTIAL CODE MANUAL FOR ONE AND TWO FAMILY DWELLINGS 2001 EDITION
 5. 2012 INTERNATIONAL RESIDENTIAL CODE MANUAL, GUIDE TO WOOD CONSTRUCTION
 6. 2012 INTERNATIONAL RESIDENTIAL CODE MANUAL, ONE AND TWO FAMILY DWELLINGS, 101
 7. PRESCRIPTIVE RESIDENTIAL WOOD BECK
 8. 2009 INTERNATIONAL RESIDENTIAL CODE

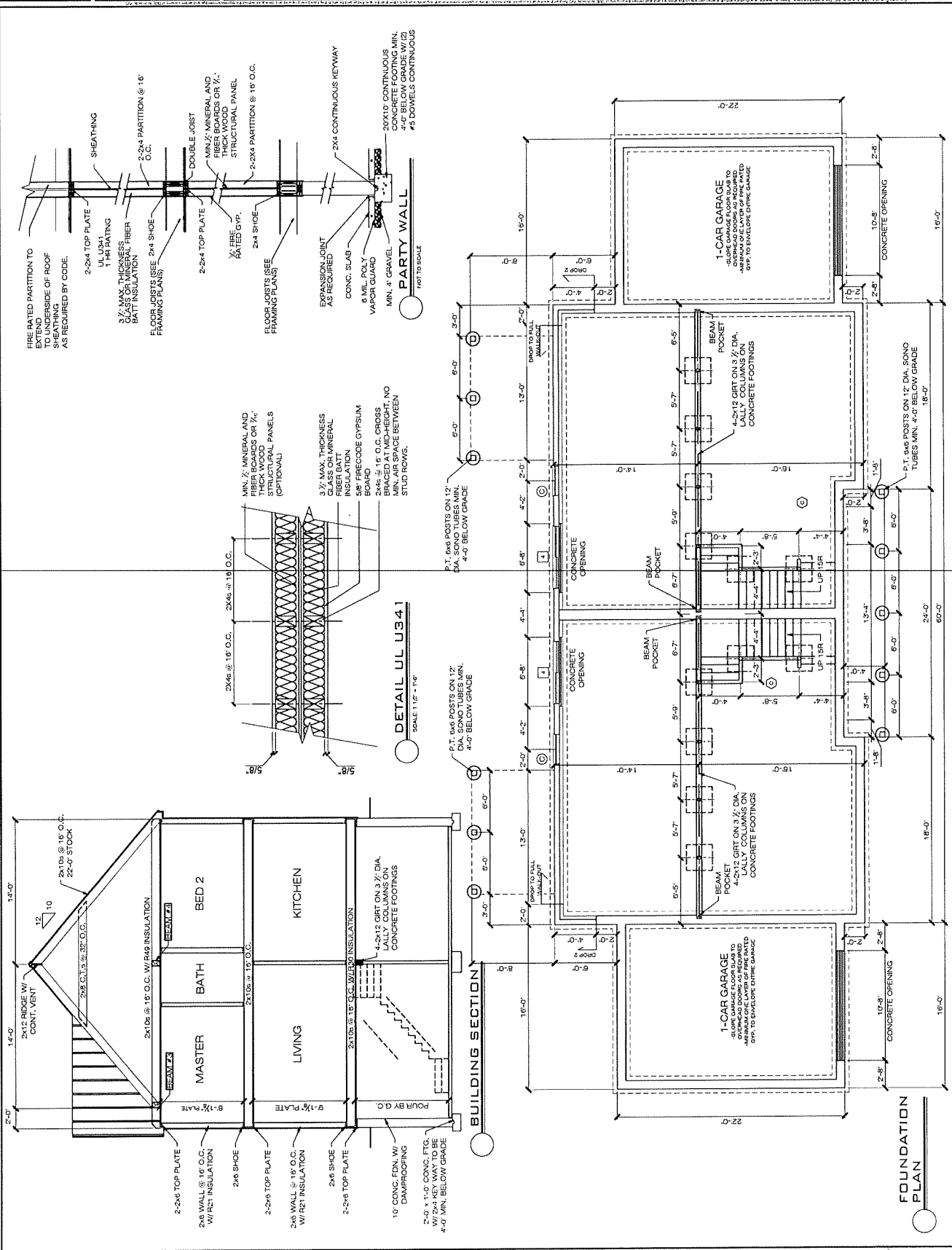
DON TREANNIE
7 PETTEE PLACE
FOXBORO, MA

BUILDING SECTION & FOUNDATION PLAN

Date	Revisions

Scale: 1/8" = 1'-0"
 Date: 2018-11-5
 Drawn By: C. G. J. D. J. S.
 Checked By: C. C. V.
 Job Number: 18182
 Drawing:

