



WALNUT STREET AFFORDABLE HOUSING COMPREHENSIVE PERMIT SET - JANUARY 12, 2023

ZONING TABLE											
DIMENSIONAL REGULATIONS	R-40	R-15 MULTI-FAMILY	PROPOSED								
MIN. LOT AREA (SF)	40,000	1,238,875	678,308 +/-								
MIN LOT FRONTAGE (FT)	200	125	882.56 +/-								
MIN. FRONT YARD SETBACK (FT)	35	50	113.2 +/-								
MIN. SIDE YARD SETBACK (FT)	25	25	140.7+/-								
MIN. REAR YARD SETBACK (FT)	N/A	N/A	N/A								
MAX. BUILDING HEIGHT (FT)	35	35	51 *								
MIN. LOT WIDTH	134	67	818.21 +/-								

* SPECIAL PERMIT REQUIRED

PARKING CALCULATIONS
PARKING REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)
TOTAL UNIT COUNT = 200 UNITS
PARKING REQUIRED = 200 UNITS * 2 SPACES = 400 SPACES VISITORS PARKING REQUIRED = 200 UNITS * 1 VISITORS SPACE / 4 UNITS = 50 VISITOR SPACES REQUIRED TOTAL PARKING REQUIRED = 450 SPACES TOTAL PARKING PROVIDED = 206 SPACES + 15 VISITORS SPACES = 221 SPACES
H.P. SPACES REQUIRED = 7 H.P. SPACES H.P. SPACES PROVIDED = 12 H.P. SPACES PARKING TO UNIT RATIO: 1.11

	BUILDING DEVELOPMENT SUMMARY												
BUILDING 1 - DEVE TYPE: MULTIFAMIL	LOPMENT SUMMARY Y RESIDENTIAL		BUILDING 2 - DEVEL	OPMENT SUMMARY Y RESIDENTIAL		BUILDING 3 - DEVELOPMENT SUMMARY TYPE: MULTIFAMILY RESIDENTIAL							
BUILDING 1 FOOTP	RINT: 25,318 GSF		BUILDING 2 FOOTPP	RINT: 26,675 GSF		BUILDING 3 FOOTP	RINT: 19,850 GSF						
FIRST FLOOR	RST FLOOR 25,318 GSF FLOOR AREA (19) 1-BR UNITS 15,215 SF RESIDENTIAL 2,572 SF AMENITY & MGMT OFFICE		FIRST FLOOR	26,675 GSF FLOOR AREA 17,700 SF RESIDENTIAL 1,880 SF AMENITY	(24) 1-BR UNITS	FIRST FLOOR	19,850 GSF FLOOR AREA 14,710 SF RESIDENTIAL 650 SF AMENITY	(19) 1-BR UNITS					
SECOND FLOOR	21,271 GSF FLOOR AREA 16,972 SF RESIDENTIAL 592 AMENITY	(21) 1-BR UNITS	SECOND FLOOR	27,095 GSF FLOOR AREA 22,158 SF RESIDENTIAL 950 SF AMENITY	(28) 1-BR UNITS	SECOND FLOOR	19,950 GSF FLOOR AREA 16,165 SF RESIDENTIAL 870 SF AMENITY	(20) 1-BR UNITS					
THIRD FLOOR	D FLOOR 21,271 GSF FLOOR FLOOR AREA (21) 1-BR UNITS 16,972 SF RESIDENTIAL 592 SF AMENITY		THIRD FLOOR	27,095 GSF FLOOR AREA 22,158 SF RESIDENTIAL 950 SF AMENITY	(28) 1-BR UNITS	THIRD FLOOR	19,950 GSF FLOOR AREA 16,165 SF RESIDENTIAL 870 SF AMENITY	(20) 1-BR UNITS					
TOTAL AREA	67,860 GSF	(61) 1-BR UNITS	TOTAL	80,865 GSF	(80) 1-BR UNITS	TOTAL	59,750 GSF	(59) 1-BR UNITS					

IMPERVIOUS COVERAGE AND OPEN SPACE DATA											
	AREA (SF)	TRACT COVERAGE (%)									
BUILDINGS	71,865	10.6%									
VEHICULAR IMPERVIOUS	100,275	14.8%									
SW / HARDSCAPE IMPERVIOUS	42,213	6.2%									
TOTAL IMPERVIOUS	214,353	31.6%									
OPEN SPACE	463,955	68.4%									

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Walnut Street Affordable Housing

BUILDING 2

Venture Group

The Walnut Street Joint

536 GRANITE ST BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000

115 KINGSTON ST BOSTON, MA 02111 P 617 423.7200 F 617 423.1414

Weston + Sampson

BF&A

BLW ENGINEERS

311 GREAT ROAD P.O. BOX #1551 LITTLETON, MA 01460 **P** 978 964.5477

KALIN ASSOCIATES

RSE ASSOCIATES

WATERTOWN, MA 02472 **P** 617 926.9300

SPECIFICATIONS



REVISION 12/09/2022 Pricing Set

Revised Permit Set

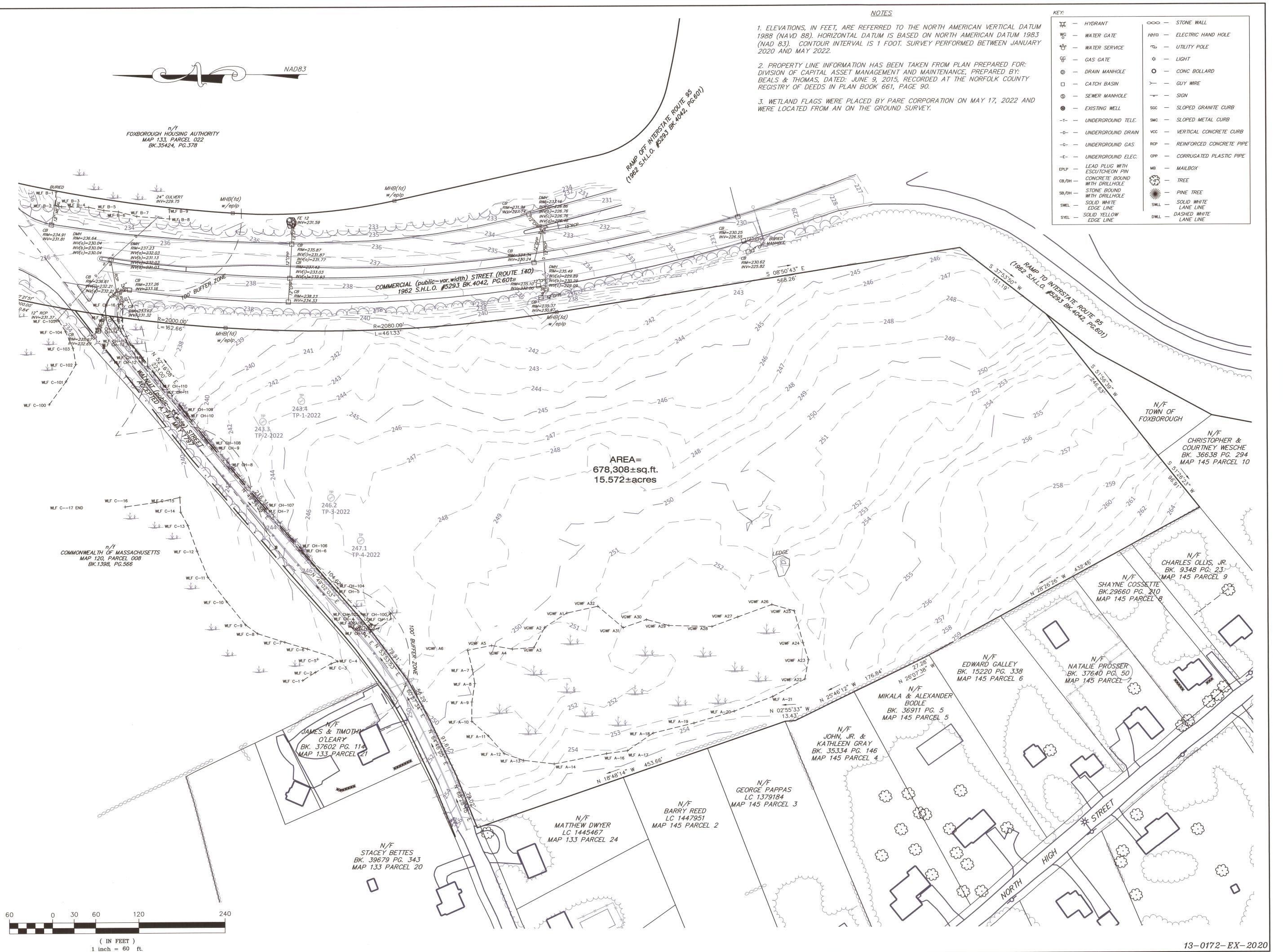
REVISIONS ON SHEET

03/24/2023

As indicated

UTILE PROJECT NUMBER

COVER SHEET



PROJECT:

Walnut Street
Foxborough
Massachusetts

PREPARED FOR:

Weston & Sampson 55 Walkers Brook Drive Suite 100 Reading, MA 01867



FOUR SCHOOL STREET P.O. BOX 9136 FOXBOROUGH, MA 02035 508-543-3939

LOCUS MAP



LOCUS 1"=1000'

REFERENCES

DEED REF:

BK.35424, PG.378

PLAN REF:

PB.661, PG.90

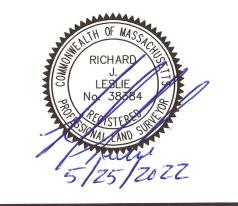
ASSESSOR'S REF:

MAP 133, PARCEL 023

ZONING REF:

RESIDENTIAL & AGRICULTURAL (R40)

STAMP



DRAWING TITLE

EXISTING CONDITIONS PLAN

SCALE: 1" = 60'

MAY 25, 2022 SHEET NUMBER

V101

GENERAL NOTES

- 1. TOPOGRAPHICAL INFORMATION BASED UPON A PLAN ENTITLED "EXISTING CONDITIONS PLAN" BY BAY COLONY GROUP DATED MAY 25,2022. 2 REFER TO EXISTING CONDITIONS FOR SURVEY LEGEND, ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID. AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
- 3. LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION.

SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR

- 4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY
- 5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
- 7. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON
- 8. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR
- 9. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.

SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.

- 10. ALL WORK SHOWN ON THE PLANS AS BOLD SHALL REPRESENT PROPOSED WORK. THE TERM "PROPOSED (PROP)" INDICATES WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET (R&R)" OR REMOVE, RELOCATE, RESET, (R.R&R),
- 11. ALL KNOWN EXISTING STATE, COUNTY AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM
- 12. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS. INCLUDING BUT NOT LIMITED TO. THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
- 13. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
- 14. FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.

AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS.

- 15. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
- 16. TREES AND SHRUBS WITHIN THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON THE APPROVAL OF THE ENGINEER OR AS NOTED ON THE
- 17. THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO
- 18. NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER REPRESENTATIVE.
- 19. THE CONTRACTOR SHALL REMOVE ALL SURFACE VEGETATION PRIOR TO GRADING THE SITE. STUMPS SHALL BE STOCKPILED ON SITE FOR DISPOSAL BY THE GC. TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS (INCLUDING SILT FENCE, STRAW WATTLES, OR SILT SOCKS) SHALL BE INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE PROJECT WHICH COST SHALL BE INCIDENTAL TO THE
- 20. ALL UNSUITABLE UNCONTAMINATED EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE STOCKPILED ON SITE, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL COST TO THE OWNER. REMOVAL ACTIVITIES SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. SUITABLE SOIL EXCAVATION AS PART OF THE PROJECT MUST MEET ONE OR MORE OF THE MATERIAL REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT. ON-SITE FILL MATERIALS, WHICH DO NOT CONFORM TO THE GEOTECHNICAL REPORT, SHALL NOT BE USED BELOW ANY STRUCTURES. IF THE CONTRACTOR PROPOSES TO USE THE EXISTING FILL ON SITE BELOW PAVEMENT AREAS. HE MUST DEMONSTRATE THAT THE FILL MEETS THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. ALL EXCAVATED FILL MATERIAL WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT NO ADDITIONAL COST.
- 21. CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES IN FIELD. NO CONSTRUCTION WILL BE PERFORMED WITHOUT THE PROPOSED BASELINES AND LAYOUTS APPROVED BY THE ENGINEER
- 22. NO FILL SHALL CONTAIN HAZARDOUS MATERIALS
- 23. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND PERIMETER OF WORK AREA (LIMIT OF WORK). FENCE SHALL NOT IMPEDE TRAVEL WAYS.
- 24. ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
- 25. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
- 26. CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
- 27. THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
- 28. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER.
- 29. CONTRACTOR SHALL DEWATER AS NECESSARY TO PERFORM THE PROPOSED WORK. CONTRACTOR SHALL BE AWARE OF PERCHED
- GROUNDWATER. (SEE GEOTECHNICAL REPORT). 30. THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
- 31. DEEP SUMP CATCH BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND SHALL FOLLOW THE OPERATION AND MAINTENANCE PLAN
- 32. HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 9:00 PM MONDAY THROUGH
- 33. ANY BOULDERS 3 CY OR SMALLER SHALL BE CONSIDERED UNDOCUMENTED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO
- 34. THE TERM "AS DIRECTED" AS USED IN THE CONTRACT DRAWINGS SHALL BE REPLACED WITH "AS REQUIRED". 35. GROUNDWATER WAS OBSERVED AT THE FOLLOWING ELEVATIONS:

PERCOLATION TEST NO.

05-27-92

36. DRIVE AISLES, LANDSCAPED SETBACK AREAS AND REQUIRED PARKING SPACES SHALL NOT BE USED FOR SNOW STORAGE. ONCE DESIGNATED SNOW STORAGE AREAS REACH CAPACITY OR INTERFERE WITH VISIBILITY, SNOW SHALL BE TRUCKED OFF-SITE.

EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO PLAN FOR APPROXIMATE LOCATION OF EROSION AND SEDIMENT CONTROL. REFER TO SPECS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT
- CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. AND THE TOWN OF FOXBOROUGH WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
- EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S
- ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE
- EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE SITE PREPARATION PLAN, NOTES, DETAILS AND
- 7. ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- 8. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/PRIVATE ROADS

DEMOLITION & SITE PREPARATION NOTES

- 1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE RID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
- 2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL ALLOW ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
- 3. UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL (REM) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC, TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
- 4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO
- 5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- 6. IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.
- 7. ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE
- 8. 'CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.
- 9. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 10. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND FOLIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR
- 11. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.
- 12. LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.
- 13. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS

LAYOUT & MATERIALS NOTES

- 1. REFER TO "ALTA/NSPS LAND TITLE SURVEY" PLANS BY CONTROL POINT ASSOCIATES, INC. FOR SURVEY INFORMATION (SHEETS 1 OF 7 THROUGH 7 OF 7) (SHEETS V101-V107 IN THIS PLAN SET).
- 2. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S
- 3. ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY OTHERS".
- 4. TO FACILITATE LAYOUT OF PROPOSED SITE FEATURES AND FACILITIES, LAYOUT INFORMATION FOR CERTAIN FUTURE WORK, WHICH IS NOT INCLUDED WITHIN THE SCOPE OF THIS CONTRACT HAS BEEN PROVIDED ON THE LAYOUT AND MATERIALS PLAN FOR INFORMATION ONLY. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SOME ITEMS ARE "NOT IN CONTRACT" (NIC) AND SHOWN FOR REFERENCE ONLY.
- 5. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 6. THE LAYOUT OF ALL NEW PATHWAYS / WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS CMR 521, AND THE AMERICANS WITH DISABILITIES ACT (ADA), TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND
- 7. ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE
- 8. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER
- 9. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION, ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
- 10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
- 12. THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL. DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED
- 13. ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDROMULCH SEEDED LAWN.
- 14 REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS

GRADING, UTILITIES & DRAINAGE NOTES

- 1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF FOXBOROUGH.
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE
- 3 ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED GRAVEL SURFACE MEETS EXISTING SURFACE BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW
- 4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
- 5. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
- 6. ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF PERCENT (1.5%) AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 5% MAX.
- 7. MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
- 8. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- 9. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
- 10. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- 11. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
- 12. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED
- 13. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
- 14. SEE GEOTECHNICAL REPORT FOR SPECIFIC EXCAVATION AND FILLING PROCEDURES.
- 15. FOR STRUCTURE REMODELING (REMOD), CONSTRUCTION METHODS SHALL FOLLOW MASSACHUSETTS DOT STANDARD SPEC. LATEST EDITION

<u>ABBREVIA</u>TIONS

POINT OF VERTICAL INTERSECTION

POINT OF VERTICAL CURVATURE

POINT OF VERTICAL TANGENCY

ELEVATION

HIGH POINT

LOW POINT

STATION

TOP OF CURB

TOP OF WALL

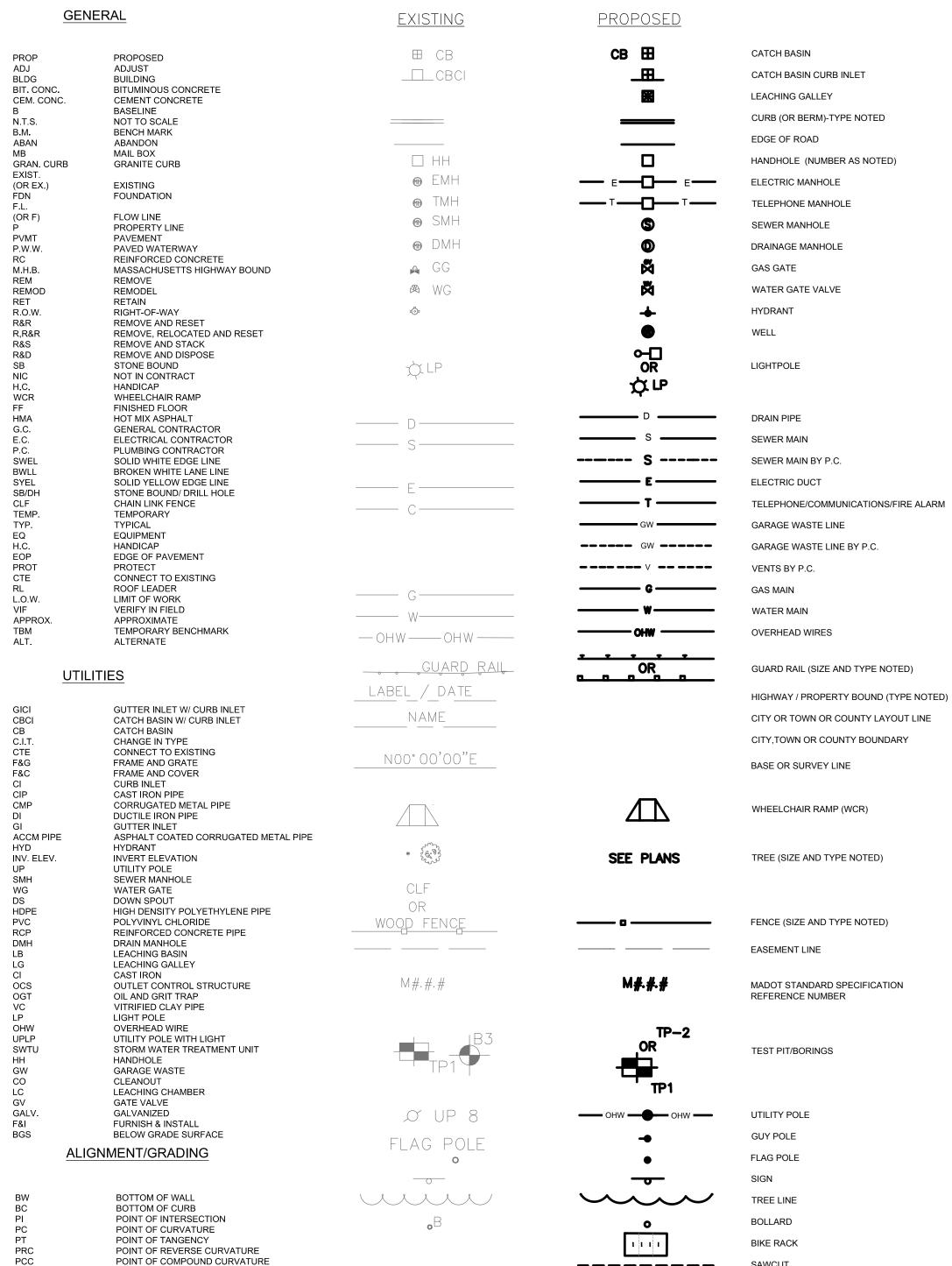
CENTER OF CURVE

RADIUS OF CURVATURE

STOPPING SIGHT DISTANCE

ELEV

S.S.D.



☐ CBF

GENERAL SYMBOLS

EROSION CONTROL (SPECIFIED ON PLANS)

LIMIT OF WORK

EXISTING ROW LINE

PROPOSED ROW LINE

TEMPORARY FENCE

CONCRETE BOUND FOUND

TEMPORARY BENCHMARK (TBM)

PHASE ONE LIMIT OF WORK

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035

The Walnut Street Joint

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

SPECIFICATIONS

STRUCTURAL

STAMP

Venture Group 536 GRANITE ST BRAINTREE, MA 02184

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P 617 423.7200 **F** 617 423.1414

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utiledesign.com

BOSTON, MA 02111

Weston & Sampson 85 DEVONSHIRE STREET, THIRD FLOOR

BOSTON, MA 02109 **P** 978 532.1900 CIVIL & LANDSCAPE BF&A

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BLW ENGINEERS 311 GREAT ROAD

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> 1121 WASHINGTON STREET NEWTON, MA 02465 **P** 617 964 5477

RSE ASSOCIATES

63 PLEASANT STREET WATERTOWN, MA 02472 **P** 617 926.9300



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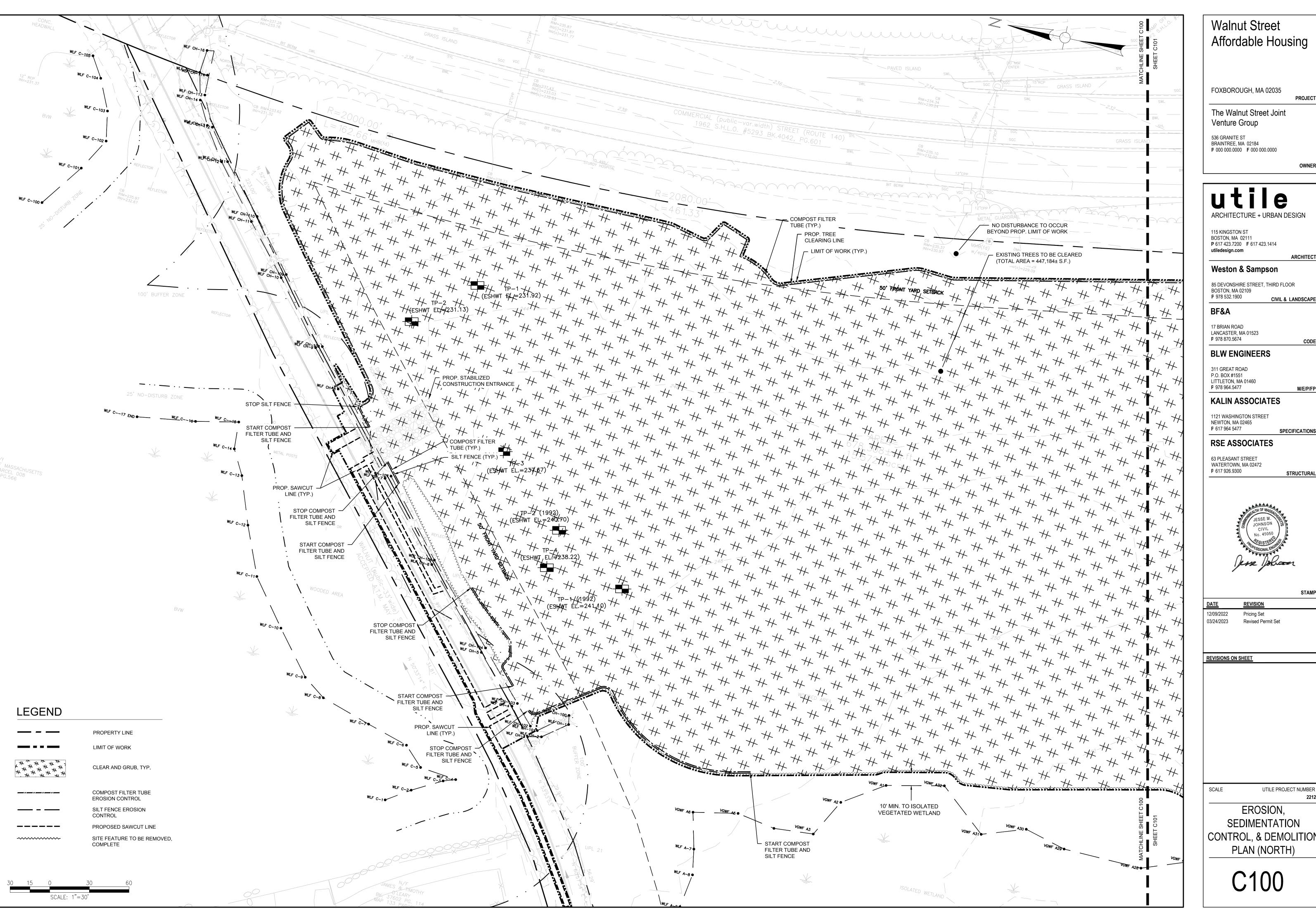
REVISIONS ON SHEET

SCALE

UTILE PROJECT NUMBER

2212

ABBREVIATIONS NOTES, & LEGEND



Affordable Housing

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

STAMP

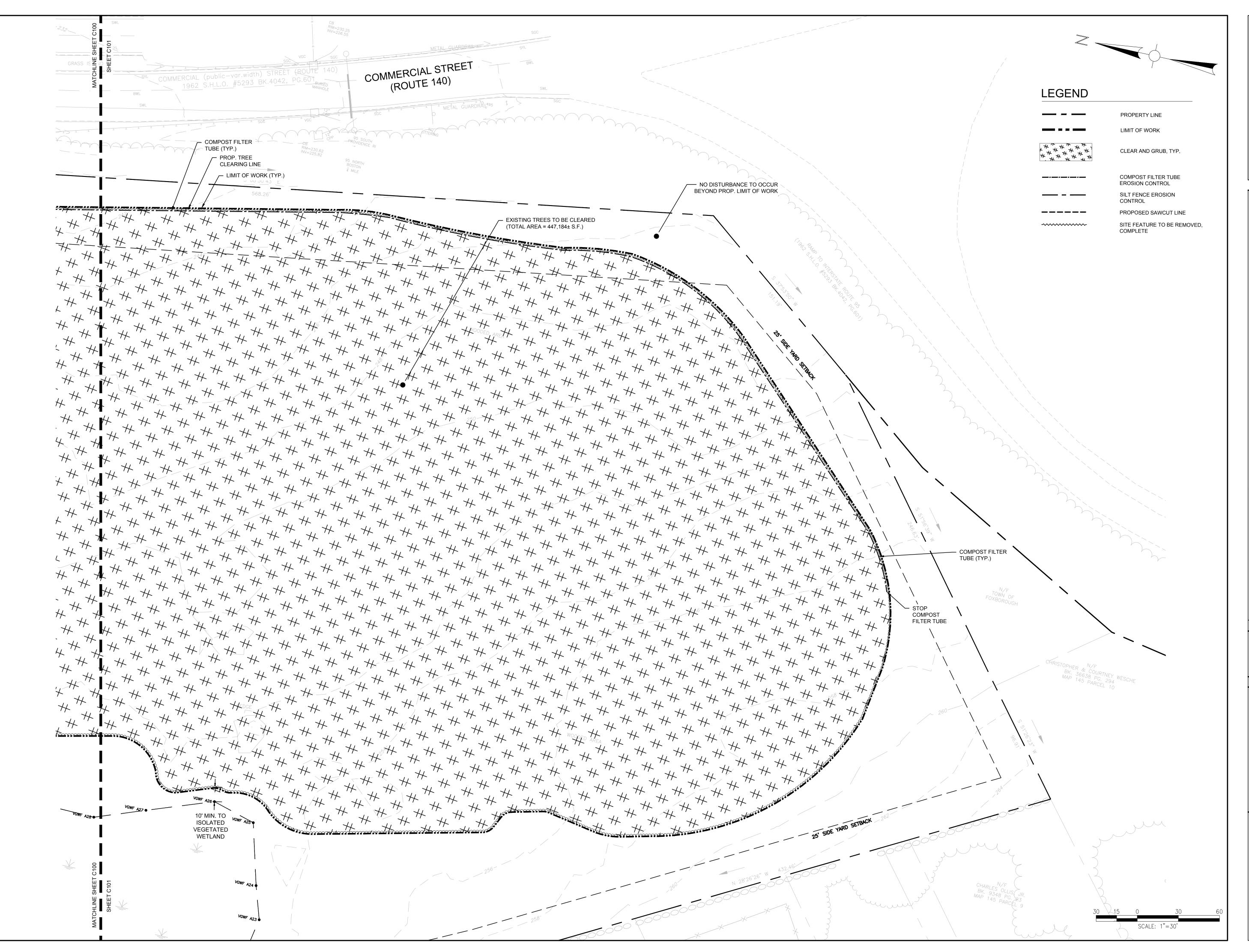
85 DEVONSHIRE STREET, THIRD FLOOR BOSTON, MA 02109