A4



Δ	Date	Revisions

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

- 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS;
- 2009 INTERNATIONAL RESIDENTIAL CODE;
- 2009 INTERNATIONAL RESIDENTIAL CODE;
- MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION;
- NATIONAL BUILDING CODE CONSTRUCTION MANUAL, GUIDE TO WOOD CONSTRUCTION FOR ONE AND TWO FAMILY DWELLINGS, 100;
- PRESCRIPTIVE RESIDENTIAL WOOD DECK AND PATIO CONSTRUCTION MANUAL, ONE AND TWO FAMILY DWELLINGS, 100;
- 2009 INTERNATIONAL RESIDENTIAL CODE;

FLOOR FRAMING NOTES

- 2X10 FLOOR FRAMING SYSTEM TO SURROUND PERIMETER OF FRAMING SYSTEM.
- PERIMETER JOIST TO BE ABOVE ALL BEARING PARTITIONS AND GRISTS.
- CONTINUOUS BRIDGING AT ALL MIDSPANS.
- DOUBLE JOISTS AND HANGERS AS REQUIRED.
- SEE FLOOR PLANS AND FOUNDATION PLAN FOR ALL DIMENSIONS.
- DOUBLE JOISTS BETWEEN ALL MASONRY AND FRAMING.

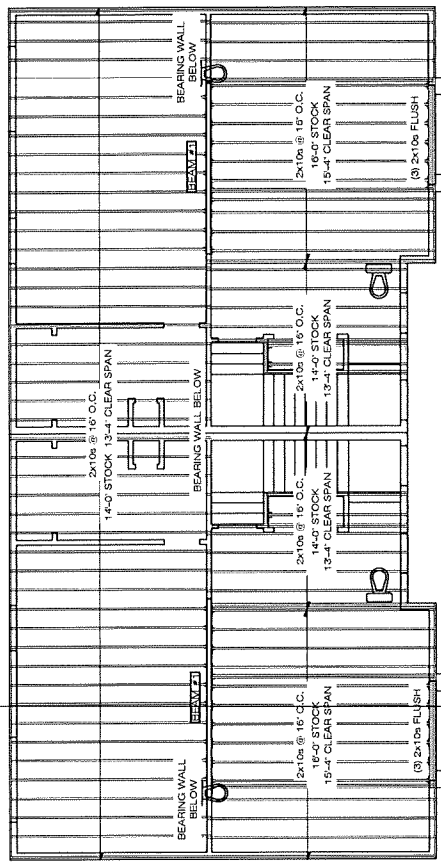
NOTE: ALL ENGINEERED FRAMING DETAILS ARE TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

DON TREANNIE
7 PETTEE PLACE
FOXBORO, MA

FIRST & SECOND FLOOR FRAMING

Scale: 1/4" = 1'-0"
 Date: 2018-11-5
 Drawn By: C.GJ/DJ.S
 Checked By: GCM
 Job Number: 18184

Drawing: **A5**



SECOND FLOOR FRAMING

FLOOR FRAMING NOTES

- 2X10 FLOOR FRAMING SYSTEM TO SURROUND PERIMETER OF FRAMING SYSTEM.
- PERIMETER JOIST TO BE ABOVE ALL BEARING PARTITIONS AND GRISTS.
- CONTINUOUS BRIDGING AT ALL MIDSPANS.
- DOUBLE JOISTS AND HANGERS AS REQUIRED.
- SEE FLOOR PLANS AND FOUNDATION PLAN FOR ALL DIMENSIONS.
- DOUBLE JOISTS BETWEEN ALL MASONRY AND FRAMING.