SPECIFICATIONS



UTILE PROJECT NUMBER

SEDIMENTATION CONTROL, & DEMOLITION



FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

STAMP

CIVIL & LANDSCAPE

The Walnut Street Joint Venture Group

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1121 WASHINGTON STREET NEWTON, MA 02465 **P** 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

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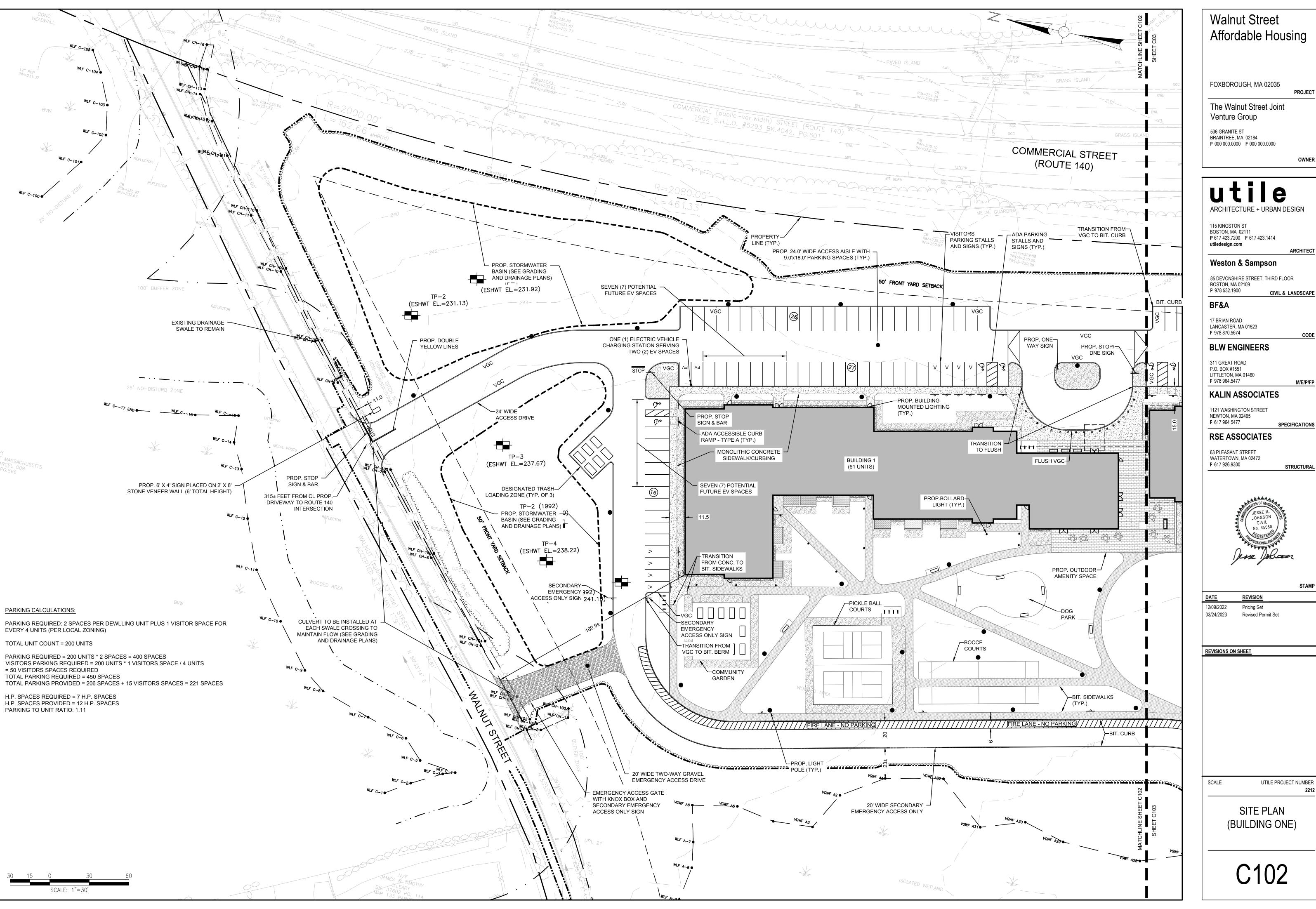
Pricing Set Revised Permit Set 12/09/2022 03/24/2023

REVISIONS ON SHEET

UTILE PROJECT NUMBER

EROSION,

SEDIMENTATION CONTROL, & DEMOLITION PLAN (SOUTH)



Affordable Housing

PROJECT

OWNER

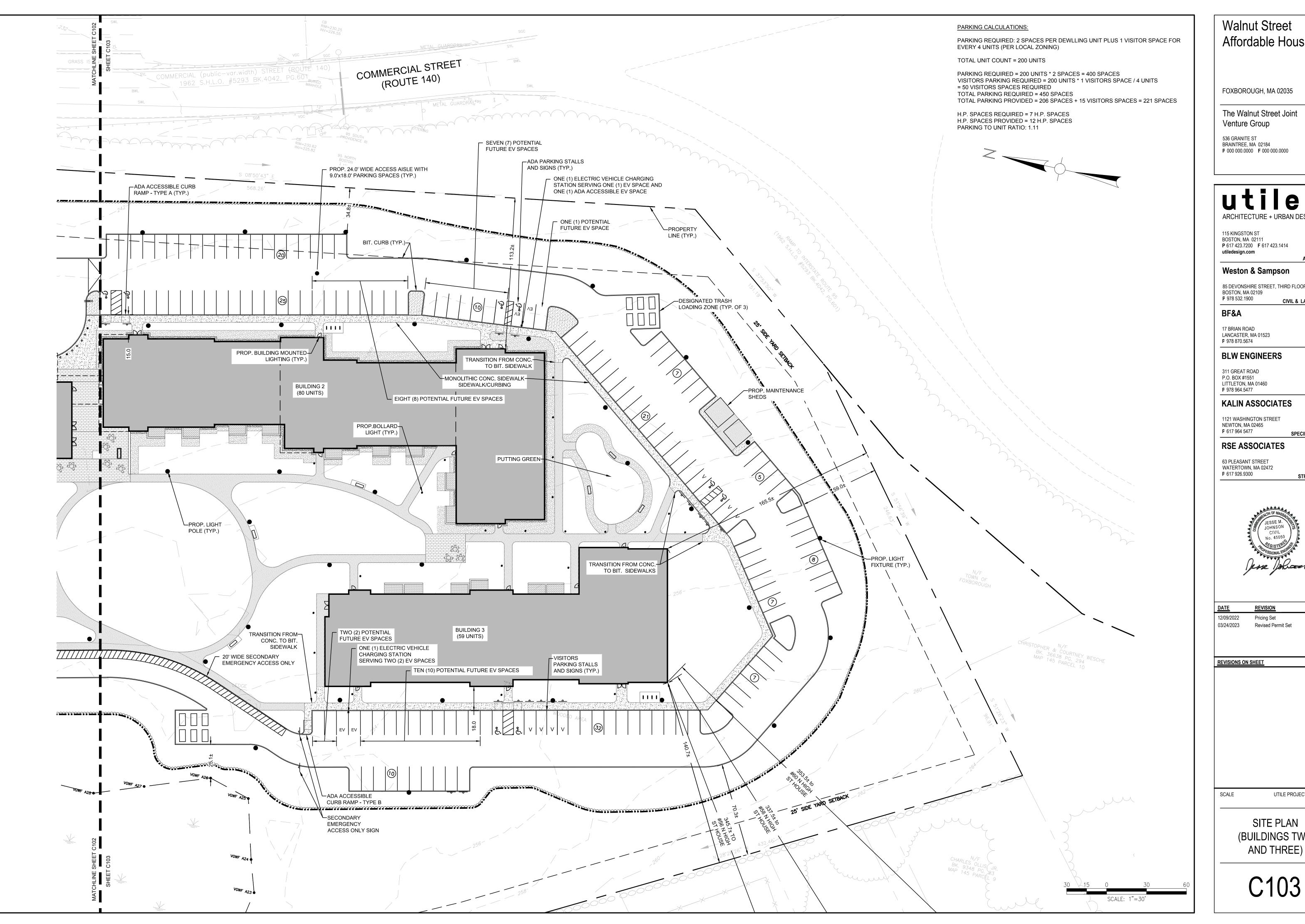
CODE

M/E/P/FP

STAMP

85 DEVONSHIRE STREET, THIRD FLOOR

(BUILDING ONE)



FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN

P 617 423.7200 **F** 617 423.1414

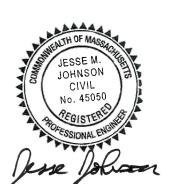
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85 DEVONSHIRE STREET, THIRD FLOOR

CIVIL & LANDSCAPE

SPECIFICATIONS

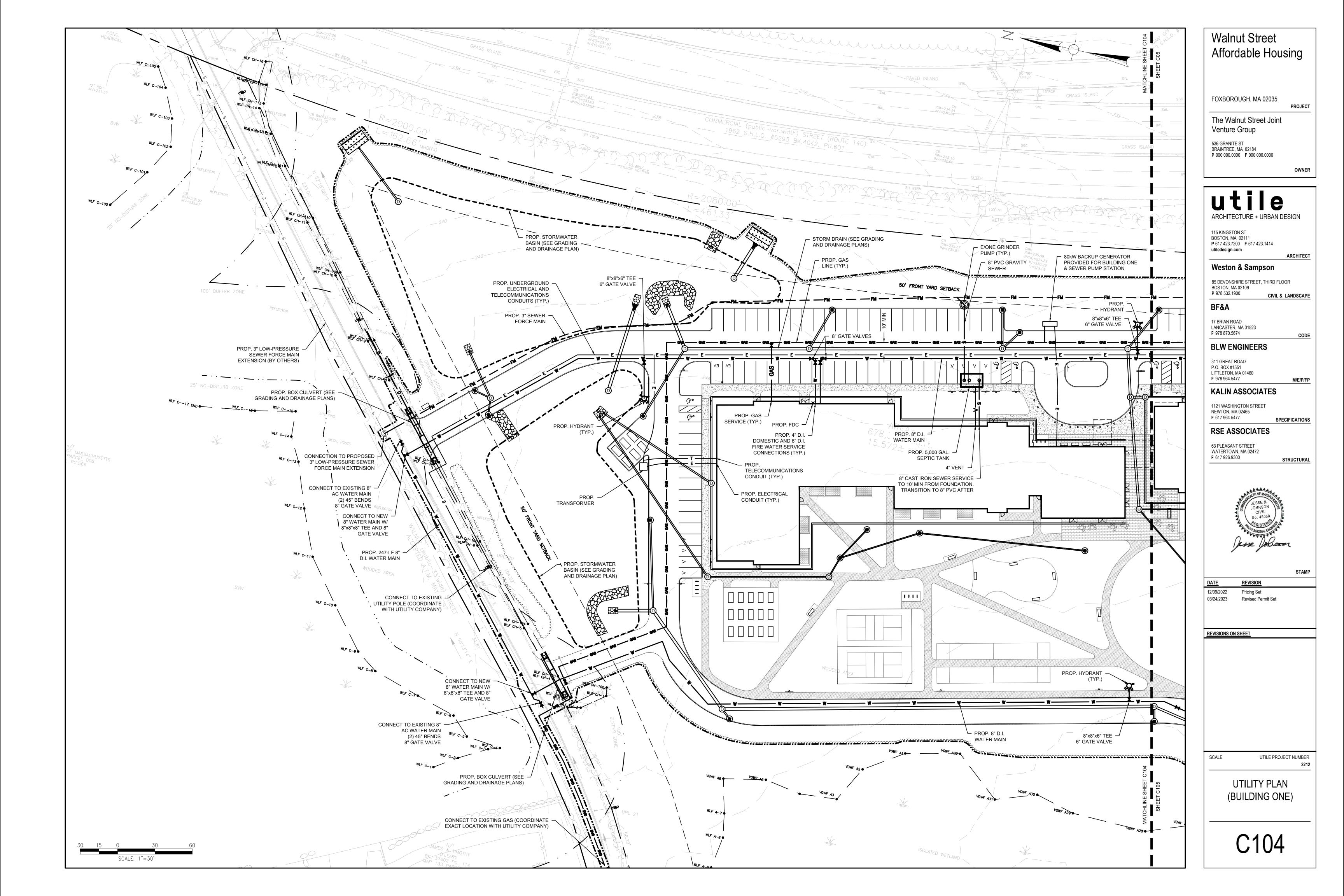
RSE ASSOCIATES

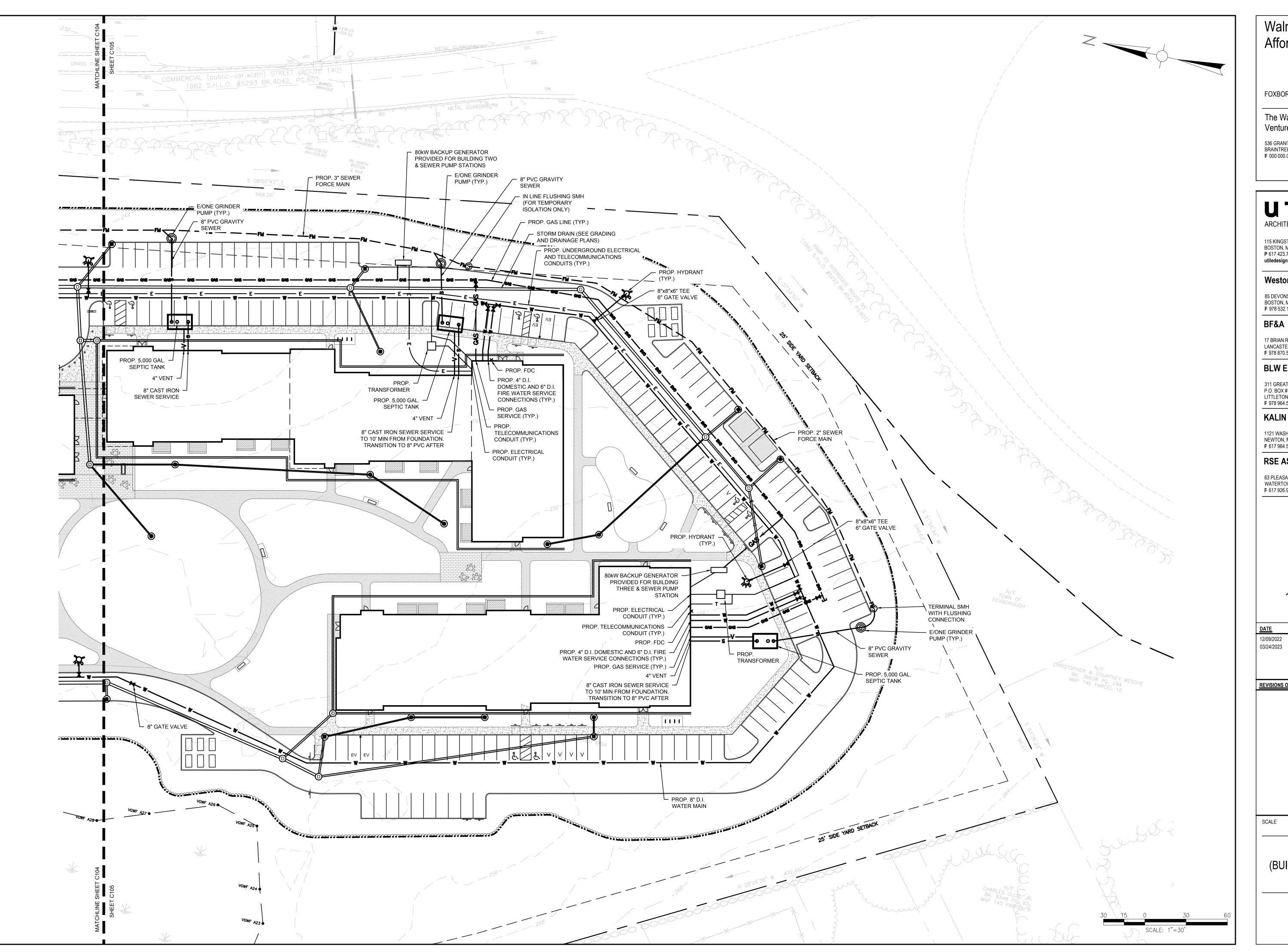


Revised Permit Set

UTILE PROJECT NUMBER

SITE PLAN (BUILDINGS TWO





FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

STAMP

The Walnut Street Joint Venture Group

536 GRANITE ST BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN

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P 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

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P 617 926.9300

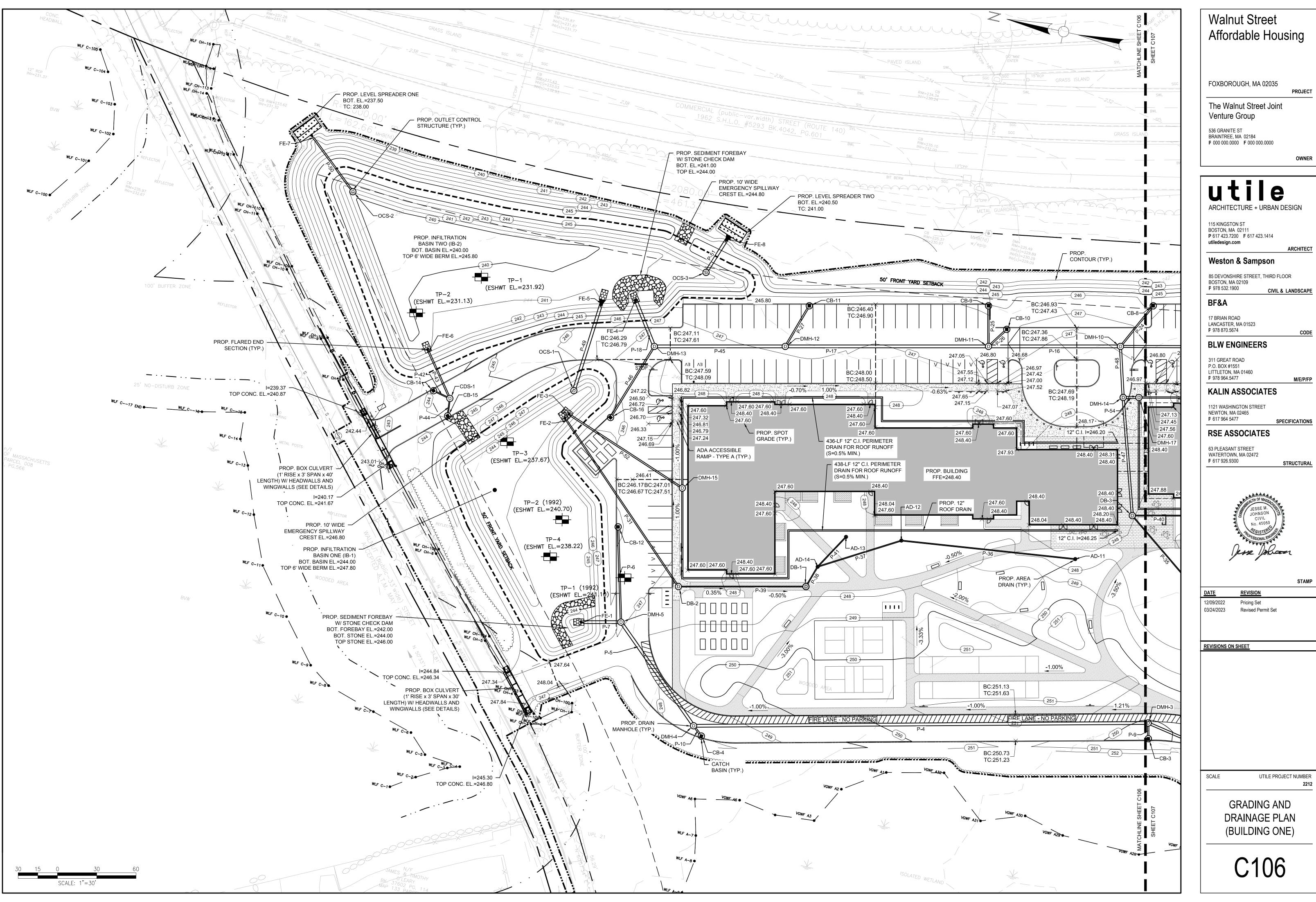
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REVISIONS ON SHEET

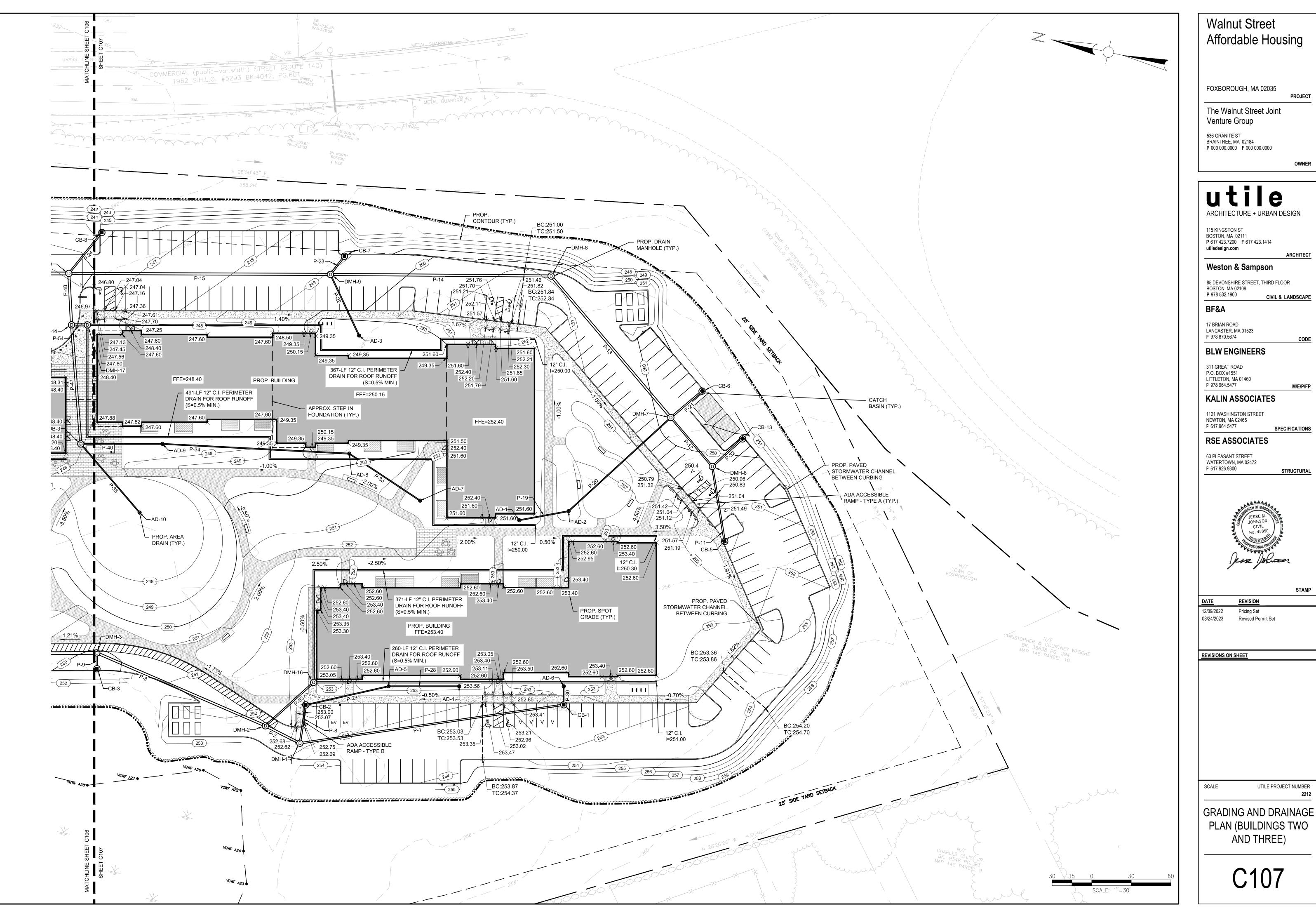
SCALE

UTILE PROJECT NUMBER

UTILITY PLAN (BUILDINGS TWO AND THREE)







FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

The Walnut Street Joint Venture Group

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CIVIL & LANDSCAPE

LANCASTER, MA 01523

LITTLETON, MA 01460

SPECIFICATIONS

RSE ASSOCIATES

63 PLEASANT STREET



Pricing Set Revised Permit Set

UTILE PROJECT NUMBER

PLAN (BUILDINGS TWO AND THREE)

			DRAINAGE ST	RUCTURE TABLE
NAME	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
AD-1	251.50		I=248.50' (AD-2)	30" NYLOPLAST YARD DRAIN
AD-2	251.50	I=248.31' (AD-1)	I=248.31' (DMH-7)	30" NYLOPLAST YARD DRAIN
AD-3	249.00		I=246.00' (DMH-9)	30" NYLOPLAST YARD DRAIN
AD-4	252.35		I=249.35' (AD-5)	30" NYLOPLAST YARD DRAIN
AD-5	252.35	I=249.08' (AD-4)	I=249.08' (CB-2)	30" NYLOPLAST YARD DRAIN
AD-6	250.56		I=249.35' (CB-1)	30" NYLOPLAST YARD DRAIN
AD-7	251.35		I=249.68' (AD-8)	30" NYLOPLAST YARD DRAIN
AD-8	249.10	I=247.43' (AD-7)	I=247.43' (AD-9)	30" NYLOPLAST YARD DRAIN
AD-9	247.40	I=245.73' (AD-8)	I=245.73' (DB-3)	30" NYLOPLAST YARD DRAIN
AD-10	247.25		I=245.58' (DB-3)	30" NYLOPLAST YARD DRAIN
AD-11	247.80		I=246.13' (AD-12)	30" NYLOPLAST YARD DRAIN
AD-12	247.00	I=245.33' (AD-11)	I=245.33' (AD-14)	30" NYLOPLAST YARD DRAIN
AD-13	247.25		I=245.58' (AD-14)	30" NYLOPLAST YARD DRAIN
AD-14	247.25	I=245.00' (AD-12) I=245.42' (AD-13)	I=245.00' (DB-1)	30" NYLOPLAST YARD DRAIN
CB-1	252.34	I=249.28' (AD-6)	I=249.28' (DMH-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-2	252.36	I=248.76' (AD-5)	I=248.76' (DMH-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-3	249.71		I=246.71' (DMH-3)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-4	248.43		I=245.43' (DMH-4)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-5	250.78		I=247.78' (DMH-6)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-6	249.15		I=246.15' (DMH-7)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-7	248.92		I=245.92' (DMH-9)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-8	245.82		I=243.82' (DMH-10)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-9	245.86		I=242.86' (DMH-11)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-10	246.11		I=243.11' (DMH-11)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-11	246.05		I=243.05' (DMH-12)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-12	245.92		I=243.25' (DMH-5)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-13	249.64		I=246.64' (DMH-6)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-14	244.04		I=241.37' (CDS-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-15	244.04		I=241.37' (CDS-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-16	245.72		I=242.72' (DMH-13)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CDS-1	244.40	I=241.30' (CB-14) I=241.30' (CB-15)	I=241.30' (FE-6)	CONTECH CDS-2015-4-C UNIT
DB-1	247.75	I=244.91' (AD-14)	I=244.91' (DB-2)	30" NYLOPLAST DRAIN BASIN
DB-2	247.88	I=244.42' (DB-1)	I=244.42' (FE-2)	30" NYLOPLAST DRAIN BASIN
DB-3	248.05	I=245.42' (AD-9) I=245.24' (AD-10)	I=245.24' (DMH-14)	30" NYLOPLAST DRAIN BASIN
DMH-1	252.89	I=248.27' (CB-1) I=248.61' (CB-2)	I=248.27' (DMH-2)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-2	252.29	I=248.12' (DMH-1) I=248.19' (DMH-16)	I=248.12' (DMH-3)	CONCENTRIC CYLINDRICAL STRUCTURE