NOTE: ALL ENGINEERED FRAMING DETAILS ARE TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

NOTE: ALL ENGINEERED FRAMING DETAILS ARE TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

GENERAL NOTES

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO PLANS MUST BE TAKEN TO THE ARCHITECTS, INC., AND/OR CBA&C MITCHELL, ARE NOT LIABLE FOR STRUCTURES BUILT FROM THESE PLANS.
- G.C. MUST COMPLY TO ALL STATE AND LOCAL REGULATIONS AND ORDINANCES.
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- G.C. TO VERIFY ALL EXISTING SITE CONDITIONS.
- ANY REPRODUCTION OF PLANS WITHOUT WRITTEN PERMISSION FROM CME ARCHITECTS, INC., AND/OR CBA&C MITCHELL IS STRICTLY PROHIBITED.
- ALL ON-SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC, AND PLUMBING PLANS TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL SPECIAL ORDERS TO BE PROVIDED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASINGS TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- ALL DIMENSIONS ARE MINIMUM UNLESS NOTED OTHERWISE. MINIMUM 2" NOMINAL LUMBER REQUIRED.

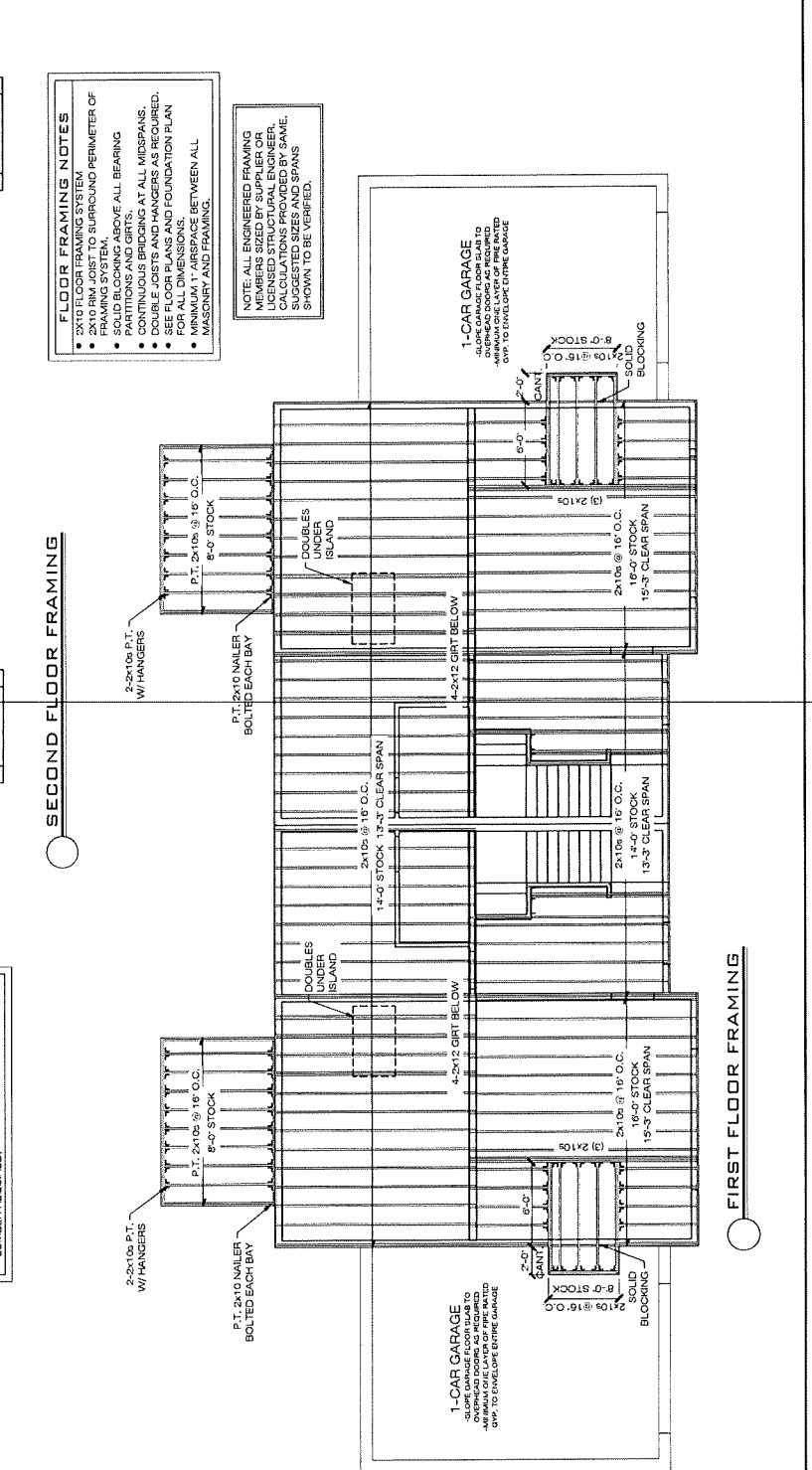
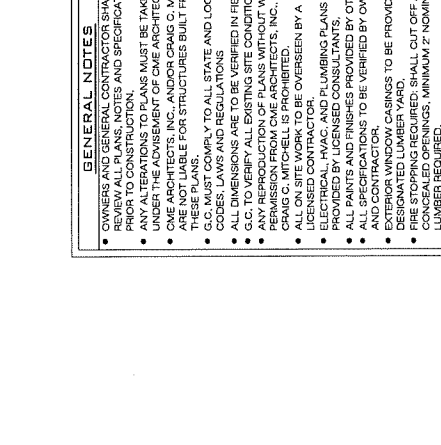
FIRST FLOOR FRAMING