		DRAINA	GE STRUCTUR	E TABLE
NAME	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
DMH-3	249.95	I=247.42' (DMH-2) I=246.65' (CB-3)	I=246.65' (DMH-4)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-4	248.45	I=244.91' (DMH-3) I=245.38' (CB-4)	I=244.91' (DMH-5)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-5	246.92	I=244.43' (DMH-4) I=242.89' (CB-12)	I=242.89' (FE-1)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-6	250.28	I=247.49' (CB-5) I=246.48' (CB-13)	I=246.48' (DMH-7)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-7	249.77	I=246.24' (DMH-6) I=247.78' (AD-2) I=246.00' (CB-6)	I=246.00' (DMH-8)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-8	250.92	I=245.30' (DMH-7)	I=245.30' (DMH-9)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-9	249.05	I=244.46' (DMH-8) I=245.74' (AD-3) I=245.83' (CB-7)	I=244.46' (DMH-10)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-10	246.93	I=243.47' (DMH-9) I=243.62' (CB-8) I=244.53' (DMH-14)	I=243.47' (DMH-11)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-11	246.48	I=242.97' (DMH-10) I=242.70' (CB-9) I=243.01' (CB-10)	I=242.70' (DMH-12)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-12	246.81	I=241.92' (DMH-11) I=242.87' (CB-11)	I=241.92' (DMH-13)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-13	247.30	I=241.42' (DMH-12) I=242.40' (CB-16)	l=241.42' (FE-4)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-14	247.53	I=244.79' (DB-3) I=244.73' (DMH-17)	I=244.73' (DMH-10)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-15	247.60	I=244.02' (RD-BLD-1-WEST) I=244.02' (RD-BLD-1-EAST)	I=244.02' (FE-3)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-16	253.00	I=248.43' (RD-BLD-3-WEST) I=248.43' (RD-BLD-3-EAST)	I=248.43' (DMH-2)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-17	247.50	I=244.79' (RD-BLD-2-EAST) I=244.79' (RD-BLD-2-WEST)	I=244.79' (DMH-14)	CONCENTRIC CYLINDRICAL STRUCTURE
FE-1	243.85	I=242.75' (DMH-5)		FLARED END SECTION
FE-2	244.76	I=243.66' (DB-2)		FLARED END SECTION
FE-3	244.62	I=243.51' (DMH-15)		FLARED END SECTION
FE-4	242.33	I=241.22' (DMH-13)		FLARED END SECTION
FE-5	243.18	I=241.00' (OCS-1)		FLARED END SECTION
FE-6	242.21	I=241.11' (CDS-1)		FLARED END SECTION
FE-7	239.10	I=238.00' (OCS-2)		FLARED END SECTION
FE-8	243.31	I=241.13' (OCS-3)		FLARED END SECTION
FE-9	246.75			NULL STRUCTURE
FE-10	246.75			NULL STRUCTURE
FE-11	241.85			NULL STRUCTURE
FE-12	240.75			NULL STRUCTURE
OCS-1	246.20		I=241.38' (FE-5)	OCS TYPE II - 10"H X 36"L ORIFICE I=245.20
OCS-2	244.30		I=238.25' (FE-7)	OCS TYPE II - V NOTCH WEIR 1.5'H X 1.5'W I=241.60
OCS-3	243.50		I=241.28' (FE-8)	

		'E TABLE		
PIPE	PIPE LOCATION	SIZE & TYPE	LENGTH	SLOPE
P-1	CB-1 TO DMH-1	12" HDPE	198 LF	0.005
P-2	DMH-1 TO DMH-2	15" HDPE	25 LF	0.005
P-3	DMH-2 TO DMH-3	18" HDPE	136 LF	0.005
P-4	DMH-3 TO DMH-4	24" HDPE	343 LF	0.005
P-5	DMH-4 TO DMH-5	24" HDPE	93 LF	0.005
P-6	CB-12 TO DMH-5	12" HDPE	69 LF	0.005
P-7	DMH-5 TO FE-1	24" HDPE	26 LF	0.005
P-8	CB-2 TO DMH-1	12" HDPE	25 LF	0.005
P-9	CB-3 TO DMH-3	12" HDPE	8 LF	0.005
P-10	CB-4 TO DMH-4	12" HDPE	6 LF	0.005
P-11	CB-5 TO DMH-6	12" HDPE	54 LF	0.005
P-12	DMH-6 TO DMH-7	12" HDPE	45 LF	0.005
P-13	DMH-7 TO DMH-8	15" HDPE	136 LF	0.005
P-14	DMH-8 TO DMH-9	18" HDPE	163 LF	0.005
P-15	DMH-9 TO DMH-10	18" HDPE	194 LF	0.005
P-16	DMH-10 TO DMH-11	24" HDPE	97 LF	0.005
P-17	DMH-11 TO DMH-12	24" HDPE	151 LF	0.005
P-18	DMH-13 TO FE-4	24" HDPE	37 LF	0.005
P-19	AD-1 TO AD-2	8" HDPE	34 LF	0.005
P-20	AD-2 TO DMH-7	8" HDPE	101 LF	0.005
P-21	CB-6 TO DMH-7	12" HDPE	27 LF	0.005
P-22	AD-3 TO DMH-9	8" HDPE	47 LF	0.005
P-23	CB-7 TO DMH-9	12" HDPE	13 LF	0.005
P-24	CB-8 TO DMH-10	12" HDPE	36 LF	0.005
P-25	CB-9 TO DMH-11	12" HDPE	27 LF	0.005
P-26	CB-10 TO DMH-11	12" HDPE	15 LF	0.005
P-27	CB-11 TO DMH-12	12" HDPE	32 LF	0.005
P-28	AD-4 TO AD-5	8" HDPE	49 LF	0.005
P-29	AD-5 TO CB-2	8" HDPE	60 LF	0.005
P-30	AD-6 TO CB-1	8" HDPE	11 LF	0.005
P-31	DB-2 TO FE-2	12" HDPE	151 LF	0.005
P-32	CB-13 TO DMH-6	12" HDPE	27 LF	0.005
P-33	AD-7 TO AD-8	8" HDPE	61 LF	0.035
P-34	AD-8 TO AD-9	8" HDPE	139 LF	0.012
P-35	AD-10 TO DB-3	8" HDPE	65 LF	0.005
P-36	AD-11 TO AD-12	8" HDPE	130 LF	0.006
P-37	AD-12 TO AD-14	8" HDPE	64 LF	0.005
P-38	AD-14 TO DB-1	8" HDPE	14 LF	0.005
P-39	DB-1 TO DB-2	8" HDPE	93 LF	0.005
P-40	AD-9 TO DB-3	8" HDPE	58 LF	0.005
P-41	AD-13 TO AD-14	8" HDPE	28 LF	0.005
P-42	CB-14 TO CDS-1	8" HDPE	10 LF	0.005
P-43	CDS-1 TO FE-6	12" HDPE	37 LF	0.005
P-44	CB-15 TO CDS-1	8" HDPE	10 LF	0.005
P-45	DMH-12 TO DMH-13	24" HDPE	96 LF	0.005
P-46	CB-16 TO DMH-13	12" HDPE	60 LF	0.005
P-47	DB-3 TO DMH-14	15" HDPE	87 LF	0.005
P-48	DMH-14 TO DMH-10	18" HDPE	36 LF	0.005
P-49	OCS-1 TO FE-5	24" HDPE	68 LF	0.005
P-50	OCS-2 TO FE-7	12" HDPE	49 LF	0.005
P-51	OCS-3 TO FE-8	24" HDPE	29 LF	0.005
P-52	DMH-15 TO FE-3	12" HDPE	99 LF	0.005
P-53	DMH-16 TO DMH-2	12" HDPE	45 LF	0.005
P-54	DMH-17 TO DMH-14	15" HDPE	8 LF	0.005

PIPE TABLE

Walnut Street Affordable Housing

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

CIVIL & LANDSCAPE

FOXBOROUGH, MA 02035

The Walnut Street Joint

Venture Group

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ARCHITECTURE + URBAN DESIGN

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SPECIFICATIONS

RSE ASSOCIATES

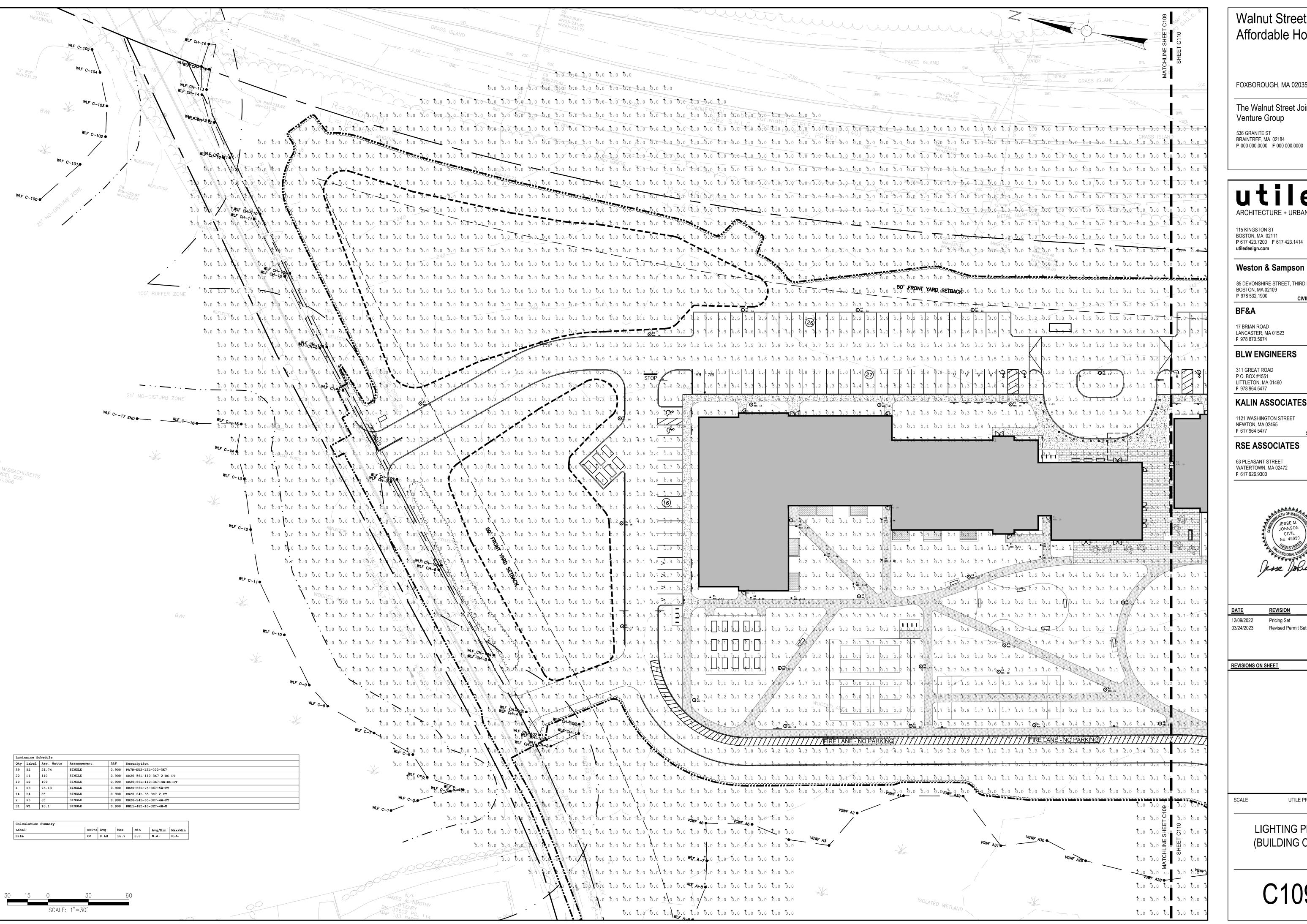
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Pricing Set Revised Permit Set

REVISIONS ON SHEET

UTILE PROJECT NUMBER 2212

DRAINAGE SCHEDULE



FOXBOROUGH, MA 02035

The Walnut Street Joint

PROJECT

ARCHITECT

CODE

M/E/P/FP

536 GRANITE ST

BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000

115 KINGSTON ST

85 DEVONSHIRE STREET, THIRD FLOOR

BOSTON, MA 02109 **P** 978 532.1900 CIVIL & LANDSCAPE

17 BRIAN ROAD LANCASTER, MA 01523 **P** 978 870.5674

BLW ENGINEERS

P.O. BOX #1551 LITTLETON, MA 01460

KALIN ASSOCIATES

1121 WASHINGTON STREET

P 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

63 PLEASANT STREET

WATERTOWN, MA 02472 **P** 617 926.9300

STRUCTURAL

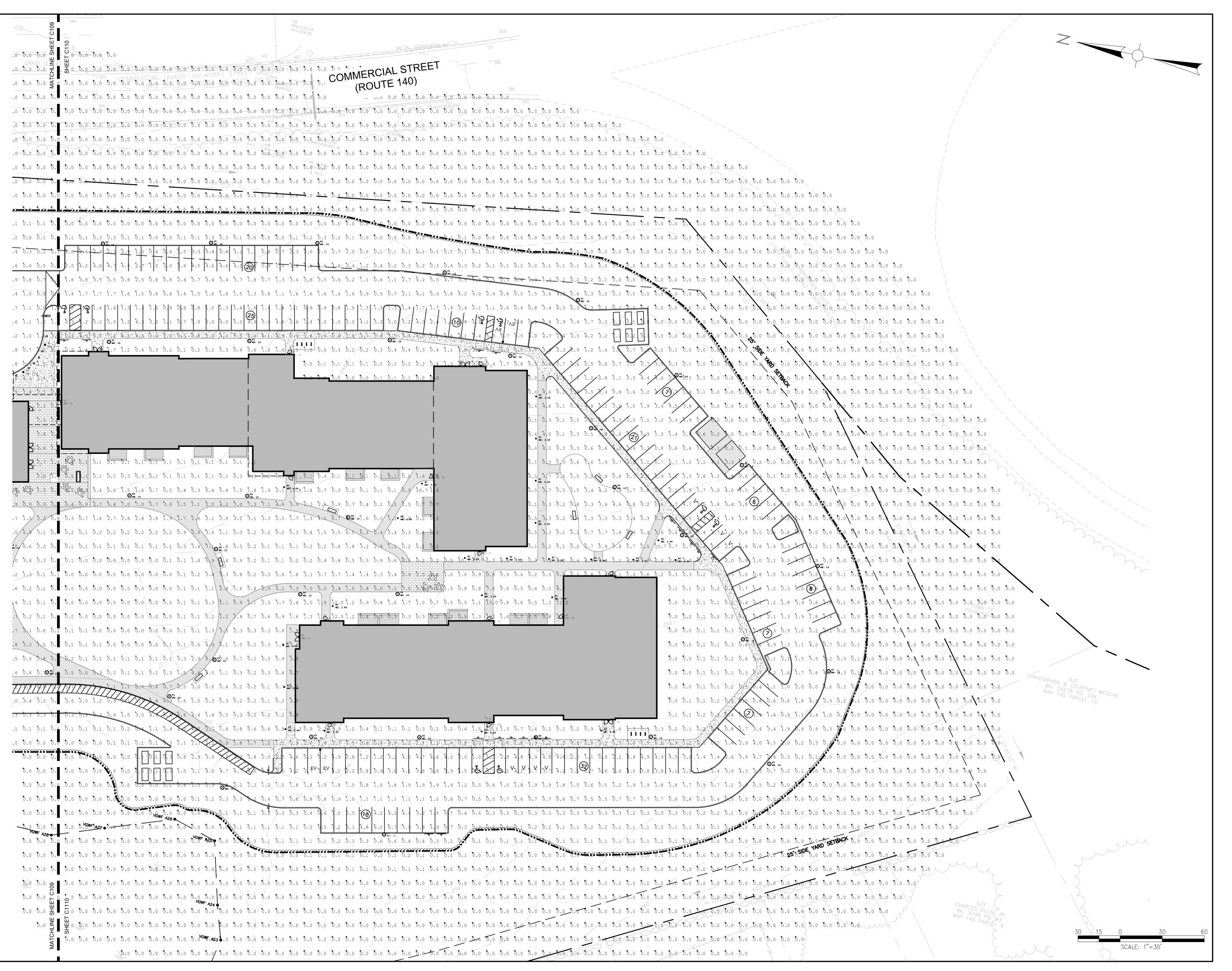


Pricing Set 03/24/2023 Revised Permit Set

REVISIONS ON SHEET

UTILE PROJECT NUMBER

LIGHTING PLAN (BUILDING ONE)



FOXBOROUGH, MA 02035

The Walnut Street Joint Venture Group

536 GRANITE ST BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000

PROJECT

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

115 KINGSTON ST BOSTON, MA 02111 **P** 617 423.7200 **F** 617 423.1414 utiledesign.com

Weston & Sampson

85 DEVONSHIRE STREET, THIRD FLOOR BOSTON, MA 02109

CIVIL & LANDSCAPE BF&A

17 BRIAN ROAD LANCASTER, MA 01523

P 978 532.1900

P 978 870.5674 **BLW ENGINEERS**

311 GREAT ROAD P.O. BOX #1551 LITTLETON, MA 01460

P 978 964.5477

KALIN ASSOCIATES

1121 WASHINGTON STREET NEWTON, MA 02465 **P** 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

63 PLEASANT STREET

WATERTOWN, MA 02472 **P** 617 926.9300



REVISIONS ON SHEET

UTILE PROJECT NUMBER

LIGHTING PLAN (BUILDINGS TWO AND THREE)

KIMLIGHTING[®]

UR20-Arm Mount ARCHITECTURAL AREA/SITE

FEATURES

- 20" size in post top, pole and wall mount
- High performance optics up to 17,000 delivered lumens
- Elegant form factor Diffusion lens option
- UL/cUL listed for wet locations, IP66 and 4G/1.5G vibration rated









SPECIFICATIONS

CONSTRUCTION

- Low copper aluminum alloy die-casting is designed as one-piece with internal cooling fins. · Solid, cast aluminum wall creates a thermal barrier between the optical and electrical
- compartments. Molded silicone gasket throughout insures the sealing between the two compartments and
- Housing is designed with integral LED heat sink utilized for thermal transfer and for securing the
- ocation of each LED module. All external fasteners are stainless steel.
- One-piece low copper aluminum alloy die-cast ens frame is secured to housing with 6 screws.

LEDs mount to a metal printed circuit board assembly (MCPCB).

- · Optical lenses are clear injection molded PMMA acrylic.
- Optional Backlight Control on each LED module to completely control unwanted backlight.

Standard lens (CLR) IK08

- Clear Polycarbonate Lens (CP) IK10
- **INSTALLATION**
- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

¹ Clear Polycarbonate Lens (CP) IKIO, Standard lens (CLR) IKO8, Consult factory for details

Current @

currentlighting.com/kimlighting

Laboratories listed.

Laboratories listed.

40°C ambient environments.

20,000k in series

· Luminaire shall be capable of operating at

100% brightness in a 40°C environment. Both

driver and optical array have integral thermal

protection that will dim the luminaire upon

Surge protection: 10,000k in parallel,

Wiring: No. 18AWM rated 105°C, wet rating.

detection of temperatures in excess of 85°C.

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Rev 08/02/22 kl_ur20arm_spec_R03

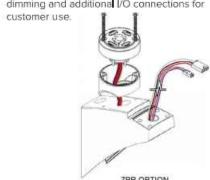


RELATED PRODUCTS

CATALOG #:

CONTROLS

- Universal voltage, 120 through 277V with a ±10% tolerance. Driver is Underwriters · Fully gasketed and wired 7-pin receptacle option. Easy access location above the electrical compartment, 7-pin construction · High voltage configurations, 347/480. Driver
- allows for a user-defined interface has a 0-10V dimming interface for multi-level and provides a controlled definition of Illumination options. Driver is Underwriters operational performance. ANSI twist-lock control module by-others.
 - Standard customer operation modes:
- provides protection for the sustainable life of LED module and electronic components Traditional on/off photoelectric control. Drivers shall have greater than a 0.9 power 5-pin wireless photoelectric control factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to
 - for added dimming feature. 7-pin wireless photoelectric control for for dimming and additional I/O connections for



(Specifications continued on page 3)

South the state of	
KEY DATA	
Lumen Range	2888 - 1708
Wattage Range	25 - 150
Efficacy Range (LPW)	100 136
Reported Life (Hours)	L70/>60,000
Weight	32 lbs 14.5 K
EPA	0.372

Current @

currentlighting.com/kimlighting

personal injury

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KIMLIGHTING®



FEATURES

- IDA Dark Sky Compliant, No Up-light configuration
- · Elegant form factor blended with Performance Optics Integral NEMA 3R Enclosure
- Dual receptacle power panel
- PA System capability · Bluetooth® enabled RGBW accent





CONTROL TECHNOLOGY





OPTICS

CONSTRUCTION HOUSING: Castings are low copper aluminum alloy die-cast
 assembly (MCPCB)

LIGHTING CONTROLS

SPECIFICATIONS

 Gaskets are molded silicone to prevent harmful ingress to the lamp and driver compartments P65 rated

- Aluminum shaft(s) is .125" thick extruded aluminum 6061 alloy
- Concrete shaft(s) conforms to current specifications for "Portland Cement." ASTM C150, Type | or | Aggregates shall meet current requirements of "Specifications for Concrete Aggregates," ASTM C33. Water shall be clean and free from deleterious amounts of silt, oil, acids, alkalies or organic materials. Wire for reinforcement shall conform to ASTM A185. Steel for lugs and plates shall conform to ASTM A36, or A283 grade D
- · Concrete shaft(s) is medium sand-blasted with anti-graffiti sealer and material color shall be integral to the concrete mix
- · Concrete shaft(s) is cured to allow for completion of the hydration process, and result in a 28 day compressive strength of not less
- · Concrete shaft(s) is cast from fiberglass molds used to insure uniform parts. Mold parting lines maybe slightly visible in finished parts

CATALOG #:





Pavilion

ELECTRICAL

 LEDs mount to a metal printed circuit board Optical lenses are clear injection

PROJECT:

PMMA acrylic U0 configurations have an optically clear flat tempered glass lens, all other configurations have either an optically clear or high transmission diffused acrylic lens

NSTALLATION

- Aluminum shaft configurations will have four 3/8" x 10" x 2" zinc plated L-hook anchor bolts shall to be installed with an included template. Nuts and washers are provided to level and secure the mounting plate to the anchor bolts
- Aluminum shaft configurations will have a mounting plate and be able to be rotated 20" in either direction during installation for aiming adjustment
- Concrete shaft configurations will have four steel mounting tabs for installation on four 1/2" x 10" + 2" zinc electroplated L-hook anchor bolts. Each anchor bolt is supplied with two
- nuts, two washers, and a rigid pressed board Concrete shaft configurations are palletized with adequate hold-downs to prevent load
- movement in transit Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious

- · Universal voltage, 120 through 277V with a ±10% tolerance. Driver is Underwriters Laboratories listed
- High voltage configurations, 208–277, 347/480. Driver is Underwriters Laboratories "Thermal Shield", secondary side, thermistor
- provides protection for the sustainable life of LED module and electronic components Drivers are greater than a 0.9 power factor, ess than 20% harmonic distortion, and
- be suitable for operation in -40°C to 40°C ambient environments Luminaire is capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon
- (Specifications continued on page 3).

detection of temperatures in excess of 85°C

KEY DATA	3346
Lumen Range	397-2350
Wattage Range	14-22
Efficacy Range (LPW)	29-108
Reported Life (Hours)	L70/60,000

Driver RoHS and IP66

Current @

ELECTRICAL

dimming drivers

wattages above 35W

BEACON

RATIO Wall

RWL1/RWL2 LED WALLPACK

Visual comfort standard

CONTROL TECHNOLOGY

Die-cast housing with hidden vertical heat

keeping a clean smooth outer surface

· Corrosion resistant, die-cast aluminum

housing with powder coat paint finish

· Powder paint finish provides durability in

fins that are optimal for heat dissipation while

outdoor environments. Tested to meet 1000

· Entire optical aperture illuminates to create

a larger luminous surface area resulting in

a low glare appearance without sacrificing

- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT

distributions. Type II only available in RWL2

installation to wall or to recessed junction

Integral back box contains 1/2" conduit hubs

Integral back box standard with Dual Driver,

Dual Power Feed, NX, Wiscape and battery

120V-277V universal voltage 50/60Hz 0-10V

347V and 480V dimmable driver option for all

versions (battery versions for RWL1 only)

boxes (4" square junction box)

Designed for direct j-box mount.