FLOOR FRAMING NOTES

- 2X10 FLOOR FRAMING SYSTEM TO SURROUND PERIMETER OF FRAMING SYSTEM.
- PERIMETER JOIST TO BE ABOVE ALL BEARING PARTITIONS AND GRISTS.
- CONTINUOUS BRIDGING AT ALL MIDSPANS.
- DOUBLE JOISTS AND HANGERS AS REQUIRED.
- SEE FLOOR PLANS AND FOUNDATION PLAN FOR ALL DIMENSIONS.
- DOUBLE JOISTS BETWEEN ALL MASONRY AND FRAMING.

NOTE: ALL ENGINEERED FRAMING DETAILS ARE TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.

NOTE: ALL ENGINEERED FRAMING DETAILS ARE TO BE PROVIDED BY LICENSED STRUCTURAL ENGINEER. CALCULATIONS PROVIDED BY SAME. SUGGESTED SIZES AND SPANS SHOWN TO BE VERIFIED.



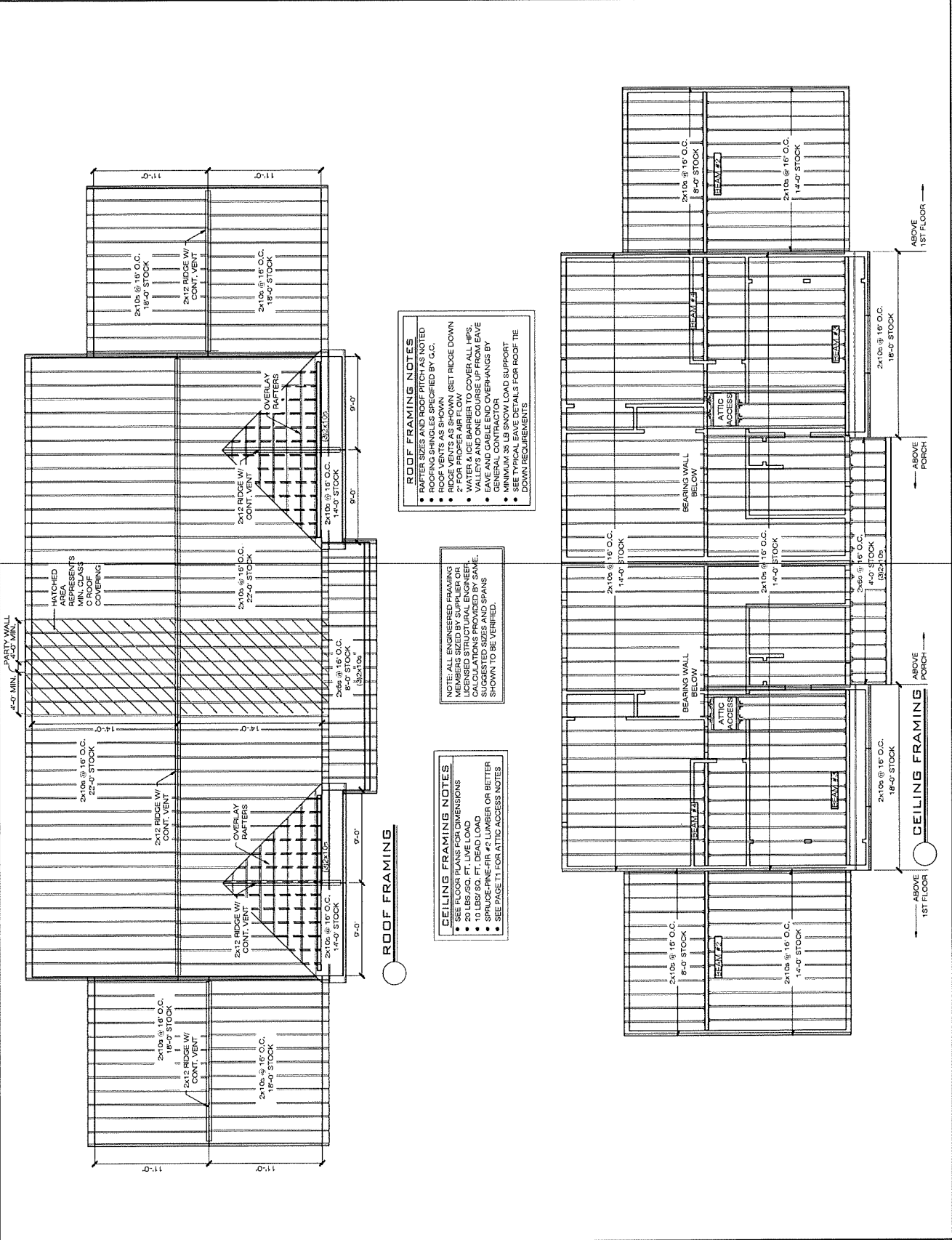
- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:**
- 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
 - 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
 - 2009 INTERNATIONAL RESIDENTIAL CODE
 - MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION
 - MANUAL GUIDE TO WOOD CONSTRUCTION FAMILY DWELLINGS, 101
 - PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION, 101
 - 2009 INTERNATIONAL RESIDENTIAL CODE