LED optics provide IES type II, III and IV

SPECIFICATIONS

hour salt spray rating

optical performance

48 or 160 midpower LEDs

Zero uplight distributions

configurations

INSTALLATION

OPTICS

CONSTRUCTION

Low profile LED wall luminaire with a variety of IES distributions for lighting

• Featuring Micro Strike Optics which maximizes target zone illumination with

· Control options including photo control, occupancy sensing, NX Distributed

applications such as retail, commercial and industrial building mount

minimal losses at the house-side, reducing light trespass issues

Intelligence", Wiscape and 7-Pin with networked controls Battery Backup options available for emergency code compliance

Quick-mount adapter allows easy installation/maintenance

· 347V and 480V versions for industrial applications and Canada

FEATURES

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lighting for the required 90 minute path of Ambient operating temperature -40°C to 40°C

occupancy sensor

ELECTRICAL (CONTINUED)

the luminaire, where Dual Power Feed

Field replaceable surge protection device

Dimming drivers are standard and dimmin

unless control options require connection

Button photocontrol is suitable for 120-277V

receptacle option available for twist lock

photocontrols or wireless control modules

NX Distributed Intelligence[™] available with

in fixture wireless control module, features

wiSCAPE® available with in fixture wireless

· Integral Battery Backup provides emergency

control module, features dimming and

7-pin ANSI C136.41-2013 photocontrol

(control accessories sold separately)

dimming and occupancy sensor

leads are extended out of the luminaire

CONTROLS

dimming control

CONTROLS (CONTINUED) Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion Battery Backup suitable for operating temperatures -25°C to 40°C. RWL1 battery is 12.5W RWL2 battery is 18W Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting

CATALOG #:

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal provides two drivers which can be wired drivers for code compliance Please consult brand or sales representative extended from the luminaire. Both options can not be included in one same fixture.
 - when combining control and electrical options as some combinations may not operate as anticipated depending on your

IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is CERTIFICATIONS Listed to UL1598 and CSAC22.2#250.0-24 for

- wet locations IP65 rated housing This product qualifies as a "designated
- o the dimming leads. Must specify if wiring country construction material" per FAR 52.225-11 Buy American-Construction leads are to be greater than 6" standard. Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions Photo control, occupancy sensor and wireless available for complete on/off and
 - DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

WARRANTY 5 year limited warranty

KEY DAT	Α				
Lumen Range	1,300–18,800				
Wattage Range	10-155				
Efficacy Range (LPW)	119-148				
Weights Ibs. (kg)	6.5/16.5 (2.9/7.5)				

Page 1 of 7

Rev 10/28/22

Ratio Wall Spec Sheet

REVISIONS ON SHEET

SCALE

UTILE PROJECT NUMBER

LIGHTING **DETAILS**

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

SPECIFICATIONS

The Walnut Street Joint

Venture Group 536 GRANITE ST

BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST BOSTON, MA 02111 **P** 617 423.7200 **F** 617 423.1414

utiledesign.com

Weston & Sampson

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P 978 532.1900

17 BRIAN ROAD

CIVIL & LANDSCAPE BF&A

P 978 870.5674 **BLW ENGINEERS**

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P 978 964.5477 KALIN ASSOCIATES

1121 WASHINGTON STREET

P 617 964 5477

NEWTON, MA 02465

RSE ASSOCIATES

63 PLEASANT STREET

P 617 926.9300

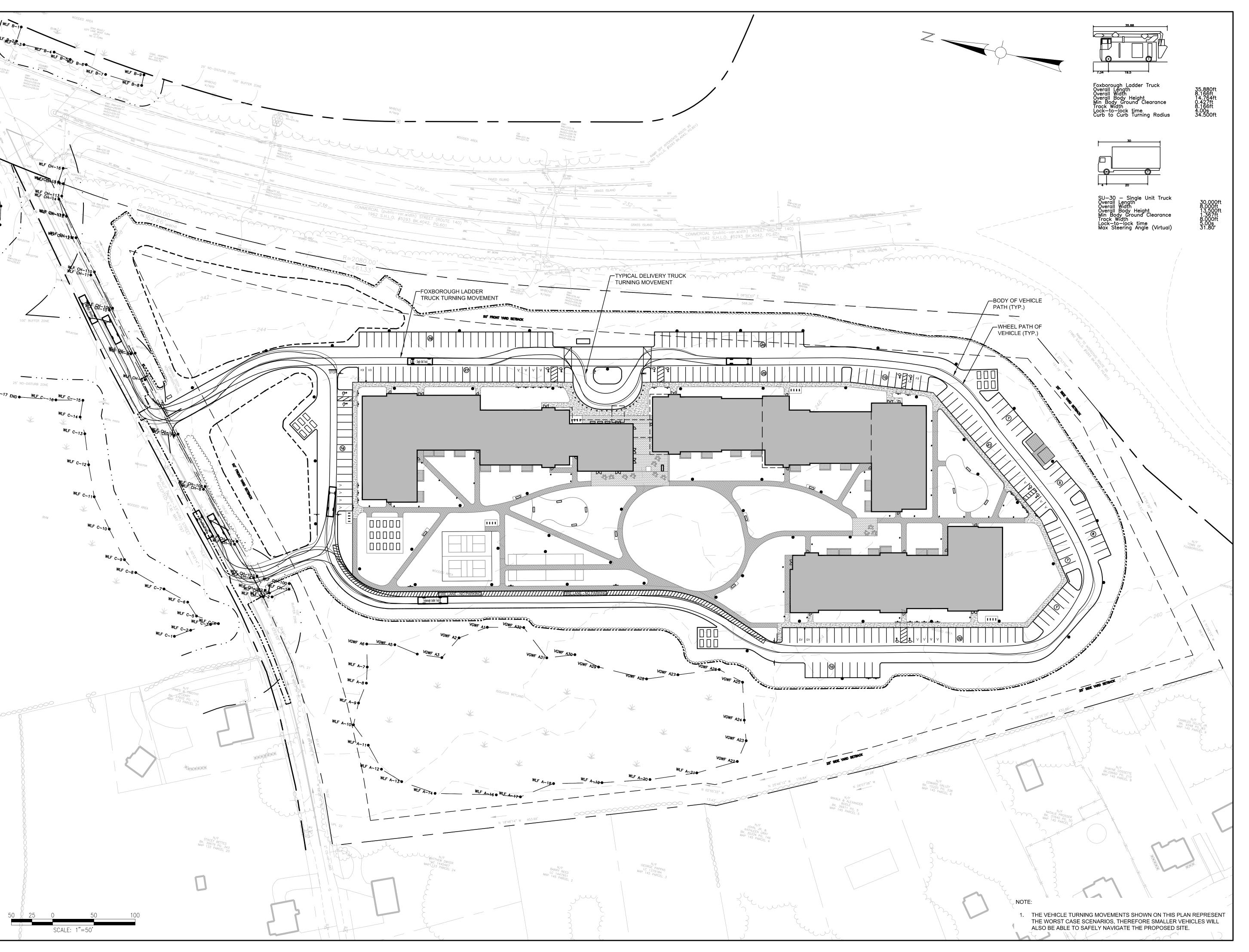
WATERTOWN, MA 02472 STRUCTURAL



STAMP

Pricing Set 12/09/2022 03/24/2023 Revised Permit Set

2212



FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

The Walnut Street Joint

Venture Group 536 GRANITE ST BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000



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63 PLEASANT STREET WATERTOWN, MA 02472

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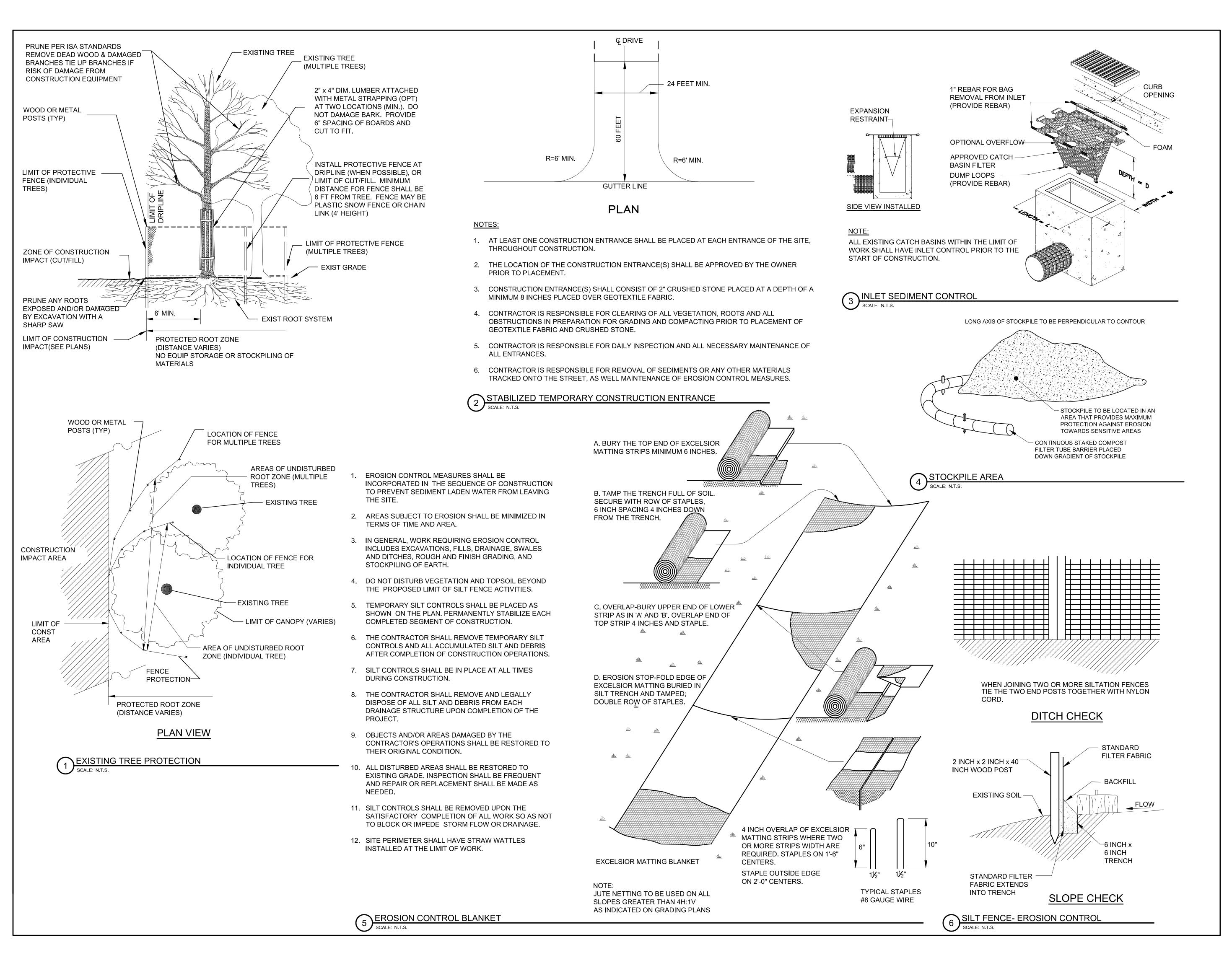
03/24/2023

REVISIONS ON SHEET

UTILE PROJECT NUMBER

TURNING

ANALYSIS



FOXBOROUGH, MA 02035

Venture Group

The Walnut Street Joint

PROJECT

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ARCHITECT

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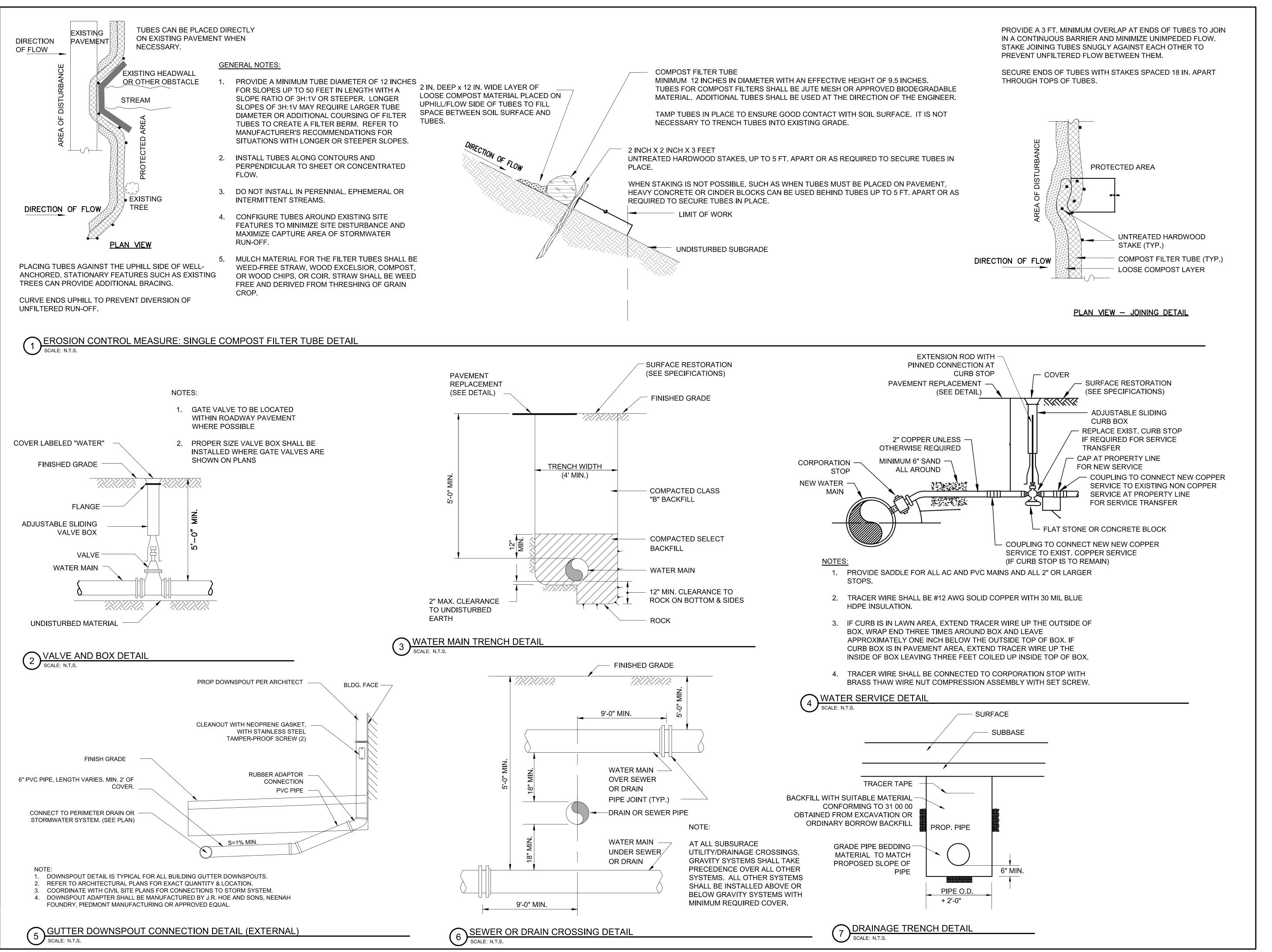
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REVISIONS ON SHEET

SCALE

UTILE PROJECT NUMBER

DETAILS



FOXBOROUGH, MA 02035

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The Walnut Street Joint Venture Group

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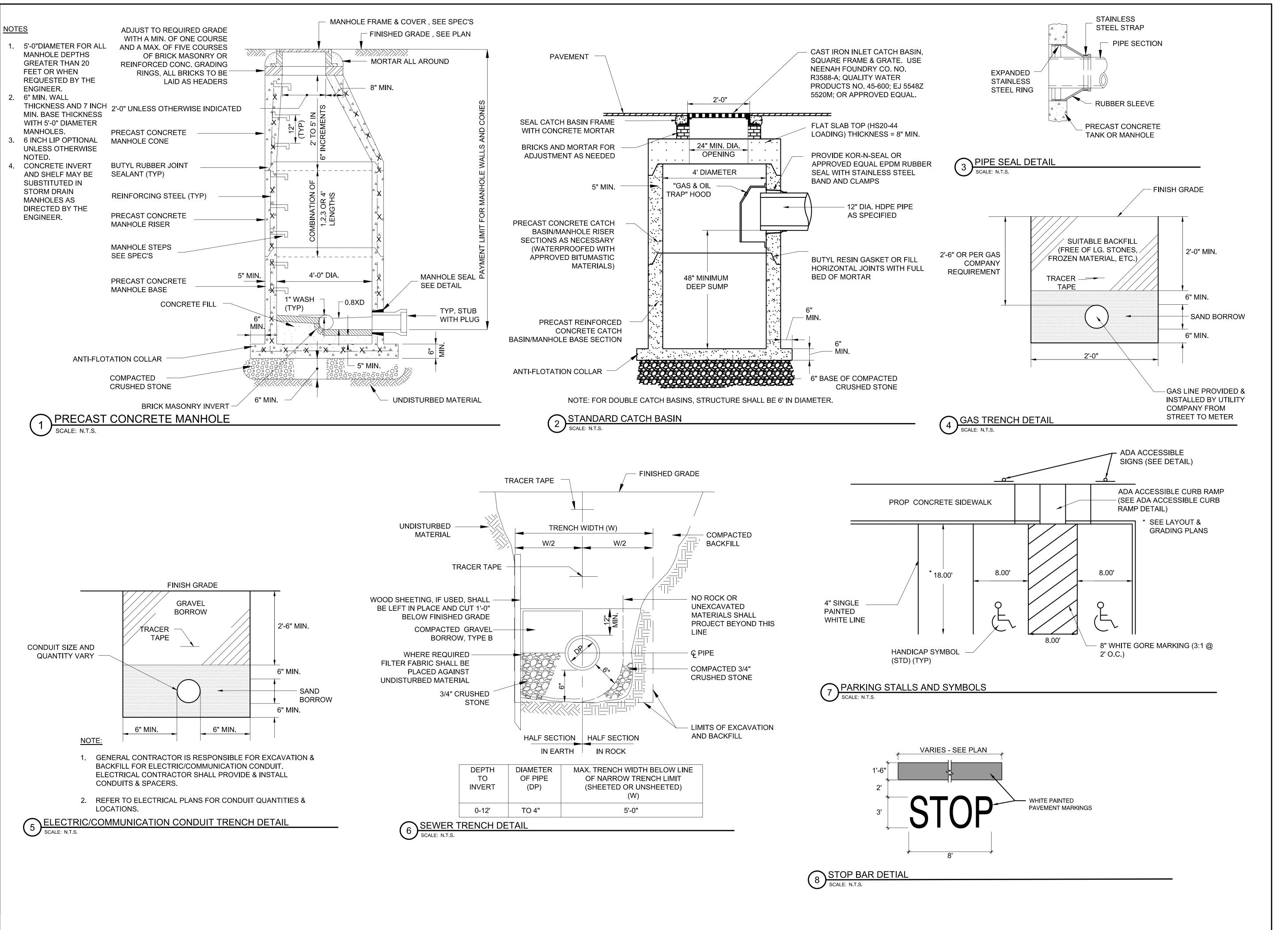
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REVISIONS ON SHEET

03/24/2023

UTILE PROJECT NUMBER SCALE

DETAILS



FOXBOROUGH, MA 02035

The Walnut Street Joint

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12/09/2022 Pricing Set

Revised Permit Set

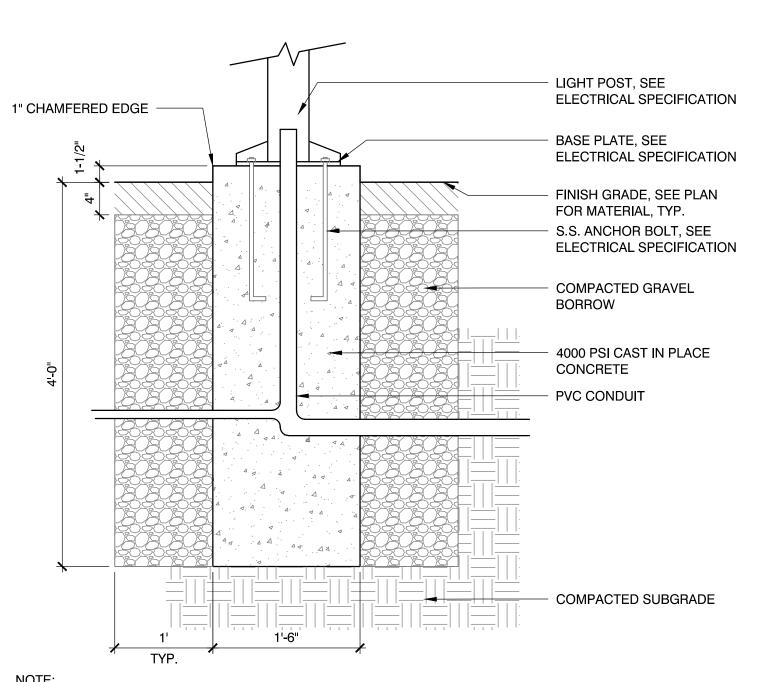
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03/24/2023

SCALE

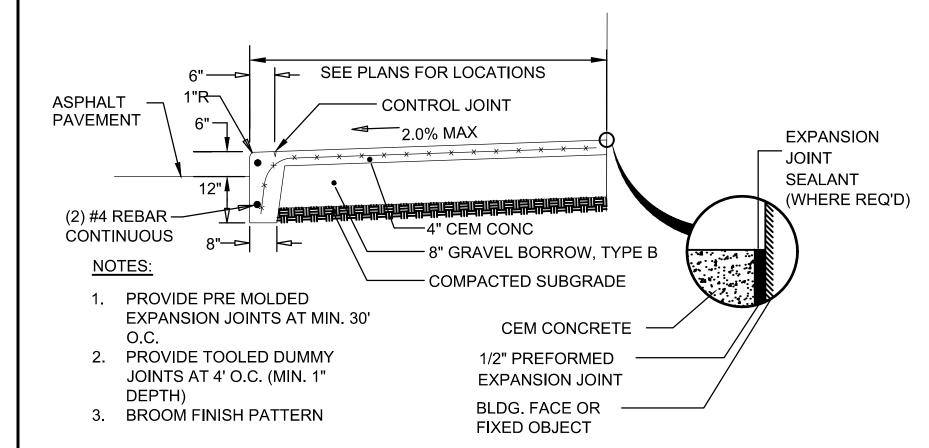
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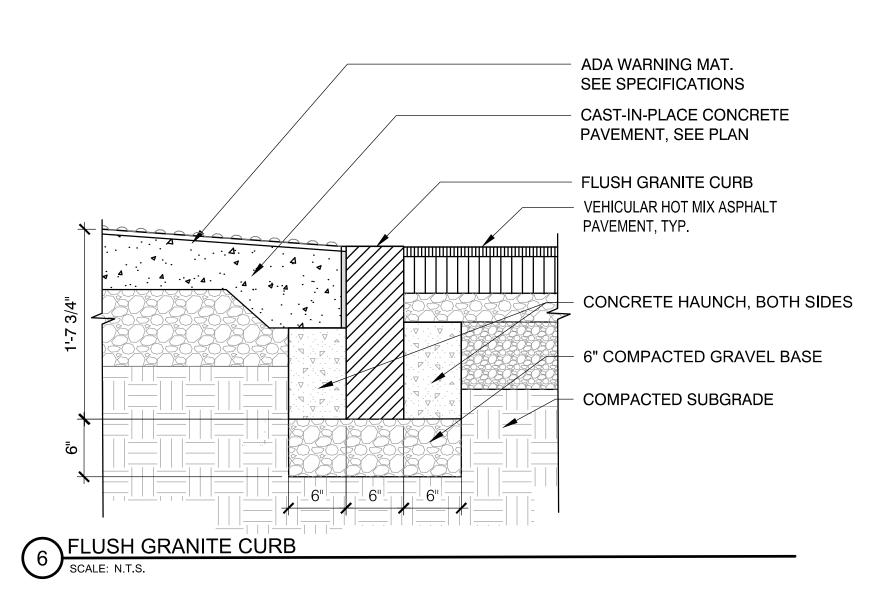


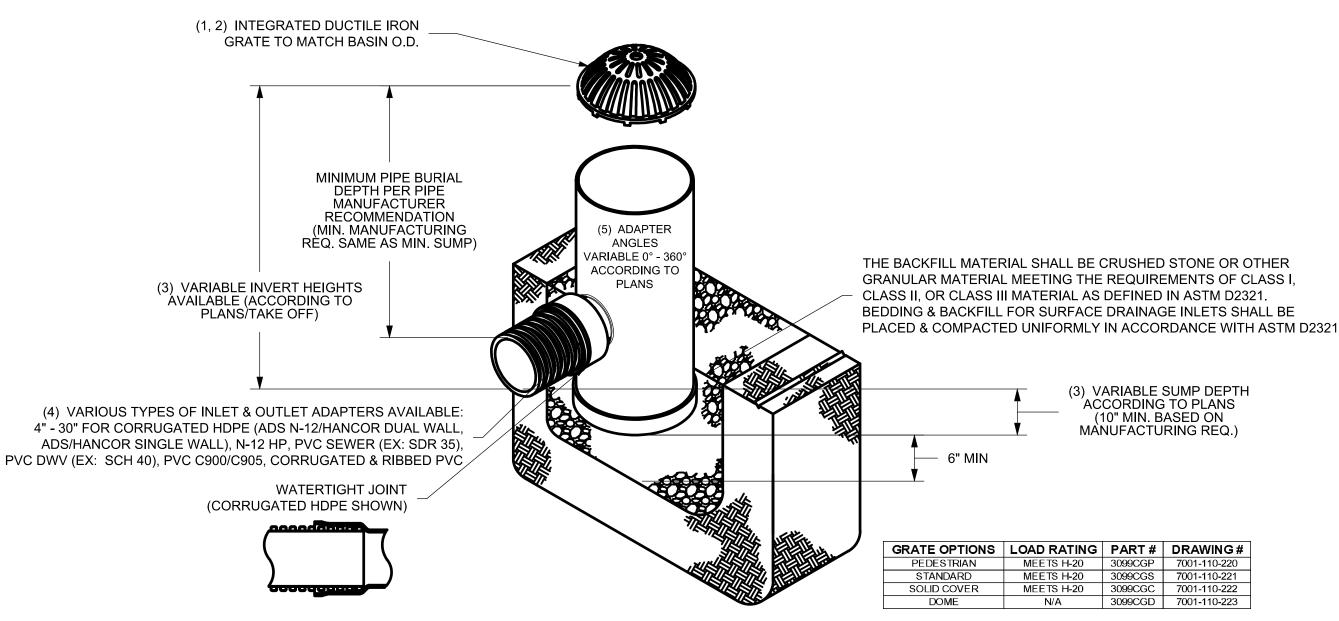
1. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, AND SITE SPECIFIC SOIL PARAMETERS.

PEDESTRIAN LIGHT POST FOOTING



MONOLITHIC CEMENT CONCRETE SIDEWALK/CURB





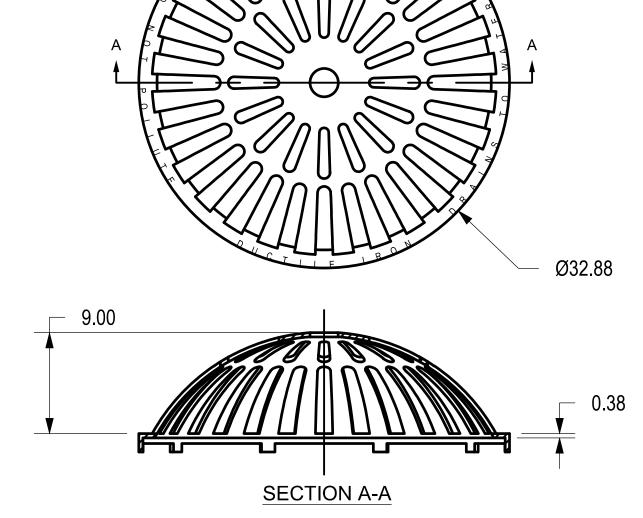
- 1 GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05. 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 4 DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL),
- N-12 HP, & PVC SEWER (4" 24").

5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

NOTE: AREA DRAINS 1-4 SHALL BE 30" DIAMETER WITH DOME GRATE INLETS. AREA DRAIN 5 SHALL BE 12" DIAMETER WITH A DUCTILE IRON PEDESTRIAN GRATE INLET.

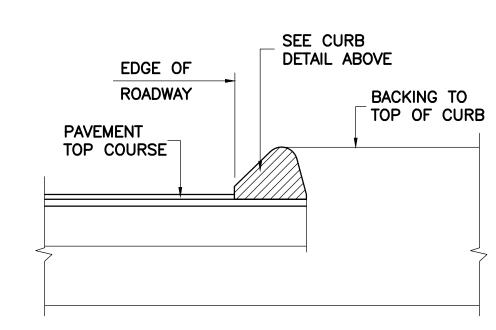
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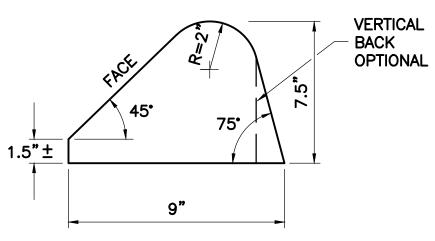
APPROX. DRAIN AREA = 409.94 SQ IN APPROX. WEIGHT WITH FRAME = 93.00 LBS



DIMENSIONS ARE FOR REFERENCE ONLY ACTUAL DIMENSIONS MAY VARY DIMENSIONS ARE IN INCHES QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST



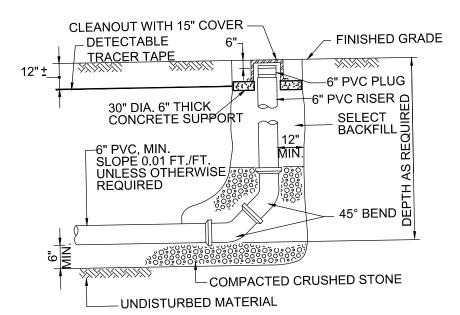




CURB DETAIL

CURB IS TYPE-2 PER MASS. DPW CONSTRUCTION STANDARDS

↑HOT MIX ASPHALT CURB (TYPE 2)





PAVEMENT NOTES

PROPOSED FULL DEPTH PAVEMENT:

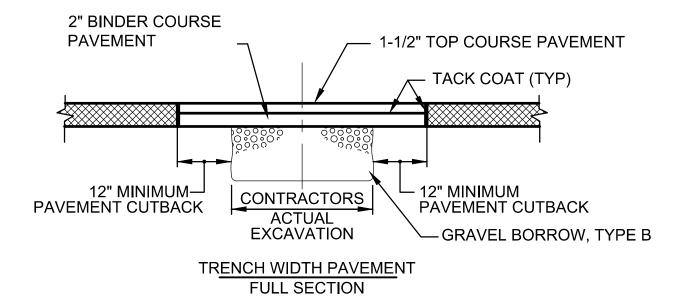
SURFACE: 3-1/2" HOT MIX ASPHALT PAVEMENT (1-1/2" TOP COURSE MATERIAL OVER

2" BINDER COURSE MATERIAL)

SUBBASE: 4" DENSE GRADED CRUSHED STONE OVER 8" GRAVEL BORROW, TYPE B

PROPOSED CEMENT CONCRETE WALK:

SURFACE: 4" CEMENT CONCRETE OVER SUBBASE: 8" GRAVEL BORROW, TYPE B



NOTE:

CONTRACTOR SHALL REPLACE PAVEMENT ASSOCIATED WITH WORK ON ALLEN STREET. WORK SHALL INCLUDE BINDER AND TOP COURSE PAVEMENT.



Walnut Street Affordable Housing

PROJECT

OWNER

CODE

STRUCTURAL

STAMP

FOXBOROUGH, MA 02035

The Walnut Street Joint Venture Group

536 GRANITE ST BRAINTREE, MA 02184 **P** 000 000.0000 **F** 000 000.0000

115 KINGSTON ST

ARCHITECTURE + URBAN DESIGN

BOSTON, MA 02111 **P** 617 423.7200 **F** 617 423.1414 utiledesign.com ARCHITECT

Weston & Sampson

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> **P** 978 964.5477 M/E/P/FP

KALIN ASSOCIATES 1121 WASHINGTON STREET

NEWTON, MA 02465 **P** 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

63 PLEASANT STREET WATERTOWN, MA 02472 **P** 617 926.9300

Revised Permit Set

Pricing Set 12/09/2022

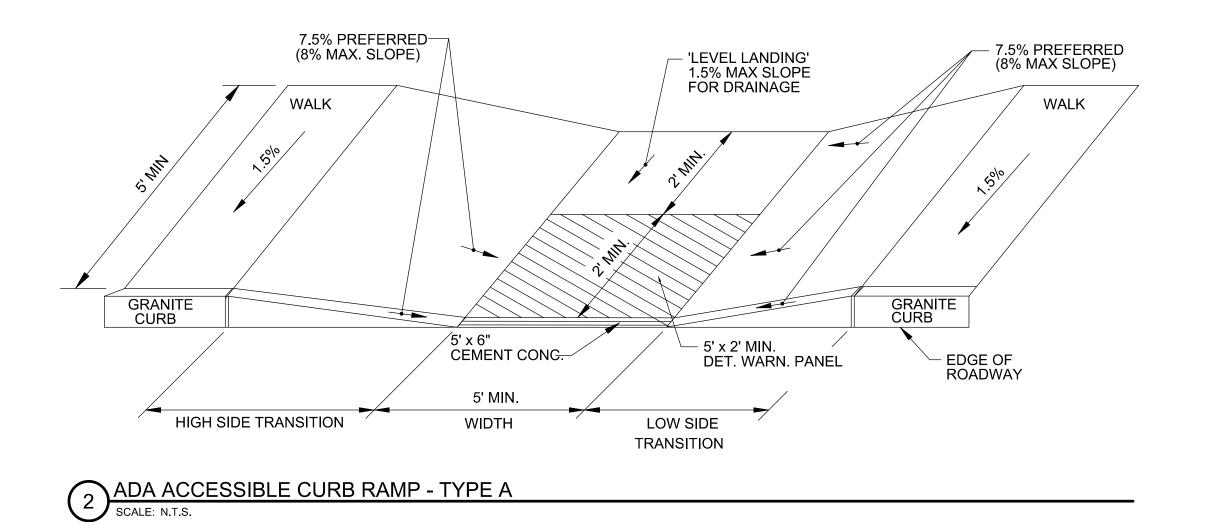
REVISIONS ON SHEET

03/24/2023

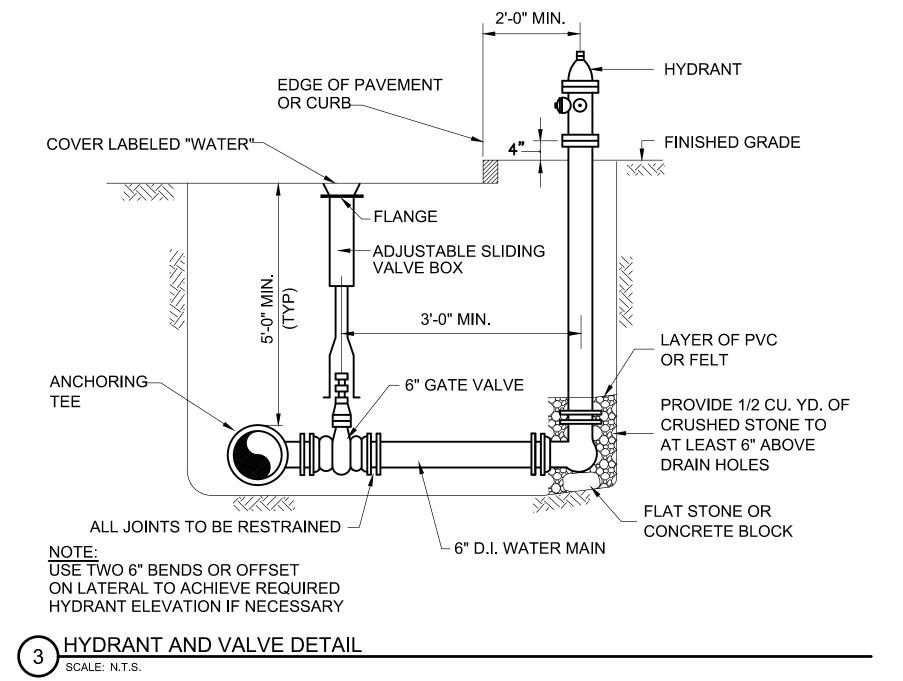
UTILE PROJECT NUMBER SCALE

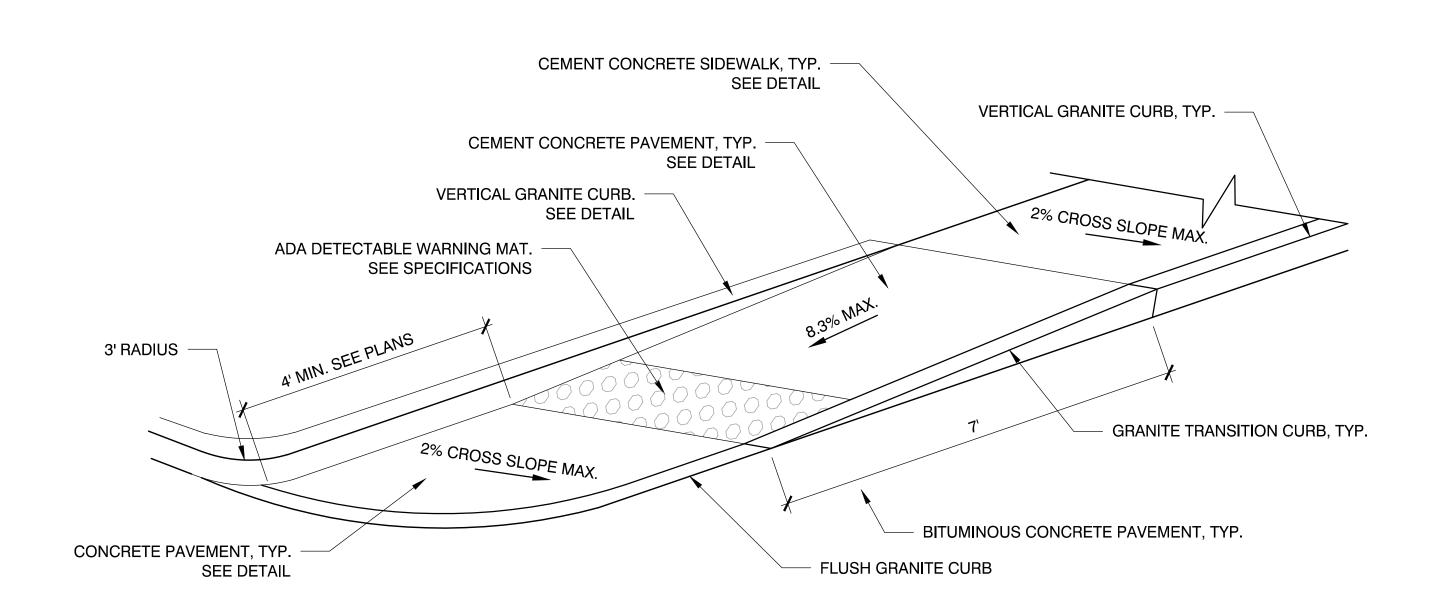
DETAILS

IDENTIFI-		PANEL SIZE						NUMERALS & LETTERS						COLOR	NUMBER	TOTAL	POST SIZE AND			
CATION NUMBER	TEXT	WIDTH	HEIGHT		RNER ADII	BORDEF WIDTH		RGIN DTH	NUM		PPER CASE	LOW		SERIES	00140	OF SIGNS REQUIRED	AREA SQ. FT.	NUMBER REQUIRED		
R1-1	STOP	30"	30"							·	A		•		WHITE ON RED	3	18.75	P5-1 3		
R6-1	ONE WAY	36"	12"								ING STANDARD ATEST EDITION						BLACK ON WHITE	1	3.00	P5-1 1
R5-1	DO NOT ENTER	30"	30"				Ţ					•		•	WHITE ON RED	1	6.25	P5-1 0		



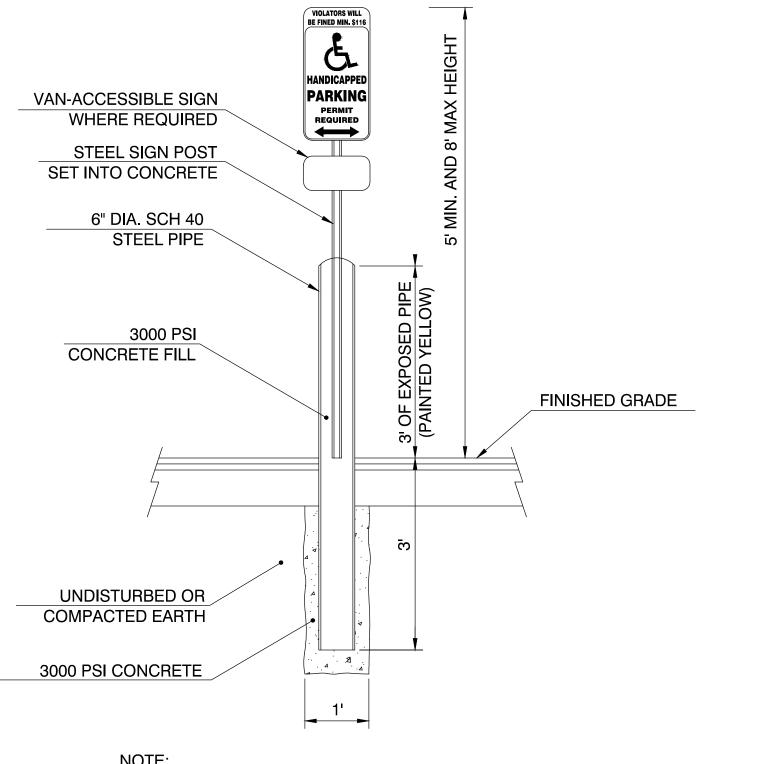
PERMANENT TRAFFIC SIGN SUMMARY
SCALE: N.T.S.





ADA ACCESSIBLE CURB RAMP - TYPE B

SCALE: N.T.S.

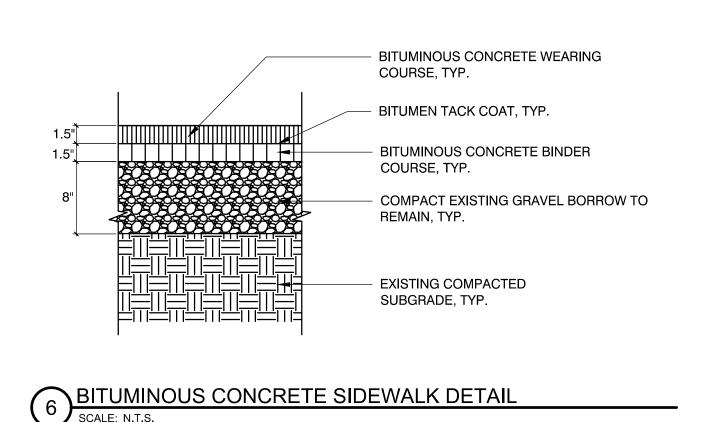


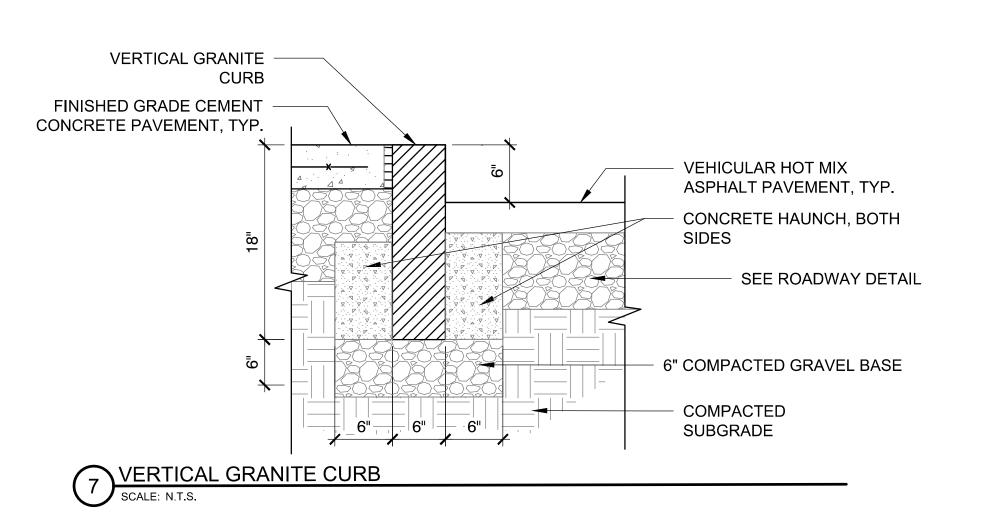
NOTE:

1. LOCATE CENTER OF 6" STEEL PIPE 0.75' FROM EDGE OF PARKING. 2. ALL SIGNS TO BE CENTERED ON PARKING SPACE.

ACCESSIBLE SIGN AND POST DETAIL

SCALE: N.T.S.





Walnut Street Affordable Housing

FOXBOROUGH, MA 02035

Venture Group

The Walnut Street Joint

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STRUCTURAL

STAMP

CIVIL & LANDSCAPE

536 GRANITE ST BRAINTREE, MA 02184 **P** 000 000.0000 **F** 000 000.0000

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST BOSTON, MA 02111 **P** 617 423.7200 **F** 617 423.1414 utiledesign.com

Weston & Sampson

85 DEVONSHIRE STREET, THIRD FLOOR BOSTON, MA 02109 **P** 978 532.1900

BF&A

17 BRIAN ROAD LANCASTER, MA 01523 **P** 978 870.5674

BLW ENGINEERS

311 GREAT ROAD P.O. BOX #1551 LITTLETON, MA 01460

P 978 964.5477

1121 WASHINGTON STREET

KALIN ASSOCIATES

NEWTON, MA 02465 **P** 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

63 PLEASANT STREET

WATERTOWN, MA 02472 **P** 617 926.9300

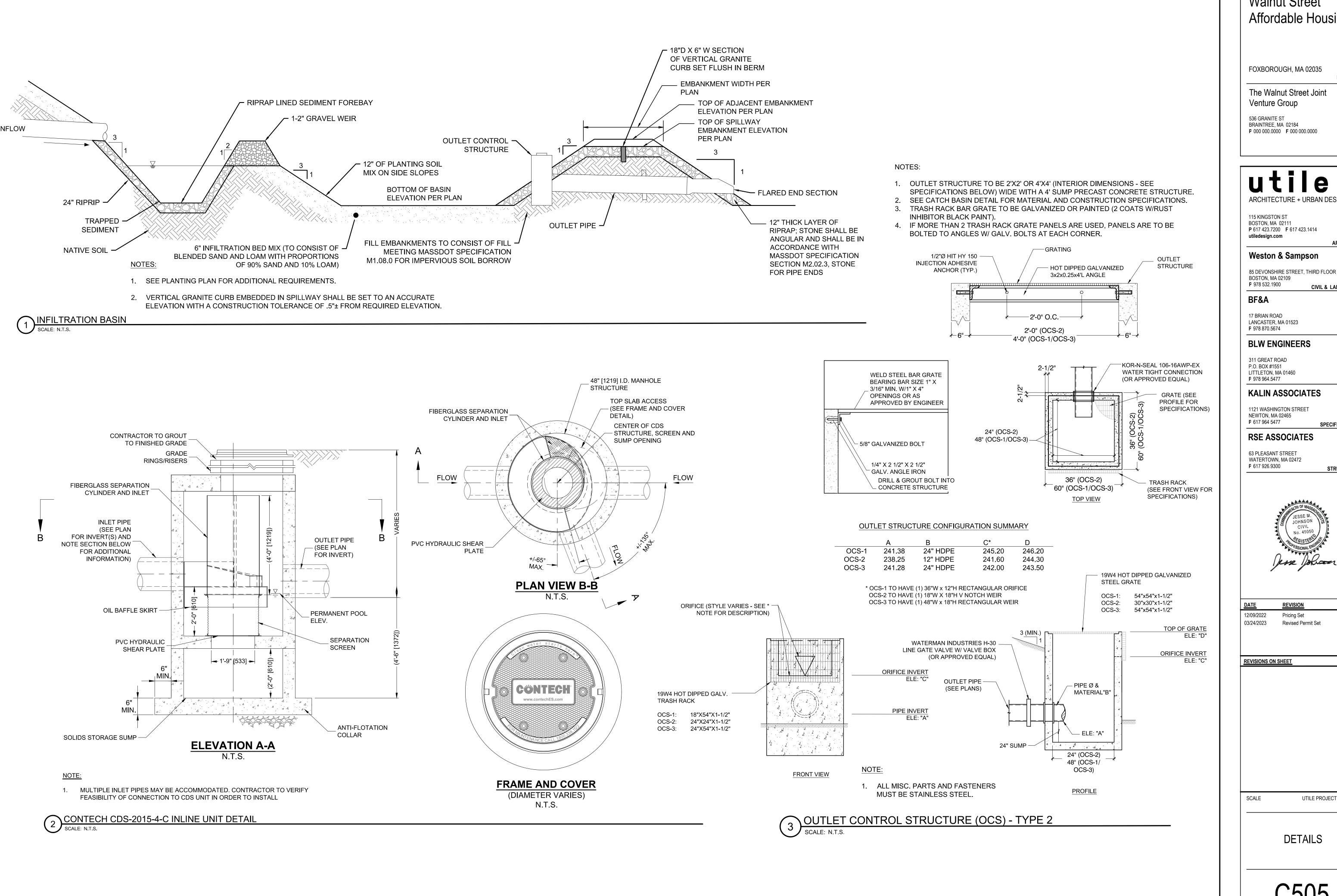


12/09/2022 Pricing Set 03/24/2023 Revised Permit Set

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER

DETAILS



FOXBOROUGH, MA 02035

The Walnut Street Joint Venture Group

536 GRANITE ST BRAINTREE, MA 02184 **P** 000 000.0000 **F** 000 000.0000

PROJECT

OWNER

ARCHITECT

CODE

STAMP

ARCHITECTURE + URBAN DESIGN

P 617 423.7200 **F** 617 423.1414 utiledesign.com

Weston & Sampson

BOSTON, MA 02109 **P** 978 532.1900 CIVIL & LANDSCAPE

BF&A

17 BRIAN ROAD LANCASTER, MA 01523 **P** 978 870.5674

BLW ENGINEERS

311 GREAT ROAD P.O. BOX #1551 LITTLETON, MA 01460

M/E/P/FP KALIN ASSOCIATES

1121 WASHINGTON STREET NEWTON, MA 02465

P 617 964 5477 **SPECIFICATIONS** RSE ASSOCIATES

63 PLEASANT STREET WATERTOWN, MA 02472 **P** 617 926.9300

STRUCTURAL

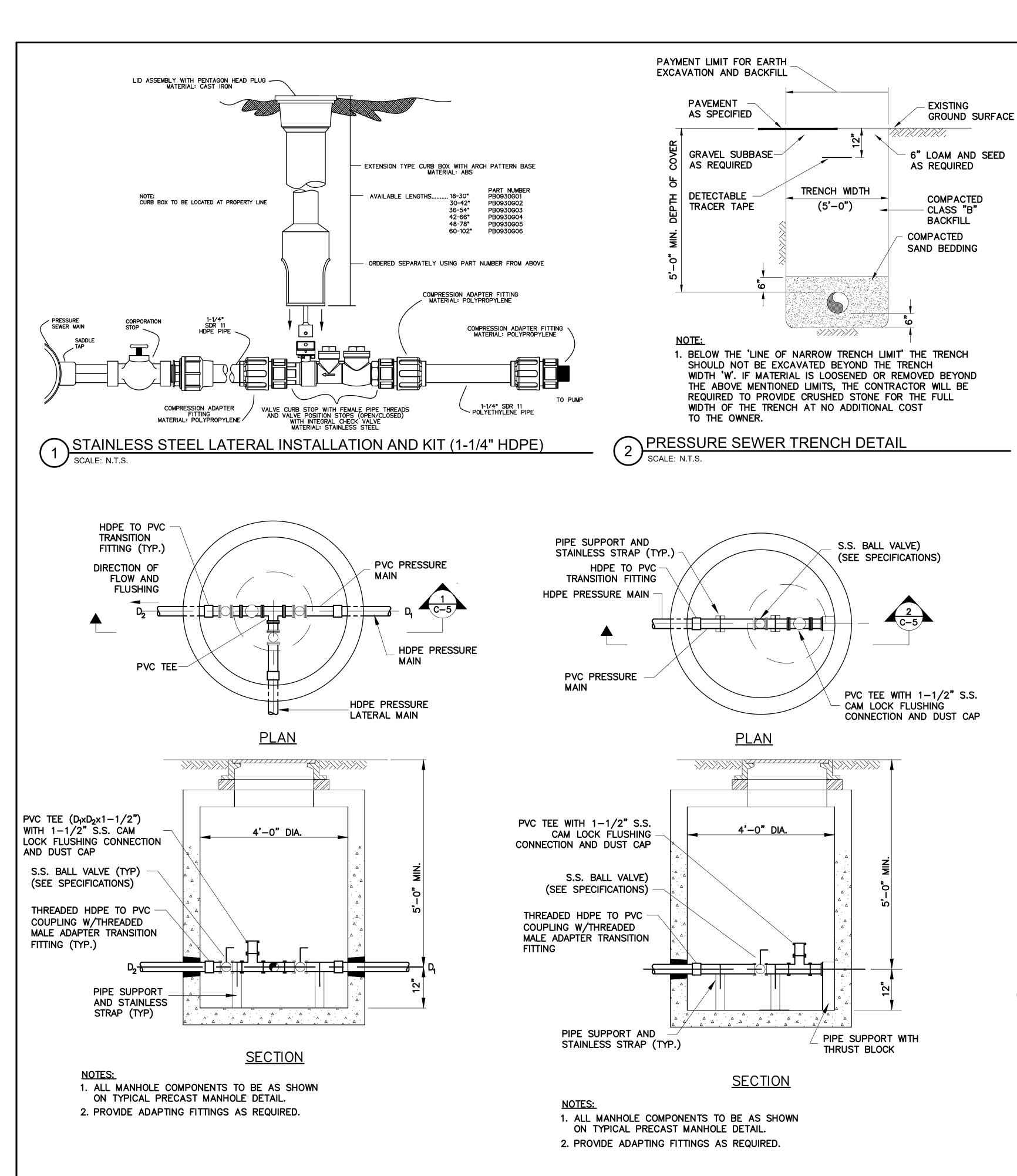


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REVISIONS ON SHEET

UTILE PROJECT NUMBER

DETAILS

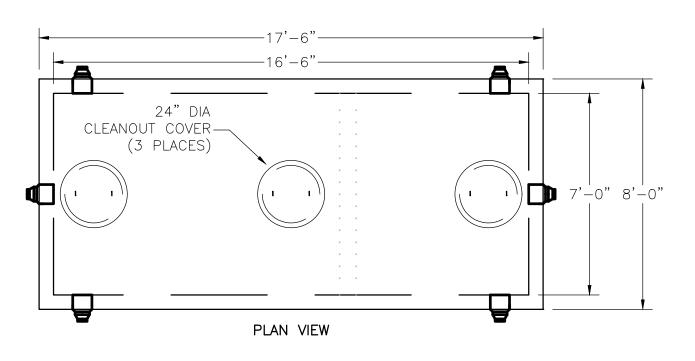


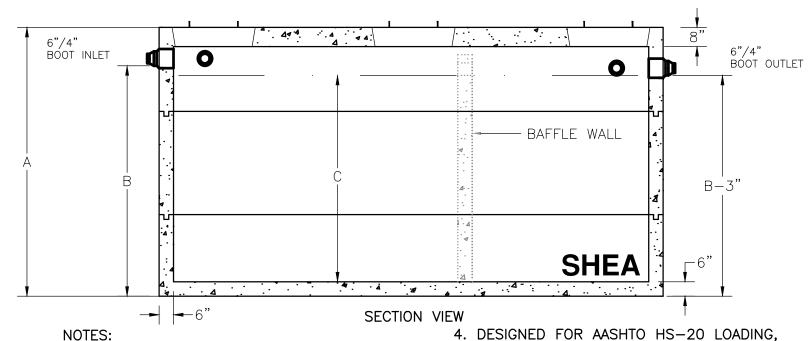
INLINE FLUSHING CONNECTION (IFC)\ PRESSURE LATERAL TO PRESSURE

MAIN CONNECTION DETAIL SCALE: N.T.S.

PRESSURE SEWER TERMINAL

FLUSHING CONNECTION (TFC) SCALE: N.T.S.



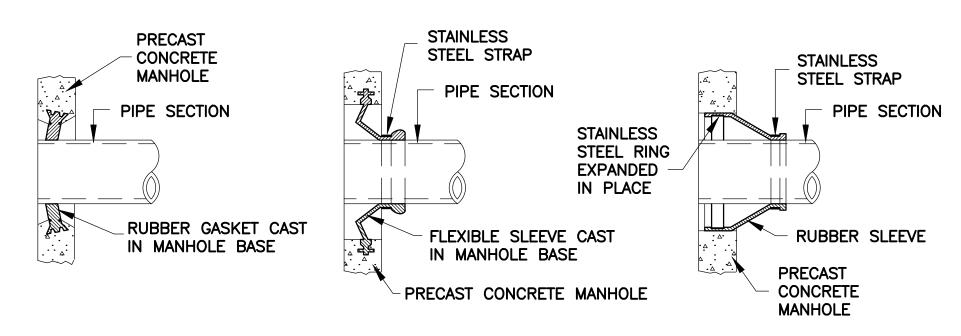


- NOTES: CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS. DESIGN CONFORMS WITH 310 CMR 15.00 DEP
- TITLE 5 REGS FOR SEPTIC TANKS. 3. ALL REINFORCEMENT PER ASTM C1227

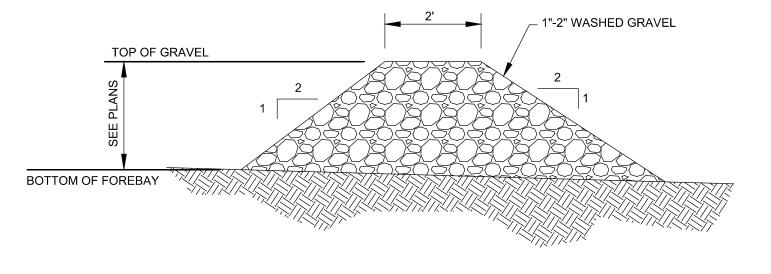
COVER 1-5 FT. 5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN, INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED. 6. TEES AND BAFFLES SOLD SEPARATELY.