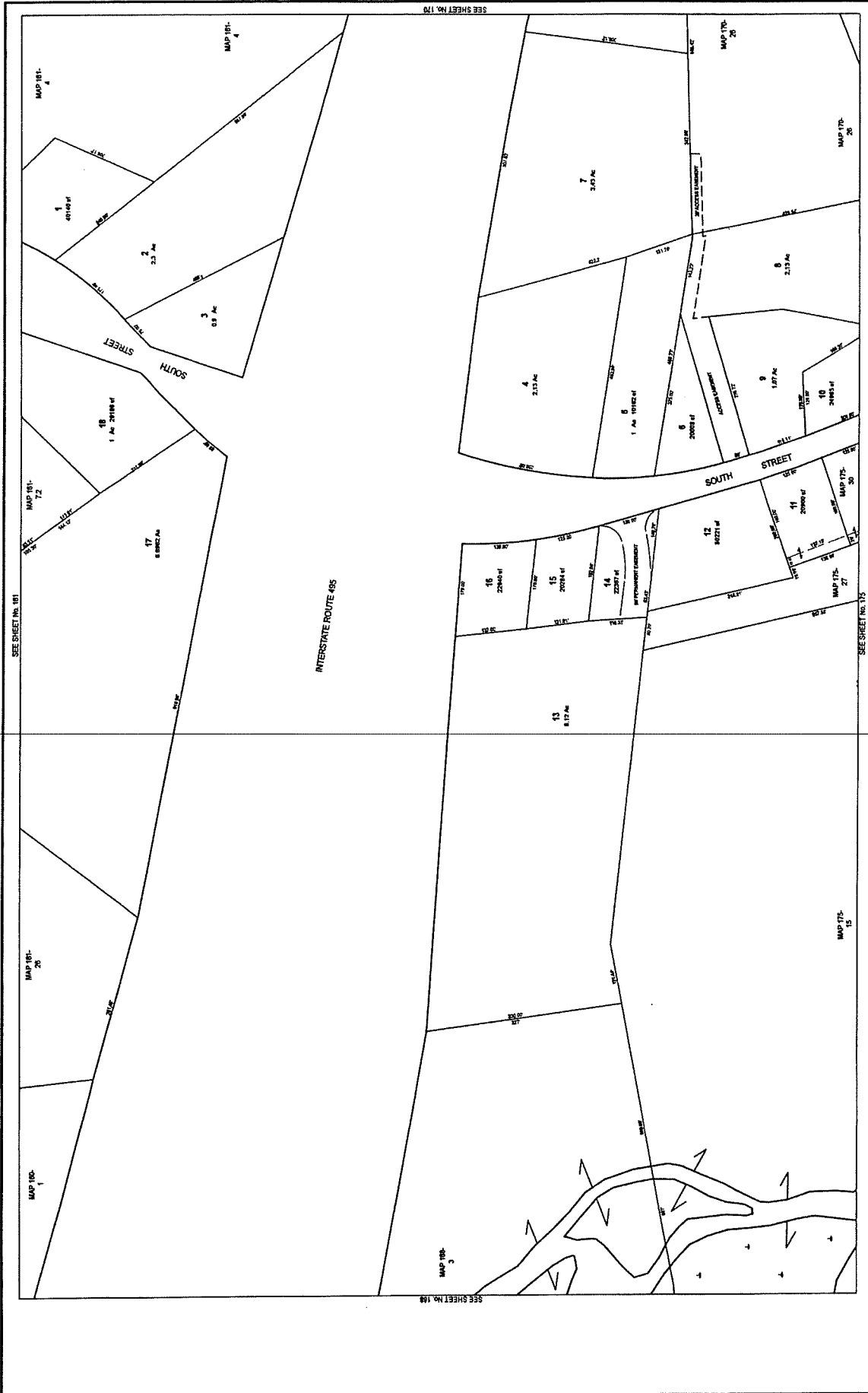
DON TREANNIE
7 PETITE PLACE
FOXBORO, MA

CEILING & ROOF FRAMING

Date	Scale
2018-11-5	1/8" = 1'-0"
Drawn By: C.G.U./D.J.S	
Checked By: GDM	
Job Number: 15184	
Drawing:	

A6





SEE SHEET NO. 181

SEE SHEET NO. 179

INTERSTATE ROUTE 495

MAP 180-1

MAP 180-2

MAP 180-4

MAP 180-7

MAP 180-12

MAP 180-20

MAP 179-1

MAP 179-2

MAP 179-4

MAP 179-7

MAP 179-10

MAP 179-12

MAP 179-14

MAP 179-15

MAP 179-20

MAP 179-27

MAP 179-30

SEE SHEET NO. 178

SEE SHEET NO. 179

PROPERTY MAPS
FOXBOROUGH
MASSACHUSETTS

INDEX DIAGRAM

18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1
----	----	----	----	----	----	----	----	----	---	---	---	---	---	---	---	---	---

SCALE: 1" = 80'