ECTION	WEIGHT		GALLONS	ITEM NO.	A (HEIGHT)	B* (INLET) 6" BOOT	B* (INLET) 4" BOOT	C (LIQUID)	WEIGHT (LBS)	TOP (HEIGHT)	BOTTOM (HEIGHT)	RISER 1 (HEIGHT)	RISER 2 (HEIGHT)
					, ,		. 500.	` /			` ′	,	,
3" TOP	19,885#		3,500	8X17-352C	77"	61"	62"	52"	49,505	28"	49"	0"	0"
- ' - '			4,000	8X17-402C	84"	68"	69"	60"	51,365	35"	49"	0"	0"
5" TOP	24,300#		4,500	8X17-452C	92"	75"	76"	66"	53,709	28"	34"	30"	0"
4" BOT	20,029#		5,000	8X17-502C	99"	82"	83"	73"	55,569	35"	34"	30"	0"
э" вот	27,065#		5,500	8X17-552C	105"	89"	90"	80"	59,174	28"	34"	43"	0"
			6,000	8X17-602C	112"	96"	97"	88"	61,034	35"	34"	43"	0"
0" RIS	11,240#		6,500	8X17-652C	120"	104"	105"	95"	66,210	28"	49"	43"	0"
3"RIS	16,705#		7,000	8X17-702C	127"	111"	112"	102"	68,070	35"	49"	43"	0"
'	- "	ļ!	7,500	8X17-752C	135"	118"	119"	109"	70,414	28"	34"	43"	30"
			8,000	8X17-802C	142"	125"	126"	116"	72,274	35"	34"	43"	30"
						*SEE NO	DTE 5						

3 5,000 GALLON (TWO COMPARTMENT) SEPTIC TANK SCALE: N.T.S.



MANHOLE SEAL DETAILS SCALE: N.T.S.



FOREBAY CHECK DAM DETAIL

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035

The Walnut Street Joint Venture Group

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

STAMP

CIVIL & LANDSCAPE

536 GRANITE ST BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000



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Weston & Sampson

85 DEVONSHIRE STREET, THIRD FLOOR BOSTON, MA 02109

BF&A

P 978 532.1900

utiledesign.com

17 BRIAN ROAD LANCASTER, MA 01523

P 978 870.5674

BLW ENGINEERS

311 GREAT ROAD P.O. BOX #1551 LITTLETON, MA 01460 **P** 978 964.5477

KALIN ASSOCIATES

1121 WASHINGTON STREET

NEWTON, MA 02465 **P** 617 964 5477 **SPECIFICATIONS**

RSE ASSOCIATES

63 PLEASANT STREET

WATERTOWN, MA 02472 **P** 617 926.9300

STRUCTURAL

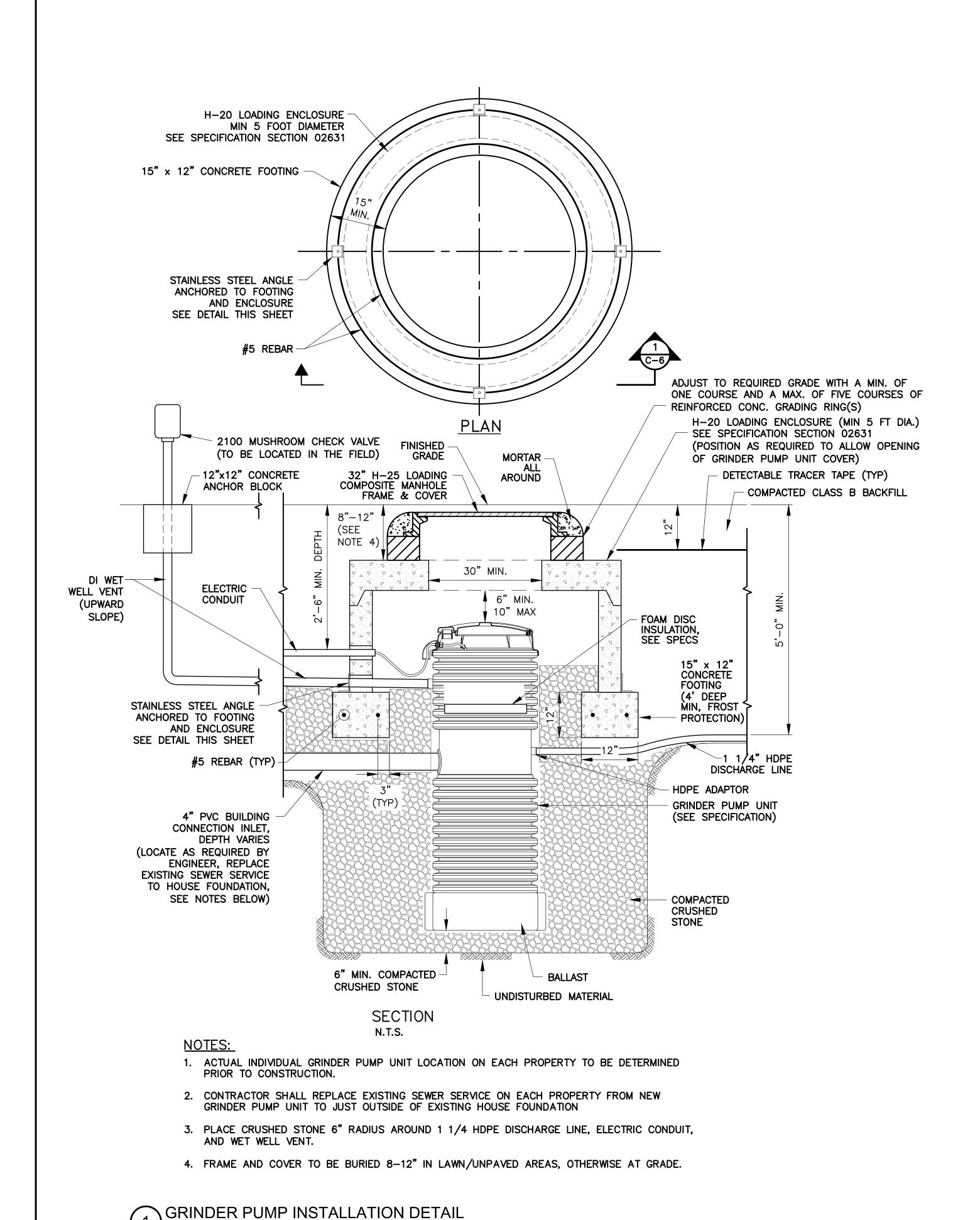


Pricing Set 12/09/2022 03/24/2023 Revised Permit Set

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER

DETAILS



SECTION A-A

SLOPE (VARIES)

CONC. END

PIPE

D

SLOPE (VARIES)

SLOPE (VARIES)

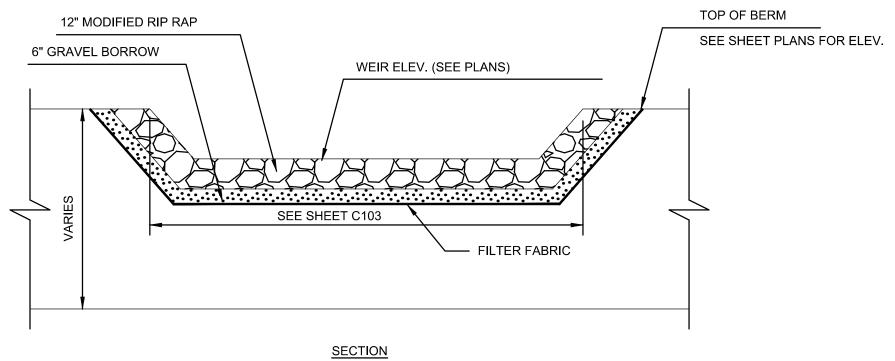
SIDE ELEVATION

PLAN

RIPRAP FOR DRAINAGE OUTLETS; RIPRAP FOR DRAINAGE OUTLETS; STONE SHALL BE IN ACCORDANCE WITH MASSDOT SPECIFICATION SECTION M2.02.3, STONE FOR PIPE END

2 FLARED END PIPE DETAIL

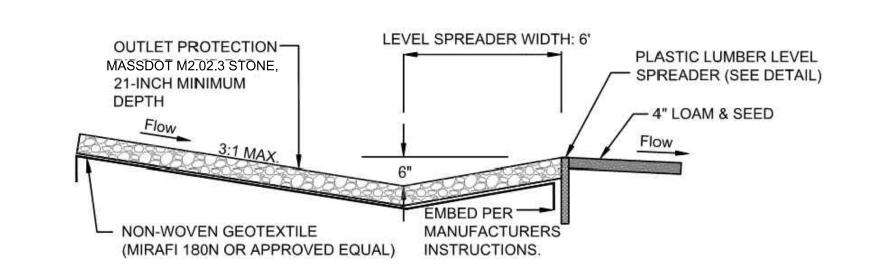
SCALE: N.T.S.



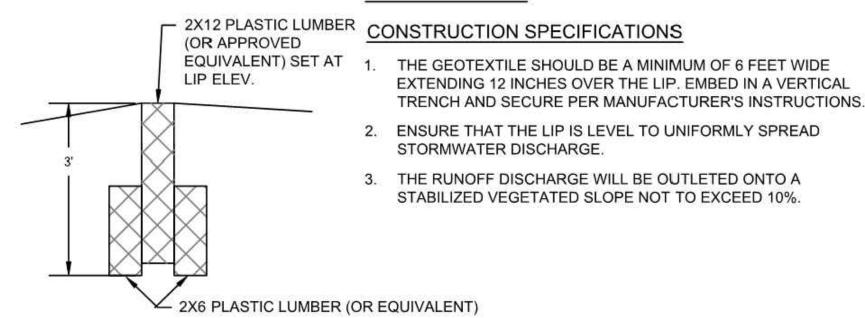
NOTES:

CROSS-SECTION OF EMERGENCY SPILLWAY CHANNEL SHALL CONTINUE DOWN EXTERIOR SLOPE OF EARTH EMBANKMENT.

3 EMERGENCY SPILLWAY FOR INFILTRATION BASIN SCALE: N.T.S.



CROSS SECTION



4 LEVEL SPREADER DETAIL SCALE: N.T.S.

Walnut Street
Affordable Housing

PROJECT

OWNER

ARCHITECT

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STRUCTURAL

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CIVIL & LANDSCAPE

FOXBOROUGH, MA 02035

The Walnut Street Joint Venture Group

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1+:10

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BF&A

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17 BRIAN ROAD LANCASTER, MA 01523

P 978 870.5674

BLW ENGINEERS

311 GREAT ROAD P.O. BOX #1551

LITTLETON, MA 01460 P 978 964.5477

KALIN ASSOCIATES

1121 WASHINGTON STREET NEWTON, MA 02465

P 617 964 5477 SPECIFICATIONS

RSE ASSOCIATES

63 PLEASANT STREET WATERTOWN, MA 02472

WATERTOWN, MA 024 P 617 926.9300

JESSE M.
JOHNSON
CIVIL
No. 45050

REGISTERES

ATE DEVICE

12/09/2022 Pricing Set 03/24/2023 Revised Perm

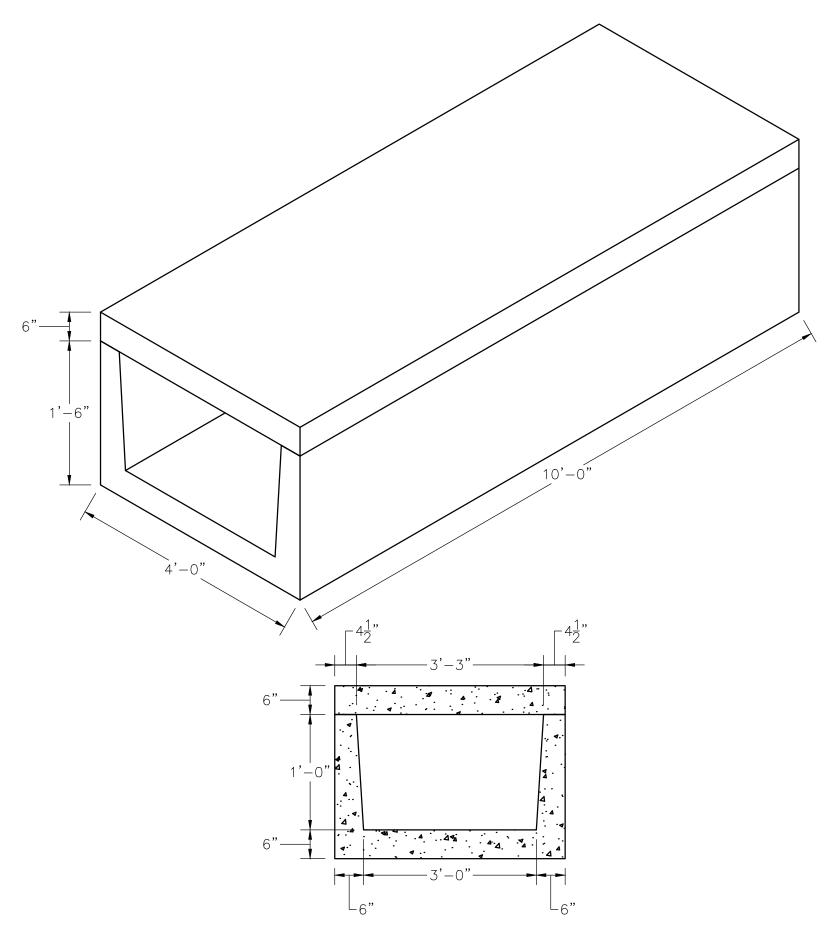
03/24/2023 Revised Permit Set

REVISIONS ON SHEET

SCALE

UTILE PROJECT NUMBER

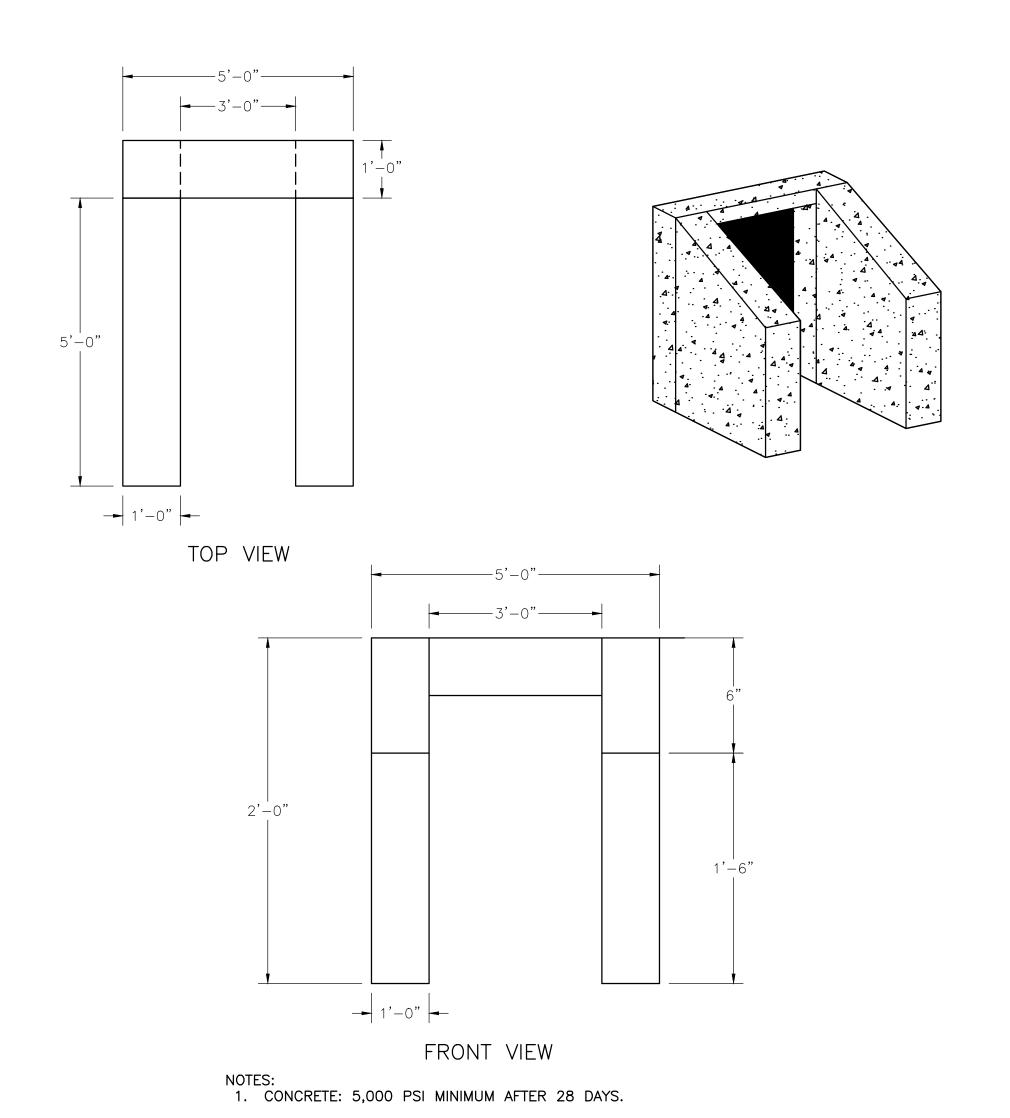
DETAILS



NOTES:

- 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
- 2. DESIGN FOR AASHTO HS-20 LOADING, 1 TO 5 FEET COVER.





BOX CULVERT HEADWALL AND WINGWALLS

SCALE: N.T.S.



FOXBOROUGH, MA 02035

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

The Walnut Street Joint Venture Group

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BLW ENGINEERS

311 GREAT ROAD P.O. BOX #1551 LITTLETON, MA 01460

P 978 964.5477 KALIN ASSOCIATES

1121 WASHINGTON STREET NEWTON, MA 02465 P 617 964 5477

SPECIFICATIONS **RSE ASSOCIATES**

63 PLEASANT STREET WATERTOWN, MA 02472

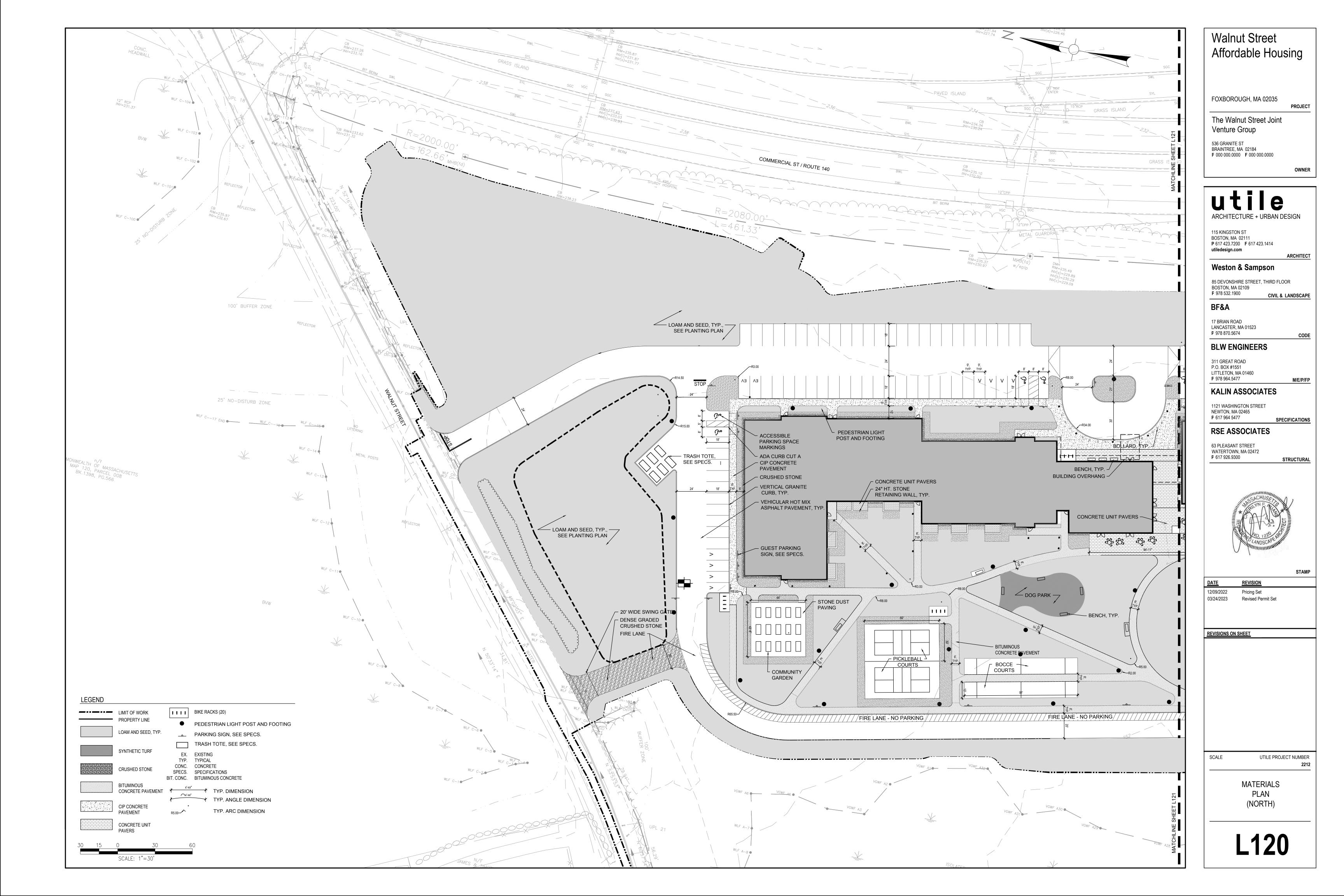
P 617 926.9300 STRUCTURAL

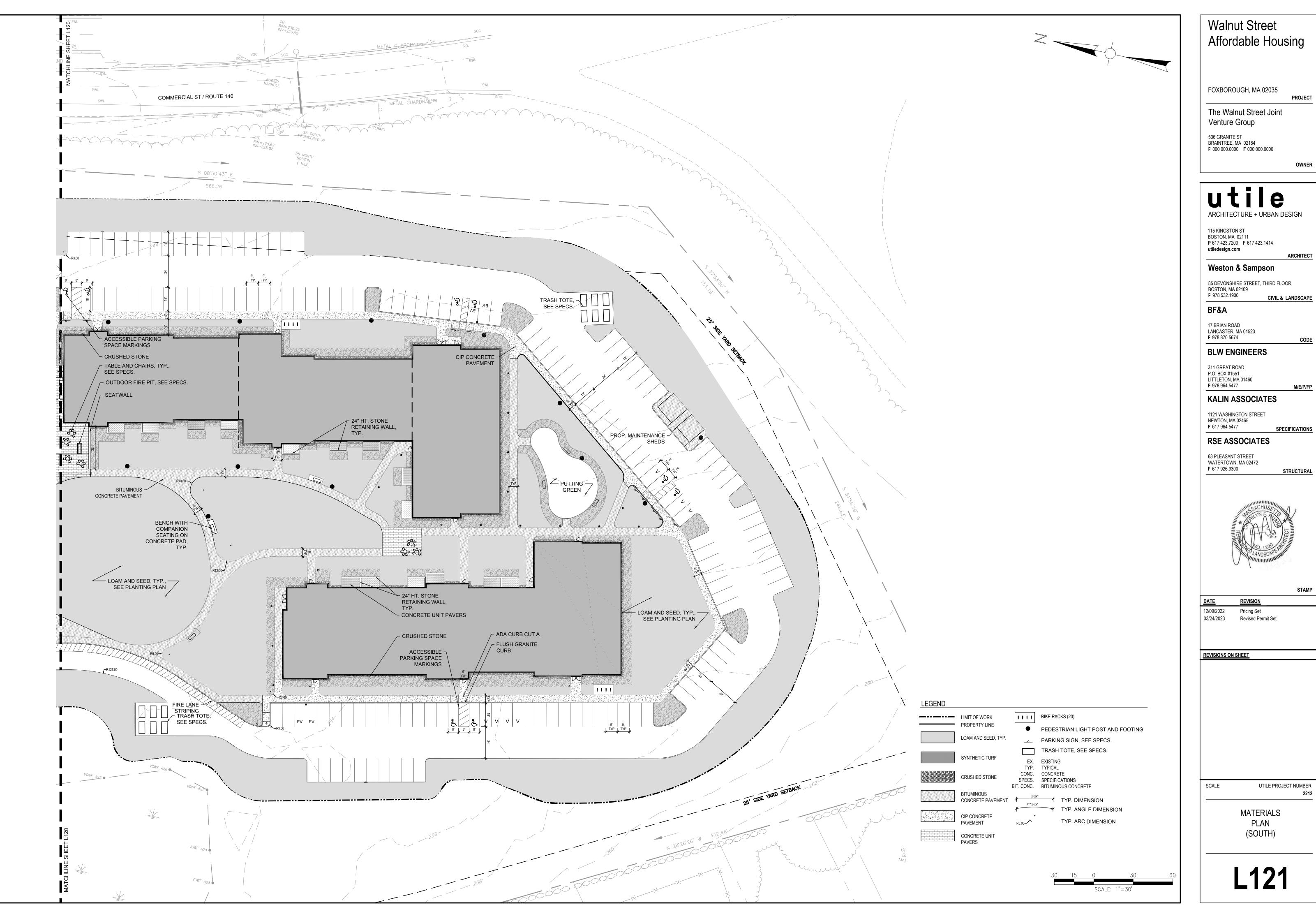
Pricing Set Revised Permit Set

REVISIONS ON SHEET

UTILE PROJECT NUMBER

DETAILS

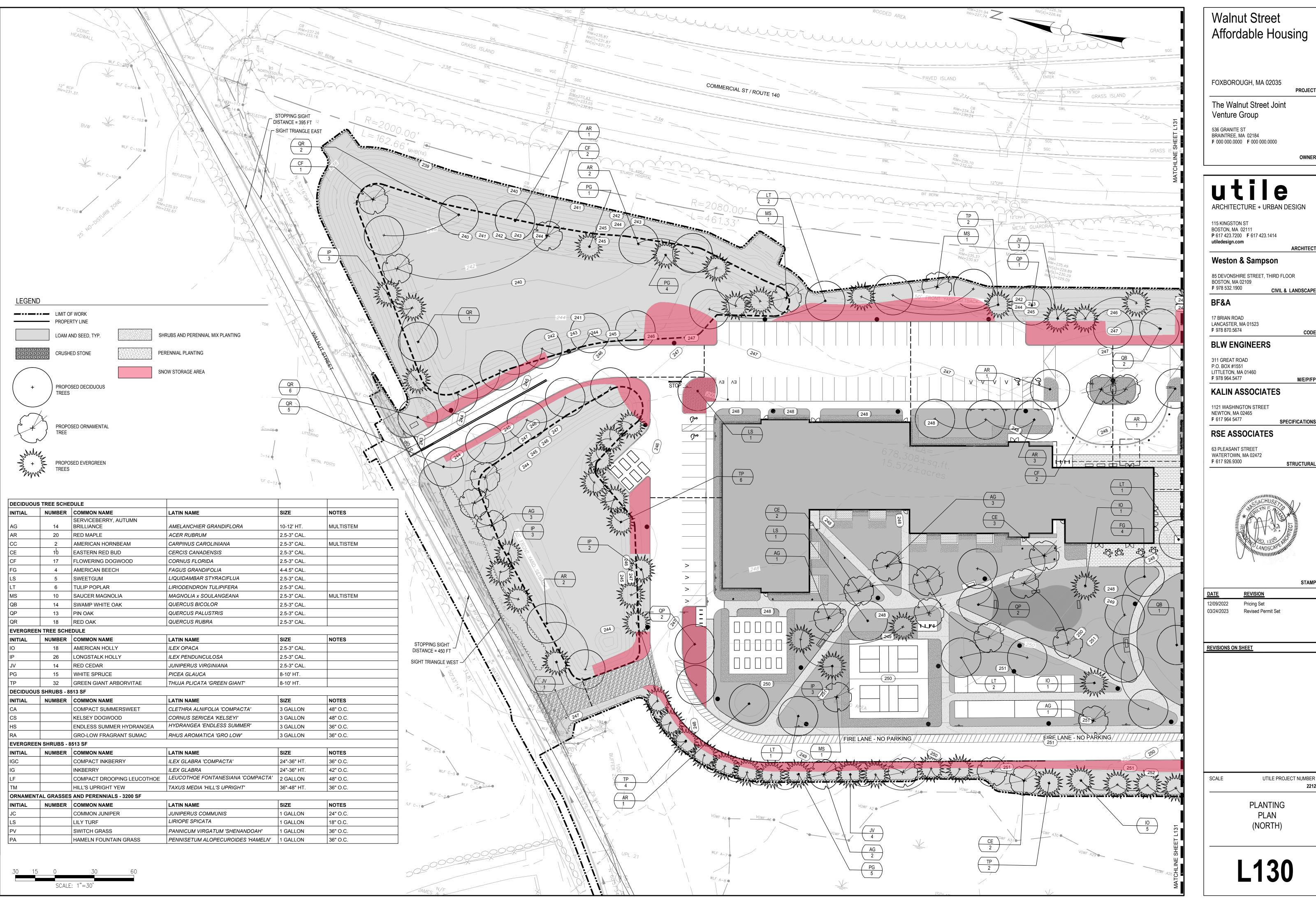




Affordable Housing



UTILE PROJECT NUMBER



Affordable Housing

PROJECT

OWNER

ARCHITECT

CODE

STRUCTURAL

STAMP

Weston & Sampson

85 DEVONSHIRE STREET, THIRD FLOOR

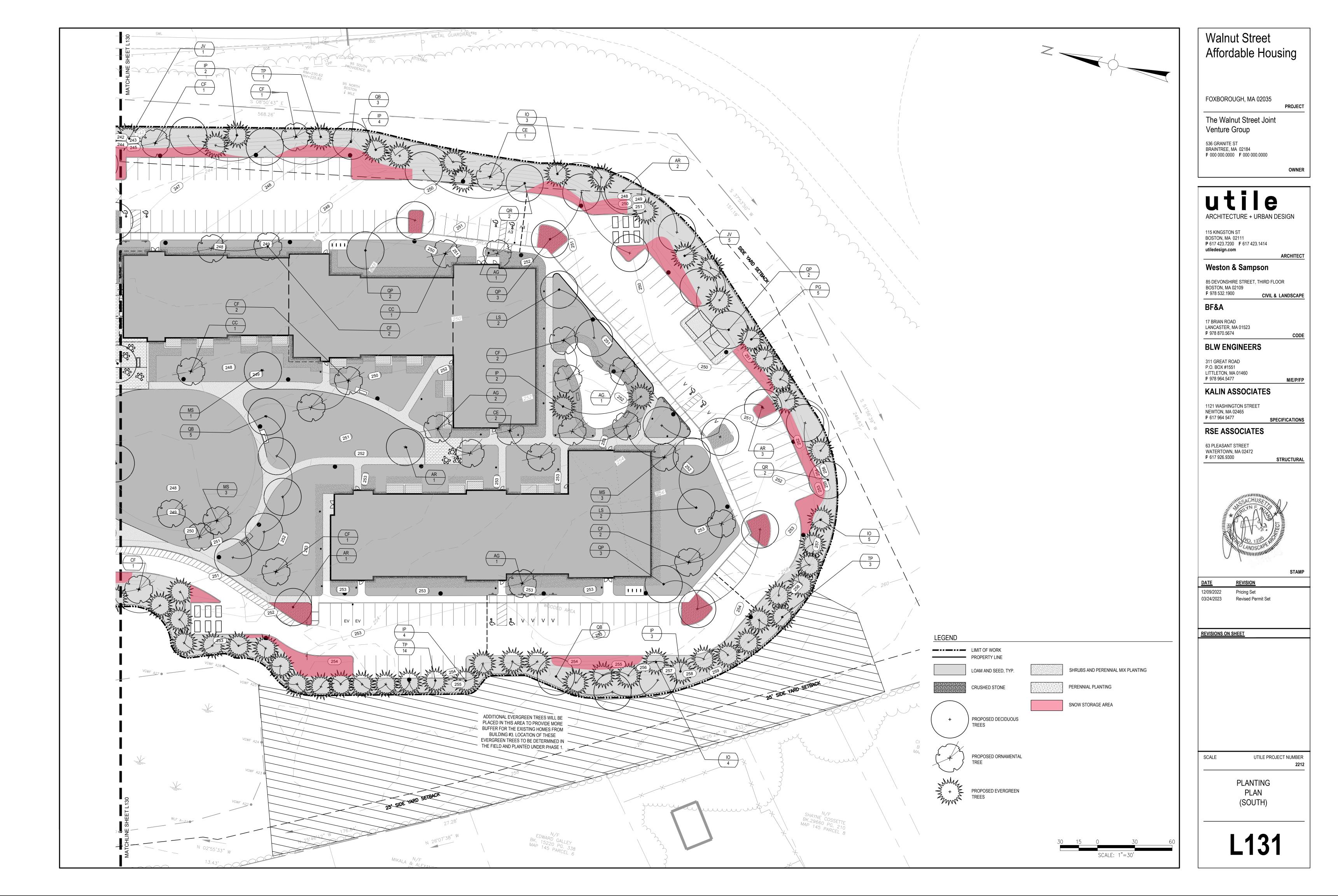
M/E/P/FP

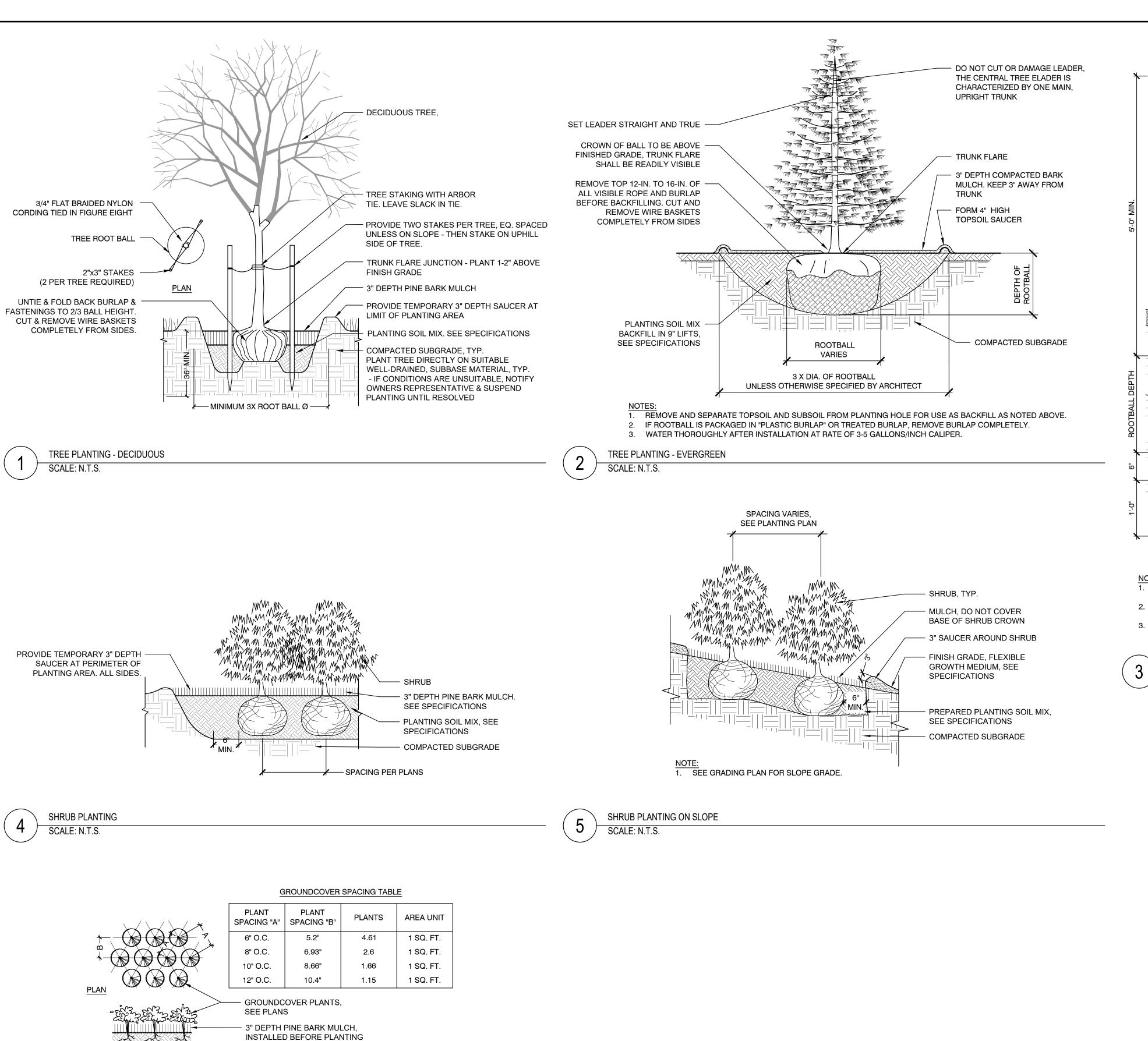
SPECIFICATIONS

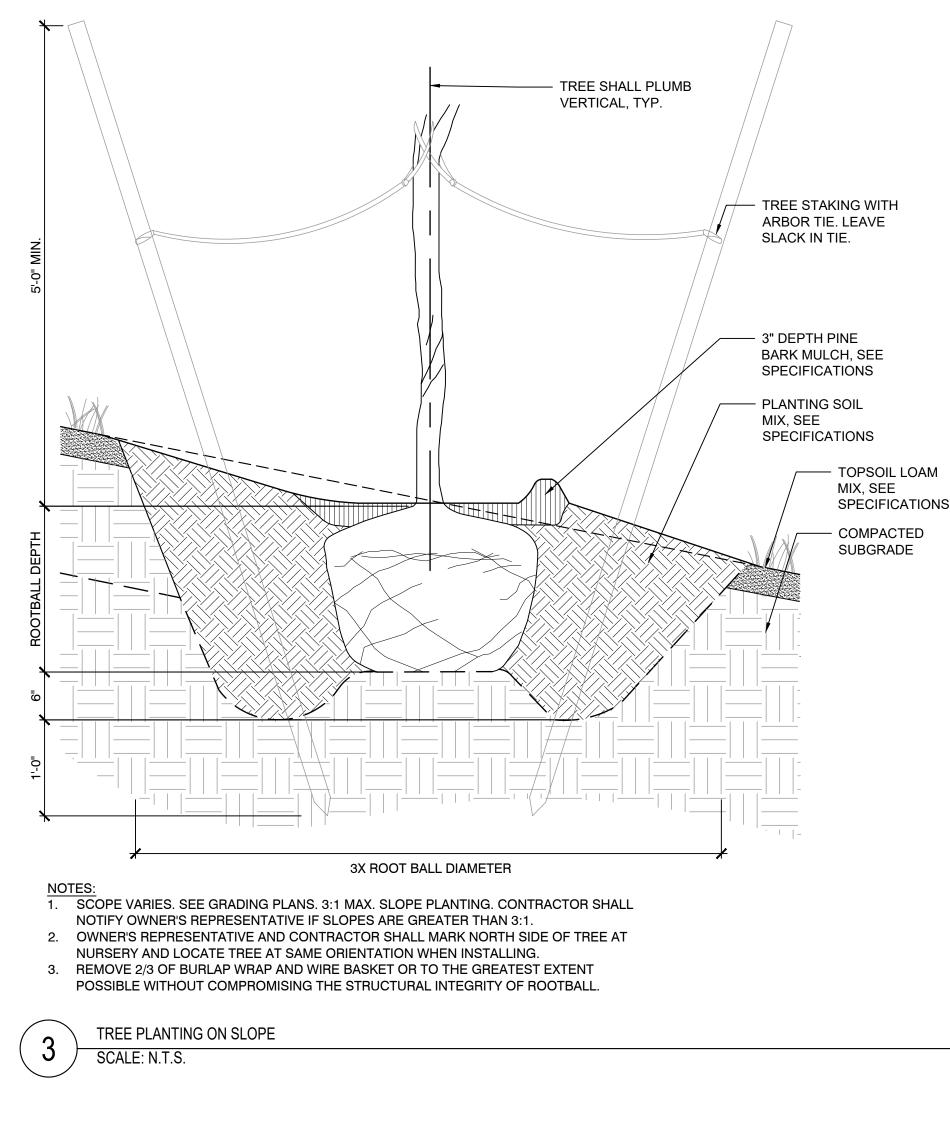
Revised Permit Set

UTILE PROJECT NUMBER

PLANTING PLAN







FOXBOROUGH, MA 02035

The Walnut Street Joint Venture Group

536 GRANITE ST BRAINTREE, MA 02184 P 000 000.0000 F 000 000.0000

PROJECT

OWNER

ARCHITECT

CODE

M/E/P/FP

CIVIL & LANDSCAPE

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ARCHITECTURE + URBAN DESIGN

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Weston & Sampson

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P 978 870.5674 **BLW ENGINEERS**

311 GREAT ROAD

P.O. BOX #1551 LITTLETON, MA 01460 **P** 978 964.5477

KALIN ASSOCIATES

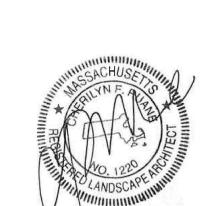
1121 WASHINGTON STREET NEWTON, MA 02465

P 617 964 5477 SPECIFICATIONS

RSE ASSOCIATES

63 PLEASANT STREET WATERTOWN, MA 02472

P 617 926.9300



STAMP

 DATE
 REVISION

 12/09/2022
 Pricing Set

 03/24/2023
 Revised Permit Set

REVISIONS ON SHEET

CONSTRUCTION DETAILS

LE UTILE PROJECT NUMBER

L500

HYDROMULCH SEED, SEE SPECIFICATIONS

TOPSOIL LOAM, TYP. SEE SPECIFICATIONS.

COMPACTED SUBGRADE

GROUNDCOVER PLANTING
SCALE: N.T.S.

<u>SECTION</u>

SCHEDULE FOR SPACING.

SPECIFICATIONS

PLANTING SOIL MIX, SEE SPECIFICATIONS

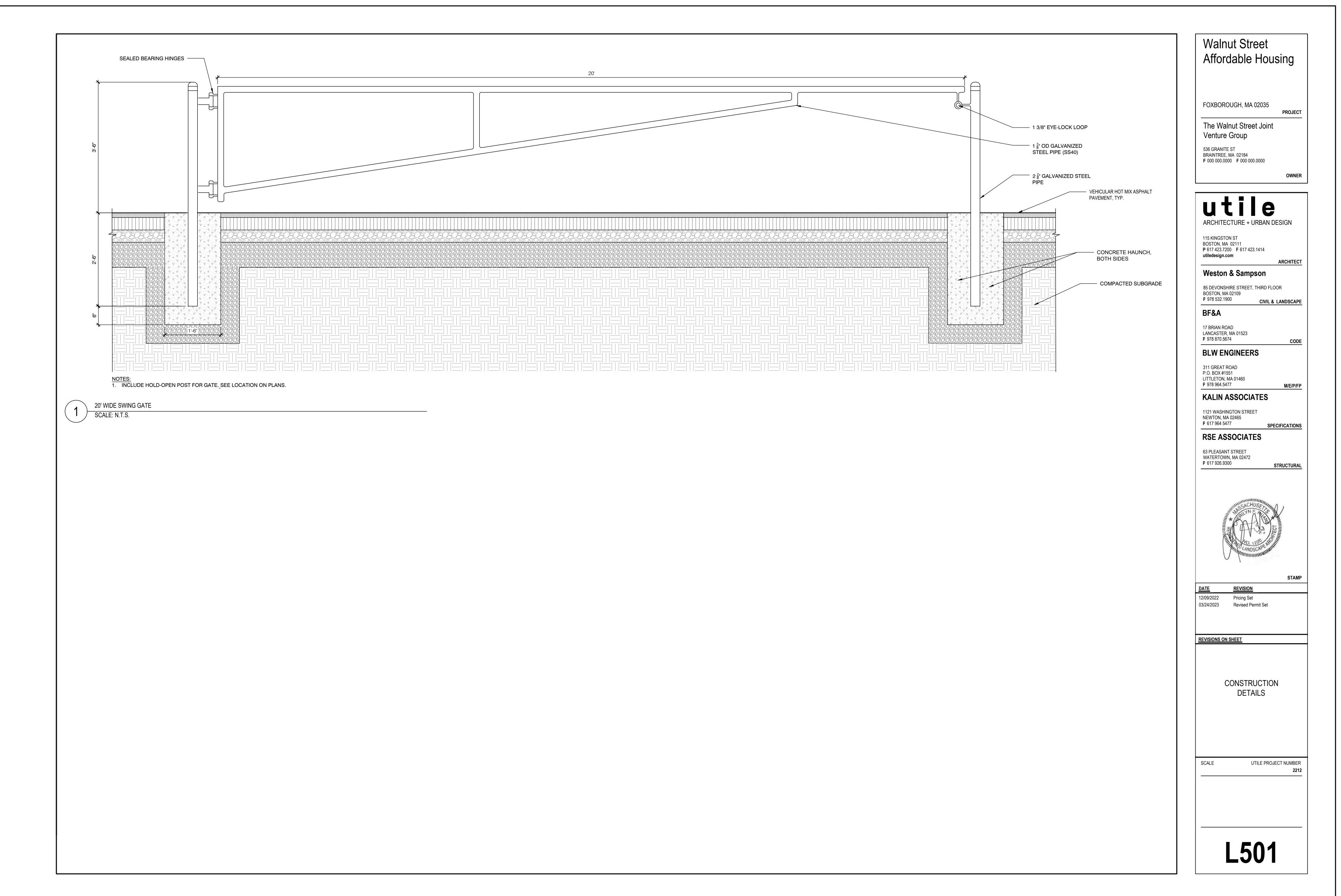
1. ALL GROUNDCOVERS TO BE PLANTED IN TRIANGULAR PATTERN. SEE PLANTING

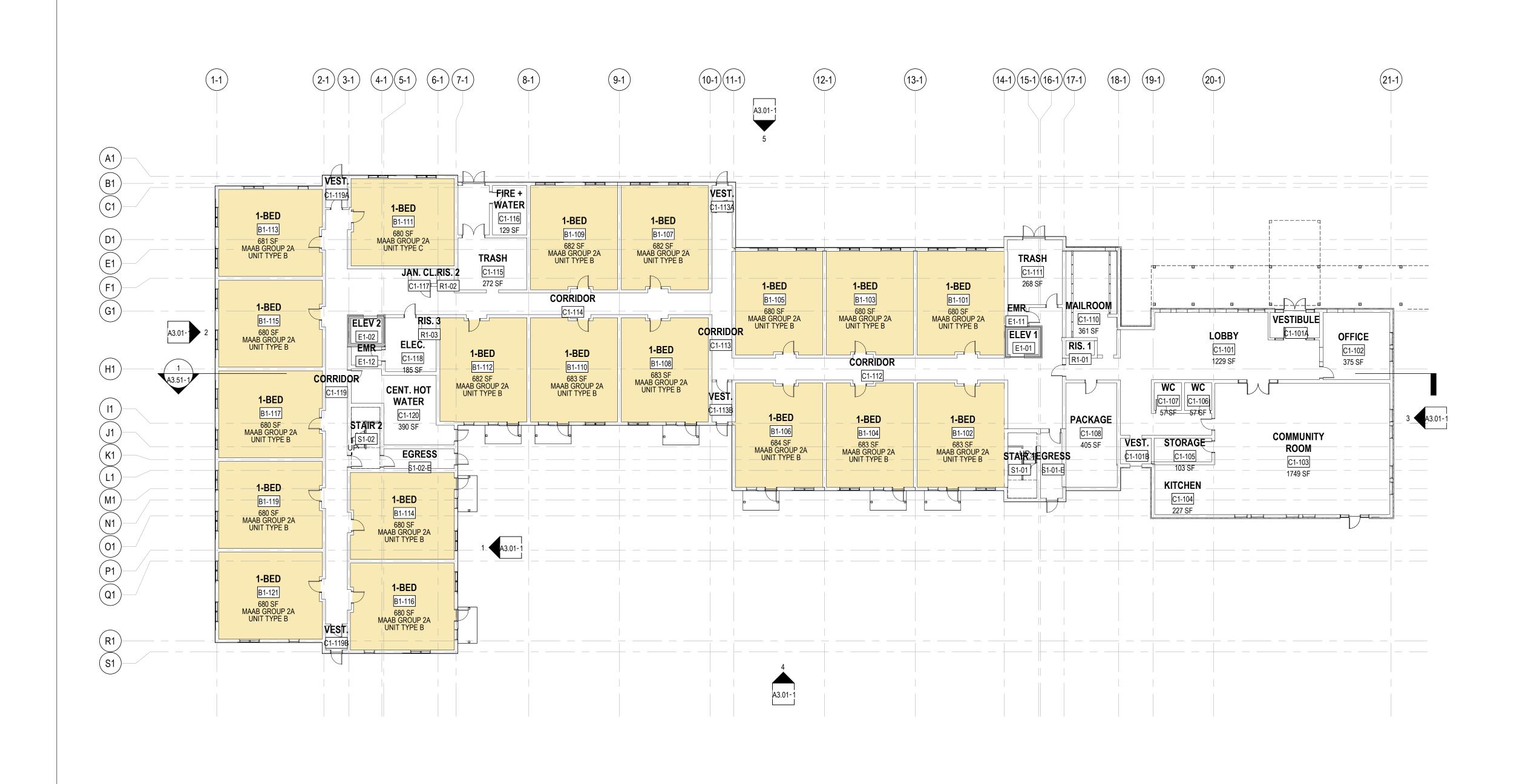
2. EROSION CONTROL MAT TO BE USED ON ALL SLOPES 3:1 OR GREATER. SEE

COMPACTED SUBGRADE

7

LOAM AND SEED
SCALE: N.T.S.





BUILDING 1 - LEVEL ONE 1/16" = 1'-0"

Walnut Street Affordable Housing

PROJECT

OWNER

ARCHITECT

M/E/P/FP

ADDRESS CITY, ST 00000

The Walnut Street Joint

Venture Group

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST BOSTON, MA 02111 P 617 423.7200 F 617 423.1414 utiledesign.com

Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000

CODE

Consultant

ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000 LANDSCAPE

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

Consultant

Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000 SPECIFICATIONS

Consultant

ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL

REVISION

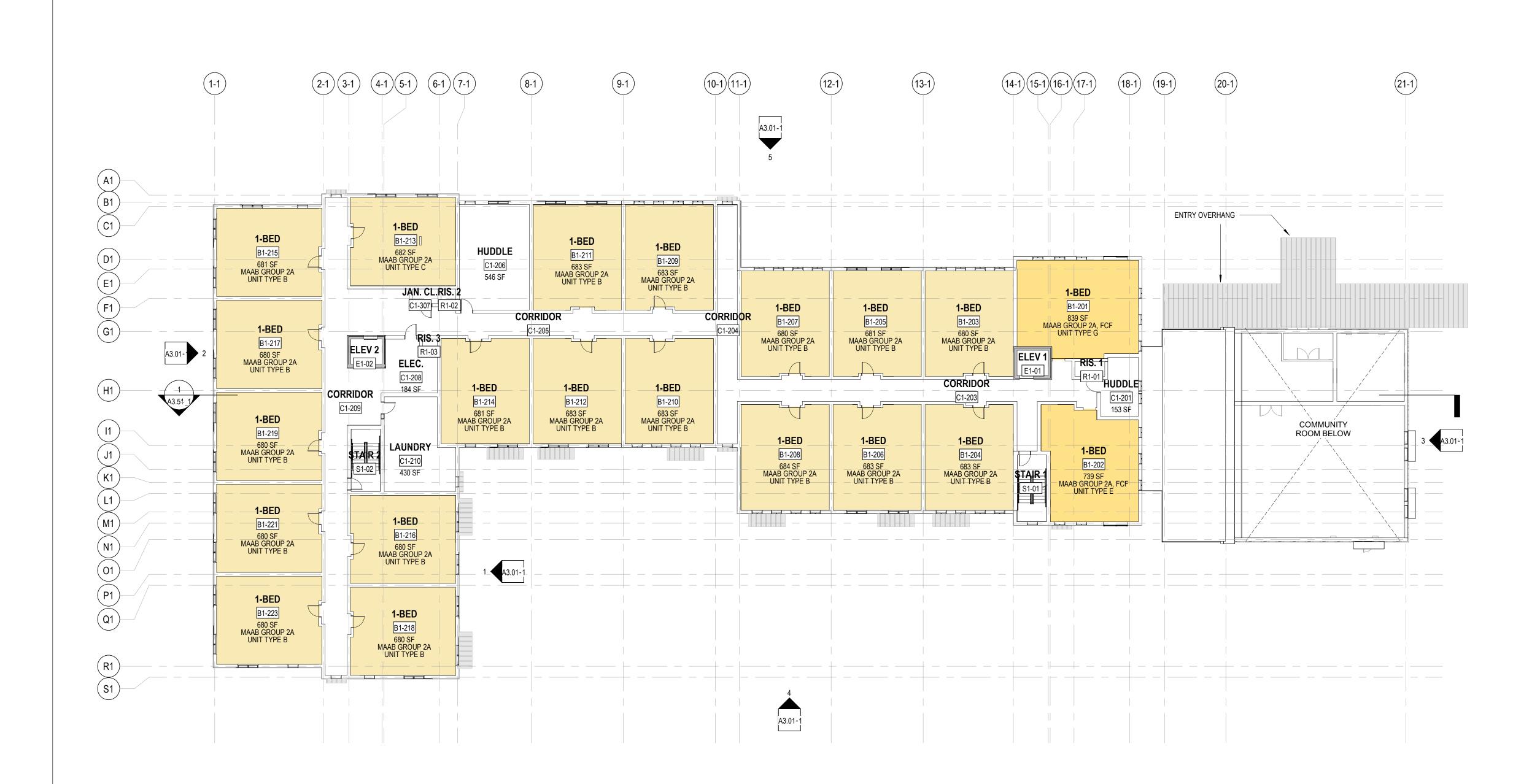
DD/MM/YYYY REV.