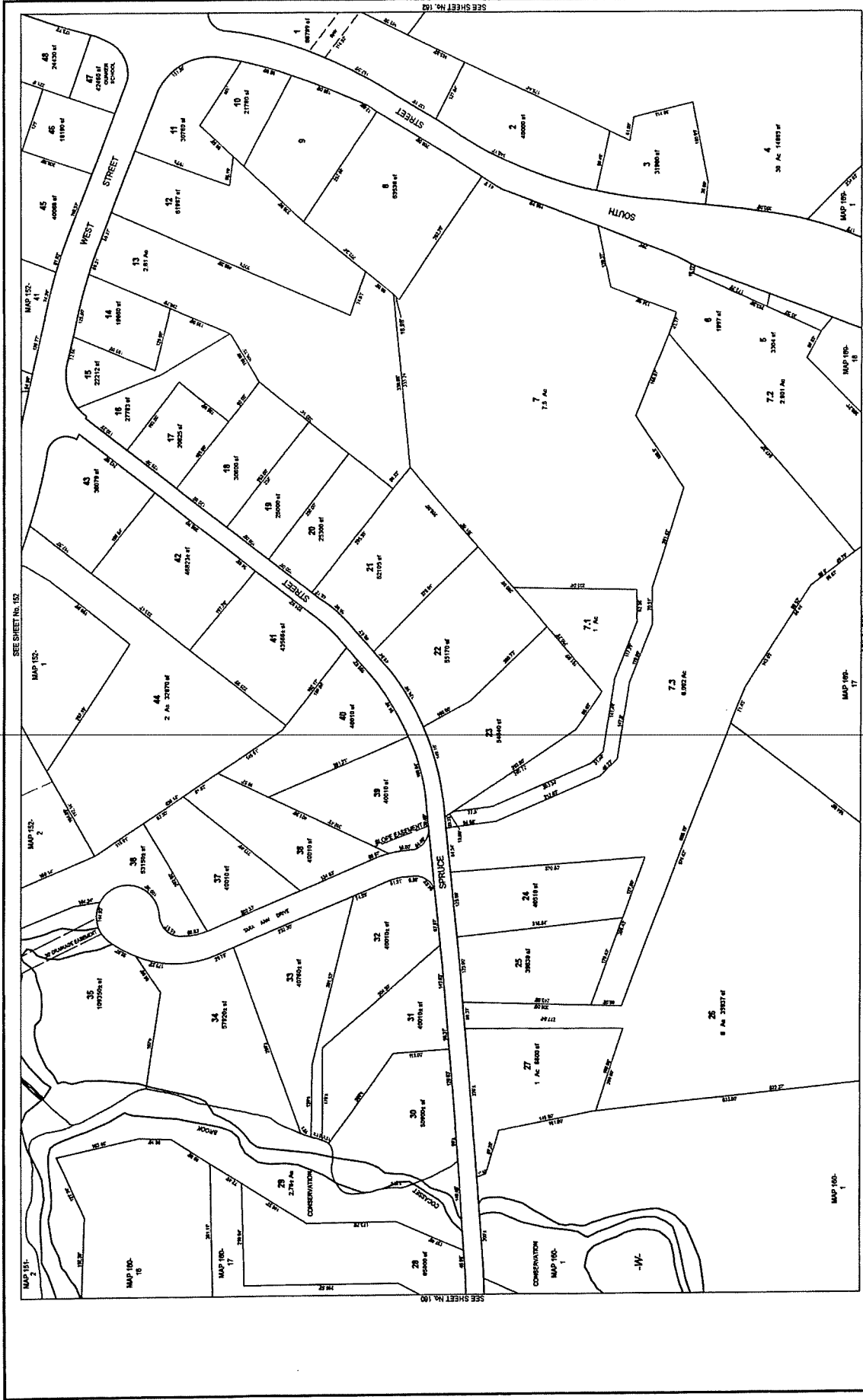
REVISOR TO: JANUARY 1, 2010

LEGEND

- 8' PERCUSSION
- 10' PERCUSSION
- 12' PERCUSSION
- 14' PERCUSSION
- 16' PERCUSSION
- 18' PERCUSSION
- 20' PERCUSSION
- 22' PERCUSSION
- 24' PERCUSSION
- 26' PERCUSSION
- 28' PERCUSSION
- 30' PERCUSSION
- 32' PERCUSSION
- 34' PERCUSSION
- 36' PERCUSSION
- 38' PERCUSSION
- 40' PERCUSSION
- 42' PERCUSSION
- 44' PERCUSSION
- 46' PERCUSSION
- 48' PERCUSSION
- 50' PERCUSSION
- 52' PERCUSSION
- 54' PERCUSSION
- 56' PERCUSSION
- 58' PERCUSSION
- 60' PERCUSSION
- 62' PERCUSSION
- 64' PERCUSSION
- 66' PERCUSSION
- 68' PERCUSSION
- 70' PERCUSSION
- 72' PERCUSSION
- 74' PERCUSSION
- 76' PERCUSSION
- 78' PERCUSSION
- 80' PERCUSSION
- 82' PERCUSSION
- 84' PERCUSSION
- 86' PERCUSSION
- 88' PERCUSSION
- 90' PERCUSSION
- 92' PERCUSSION
- 94' PERCUSSION
- 96' PERCUSSION
- 98' PERCUSSION
- 100' PERCUSSION

REVISED & REPRINTED BY
CAI Technologies
Professional Land Surveyors
1000 West Main Street
Foxborough, MA 01935
Tel: 508-548-1100

THIS MAP IS FOR INFORMATION PURPOSES. IT IS NOT VALID FOR LEGAL DESCRIPTION OR CONTRACTUAL PURPOSES.
THE INFORMATION CONTAINED IN THIS MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, AND 311 ORIGINAL MAPS PREPARED BY SOUTH BORE MAPTING SERVICE.



PROPERTY MAPS

FOXBOROUGH
MASSACHUSETTS

SCALE: 1" = 60'

REVISOR TO: JANUARY 1, 2018

INDEX DIAGRAM

1	2	3	4	5	6	7	8	9
10	11	12	13	14	15	16	17	18
19	20	21	22	23	24	25	26	27
28	29	30	31	32	33	34	35	36
37	38	39	40	41	42	43	44	45
46	47	48						

MAP NO. 161

REVISIONS & REPRINTED BY
CAI Technologies
1145 State Street, Foxborough, MA 01935

THIS MAP IS FOR ASSESSMENT PURPOSES. IT IS NOT FILED FOR LEGAL
Determination OF CONFORMANCE.

THE HEREDITARY DATA IN THE MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM, 1852 TO

ORIGINAL MAPS PREPARED BY SOUTH ENGINEERING SERVICE.