REVISIONS ON SHEET

UTILE PROJECT NUMBER As indicated

BUILDING 1 - FLOOR PLAN -LEVEL ONE

A1.01-1



BUILDING 1 - LEVEL TWO
1/16" = 1'-0"

ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000 Consultant ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000 Consultant ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000 Consultant ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000 SPECIFICATIONS Consultant ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL **REVISION** DD/MM/YYYY REV. REVISIONS ON SHEET

Walnut Street Affordable Housing

PROJECT

OWNER

ARCHITECT

CIVIL

ADDRESS

CITY, ST 00000

The Walnut Street Joint Venture Group

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST BOSTON, MA 02111 P 617 423.7200 F 617 423.1414

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Consultant

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

Consultant

CODE

LANDSCAPE

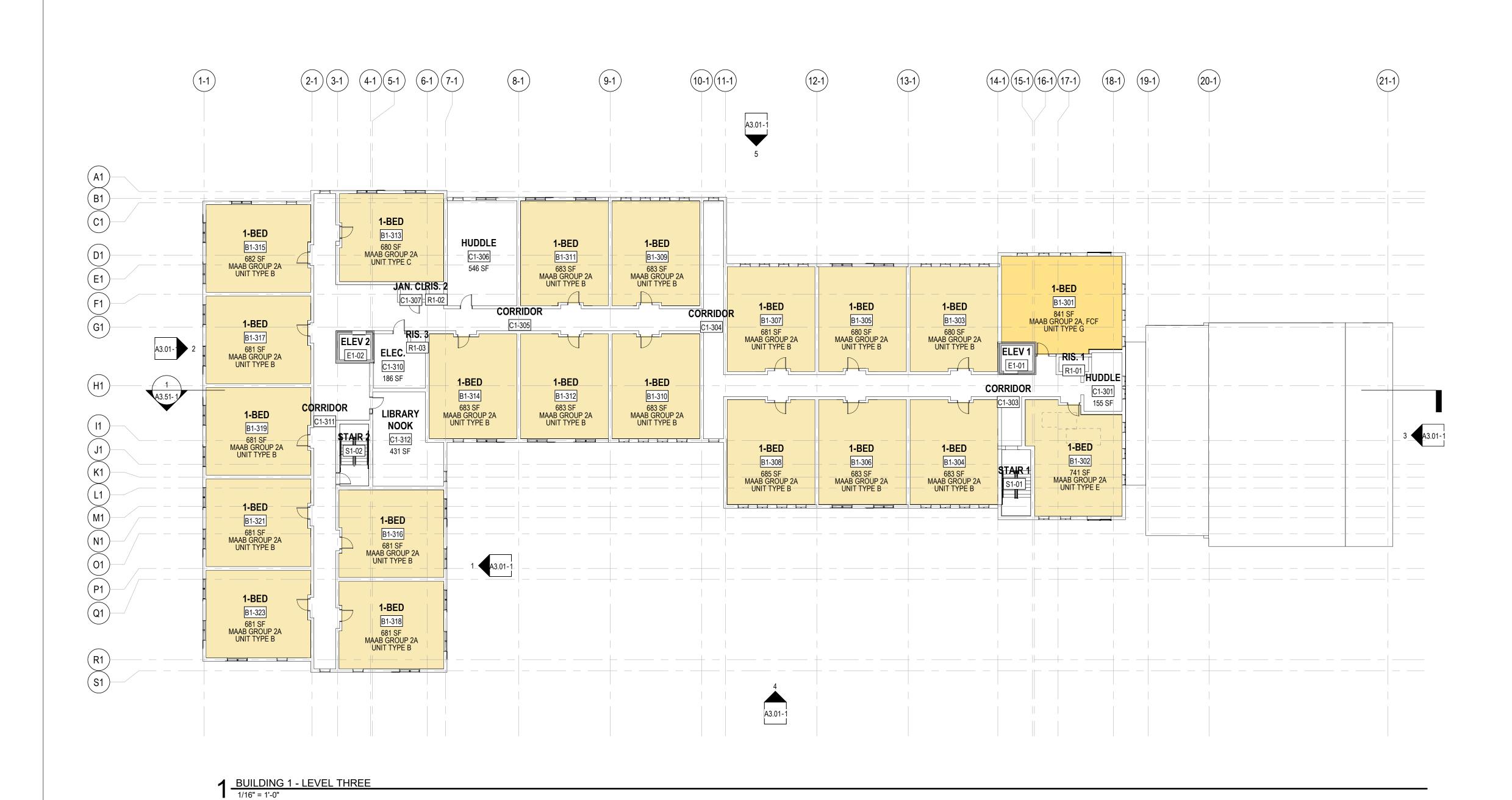
M/E/P/FP

STAMP

UTILE PROJECT NUMBER As indicated

BUILDING 1 - FLOOR PLAN -LEVEL TWO

A1.02-1



PROJECT

OWNER

ARCHITECT

CIVIL

CODE

M/E/P/FP

ADDRESS CITY, ST 00000

The Walnut Street Joint

Venture Group

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN 115 KINGSTON ST BOSTON, MA 02111 P 617 423.7200 F 617 423.1414

Consultant

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ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000

ADDRESS

Consultant

CITY, ST 00000 P 000 000.0000 F 000 000.0000 LANDSCAPE Consultant

ADDRESS

CITY, ST 00000 P 000 000.0000 F 000 000.0000

> Consultant ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000 SPECIFICATIONS

Consultant

ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL

STAMP

REVISION

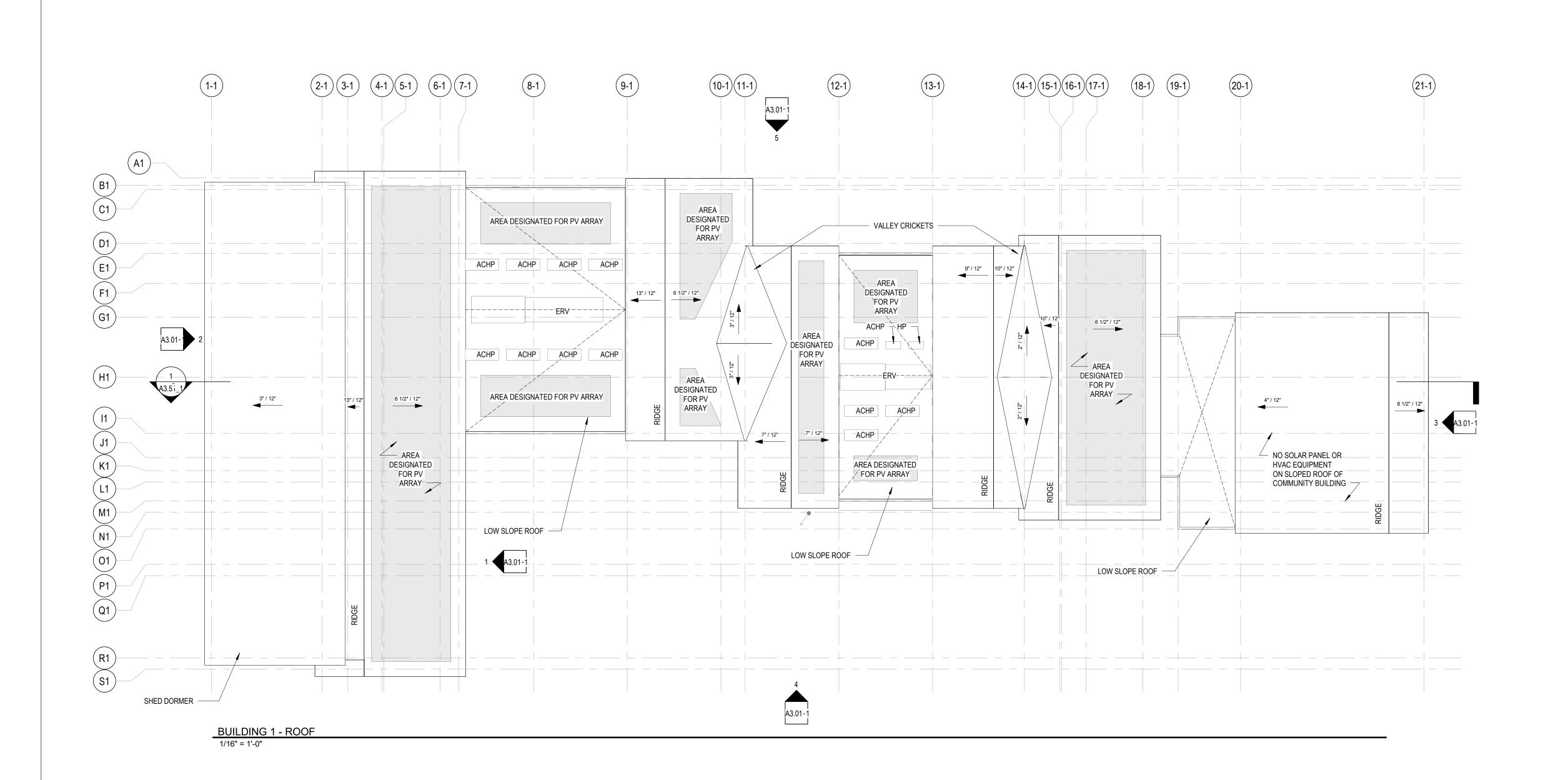
DD/MM/YYYY REV.

REVISIONS ON SHEET

UTILE PROJECT NUMBER As indicated

BUILDING 1 - FLOOR PLAN -LEVEL THREE

A1.03-1



PROJECT

OWNER

ARCHITECT

CIVIL

M/E/P/FP

ADDRESS

CITY, ST 00000

The Walnut Street Joint Venture Group

ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000

ARCHITECTURE + URBAN DESIGN

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Consultant

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 **F** 000 000.0000 CODE

Consultant

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000 LANDSCAPE

ADDRESS

Consultant

CITY, ST 00000 P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000 SPECIFICATIONS

Consultant

ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL

STAMP

REVISION

DD/MM/YYYY REV.

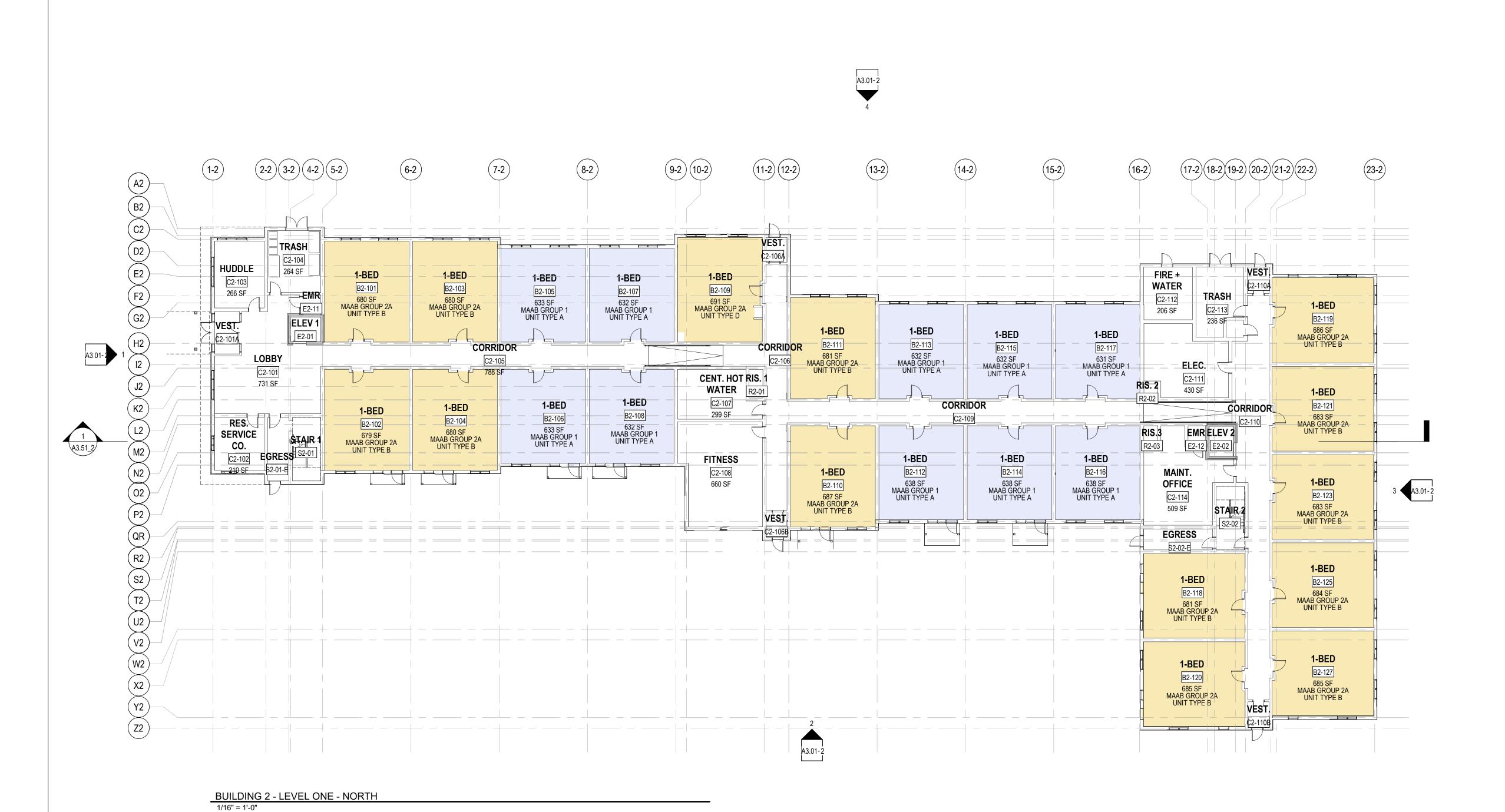
REVISIONS ON SHEET

As indicated

UTILE PROJECT NUMBER

BUILDING 1 - FLOOR PLAN -

A1.04-1



PROJECT

OWNER

ARCHITECT

ADDRESS CITY, ST 00000

The Walnut Street Joint

Venture Group ADDRESS

CITY, ST 00000 P 000 000.0000 F 000 000.0000

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Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 **F** 000 000.0000 CODE

Consultant

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000 LANDSCAPE

Consultant

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000 SPECIFICATIONS

Consultant

ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL

M/E/P/FP

REVISION

DD/MM/YYYY REV.

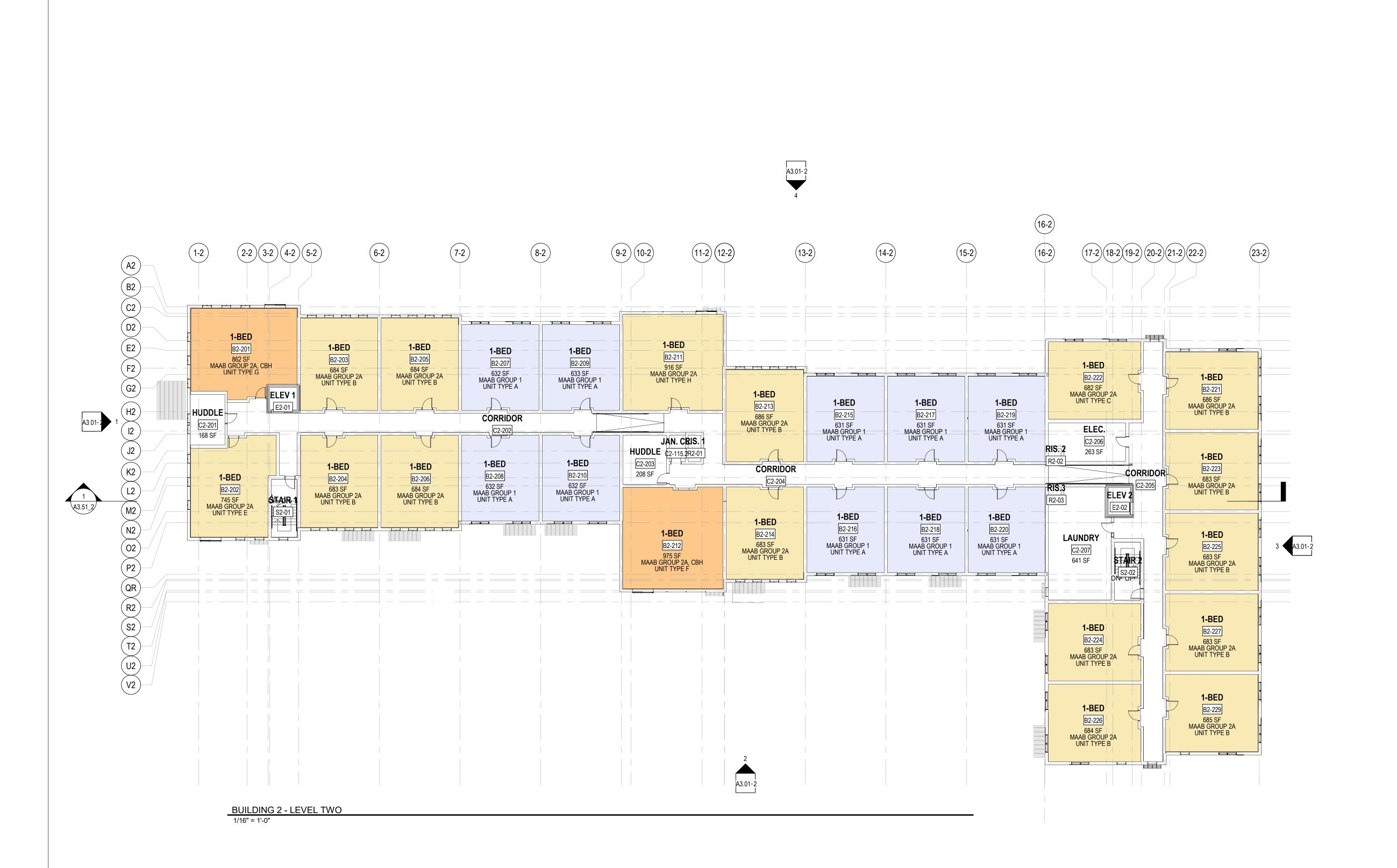
REVISIONS ON SHEET

As indicated

UTILE PROJECT NUMBER

BUILDING 2 - FLOOR PLAN -LEVEL ONE

A1.01-2



PROJECT

OWNER

ARCHITECT

CIVIL

M/E/P/FP

ADDRESS CITY, ST 00000

The Walnut Street Joint Venture Group

ADDRESS

CITY, ST 00000 P 000 000.0000 F 000 000.0000

ARCHITECTURE + URBAN DESIGN

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Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000

Consultant

ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000

CODE

Consultant

ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000

LANDSCAPE Consultant

ADDRESS CITY, ST 00000

P 000 000.0000 F 000 000.0000

Consultant ADDRESS

CITY, ST 00000 P 000 000.0000 F 000 000.0000 SPECIFICATIONS

Consultant

ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL

STAMP

REVISION

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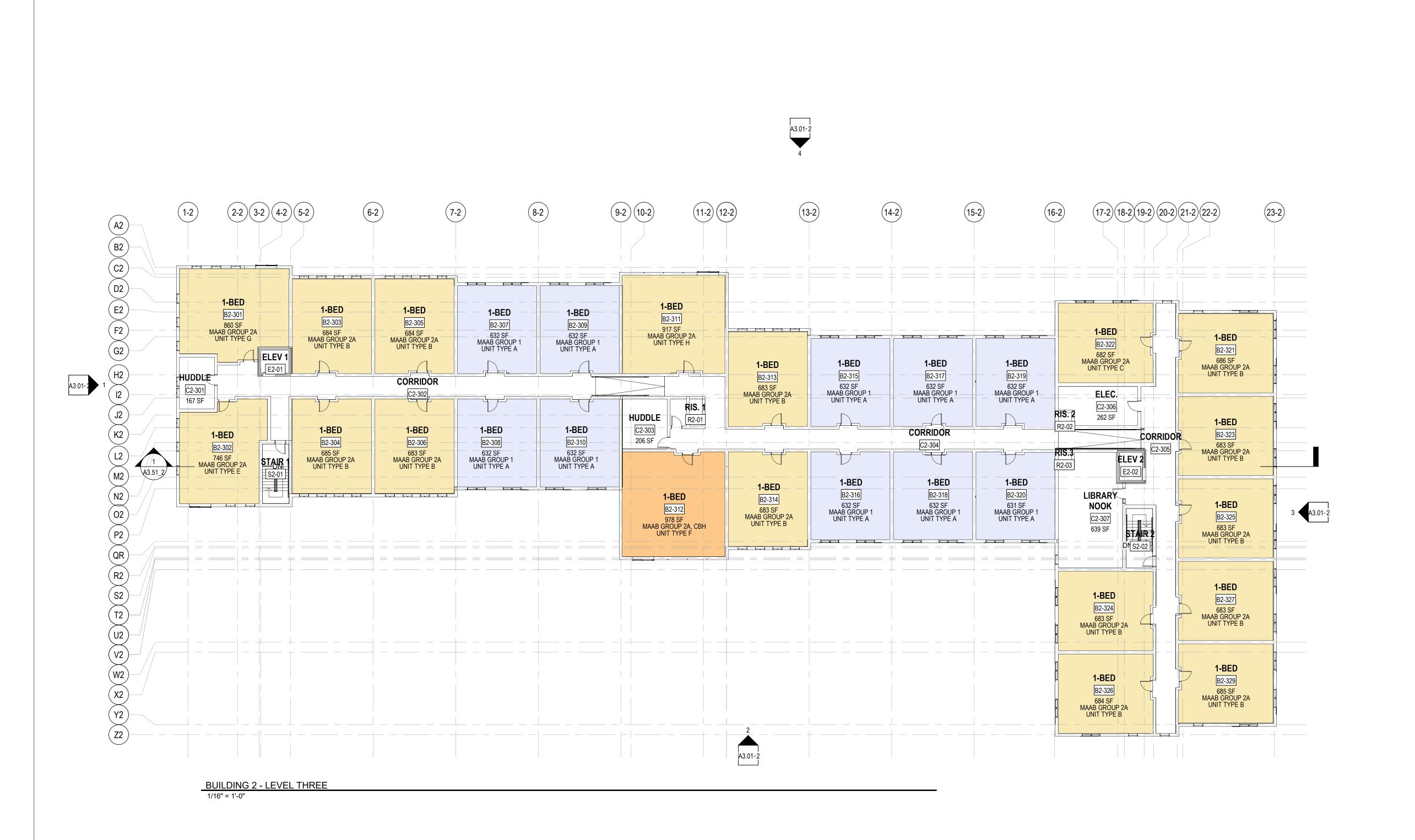
REVISIONS ON SHEET

As indicated

UTILE PROJECT NUMBER

BUILDING 2 - FLOOR PLAN -LEVEL TWO

A1.02-2



PROJECT

OWNER

ARCHITECT

CIVIL

CODE

M/E/P/FP

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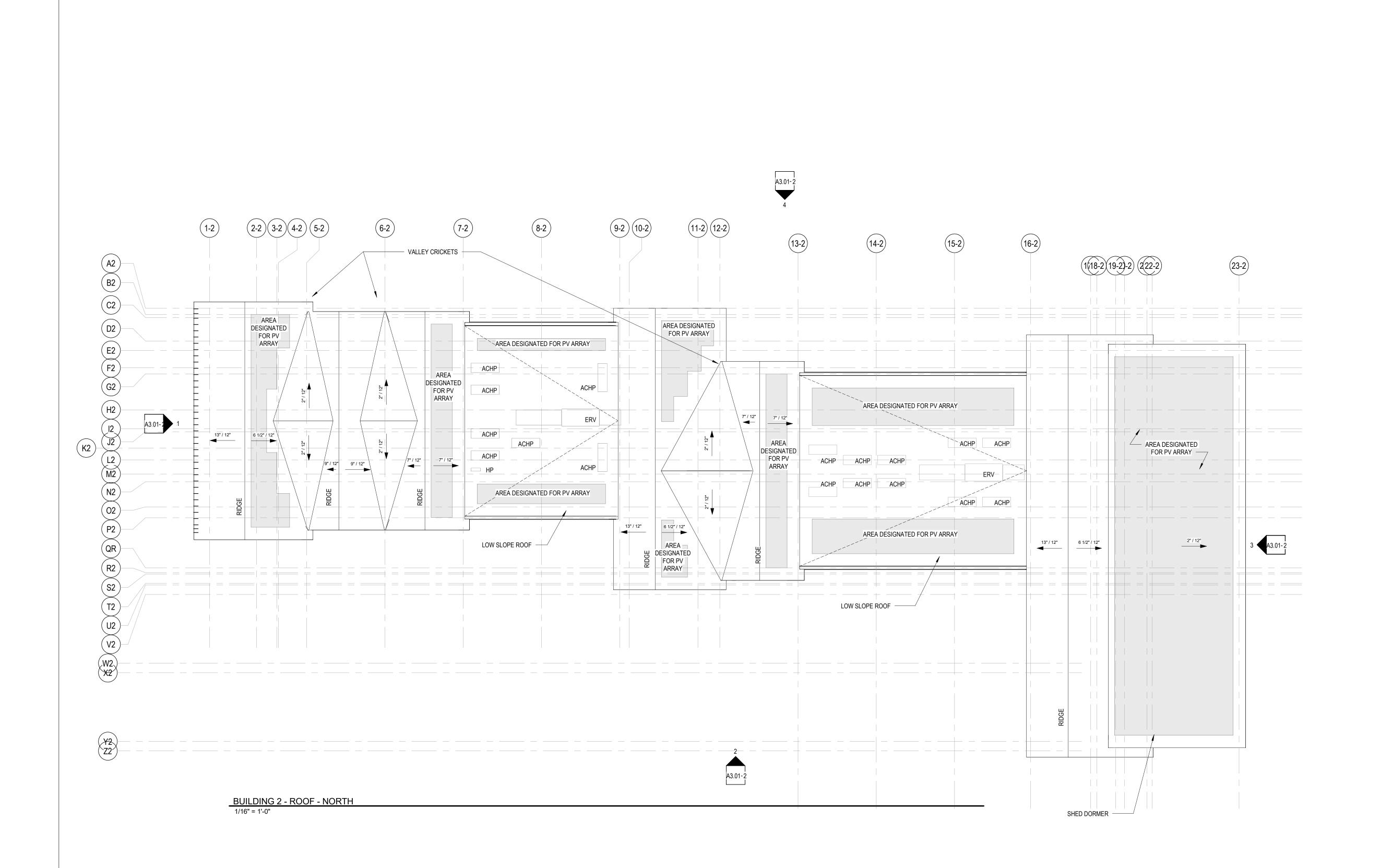
REVISIONS ON SHEET

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UTILE PROJECT NUMBER

BUILDING 2 - FLOOR PLAN -LEVEL THREE

A1.03-2



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UTILE PROJECT NUMBER As indicated

BUILDING 2 - FLOOR PLAN -

A1.04-2



BUILDING 3 - LEVEL 1 - 1/16"

1/16" = 1'-0"

Walnut Street Affordable Housing

PROJECT

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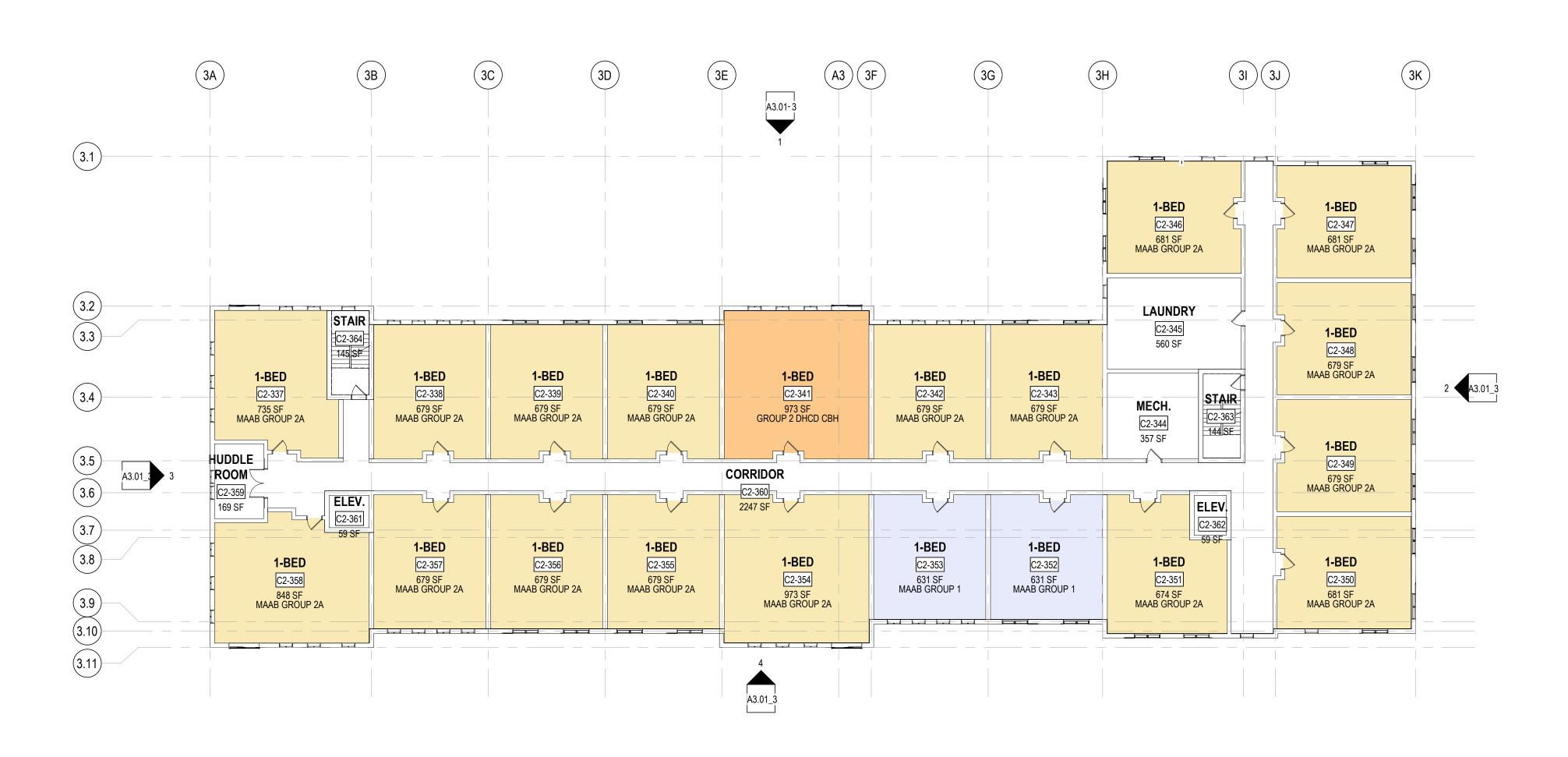
REVISIONS ON SHEET

As indicated

UTILE PROJECT NUMBER

BUILDING 3 - FLOOR PLAN -LEVEL 1

A1.01-3



BUILDING 3 - LEVEL 2 - 1/16"
1/16" = 1'-0"

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PROJECT

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ARCHITECT

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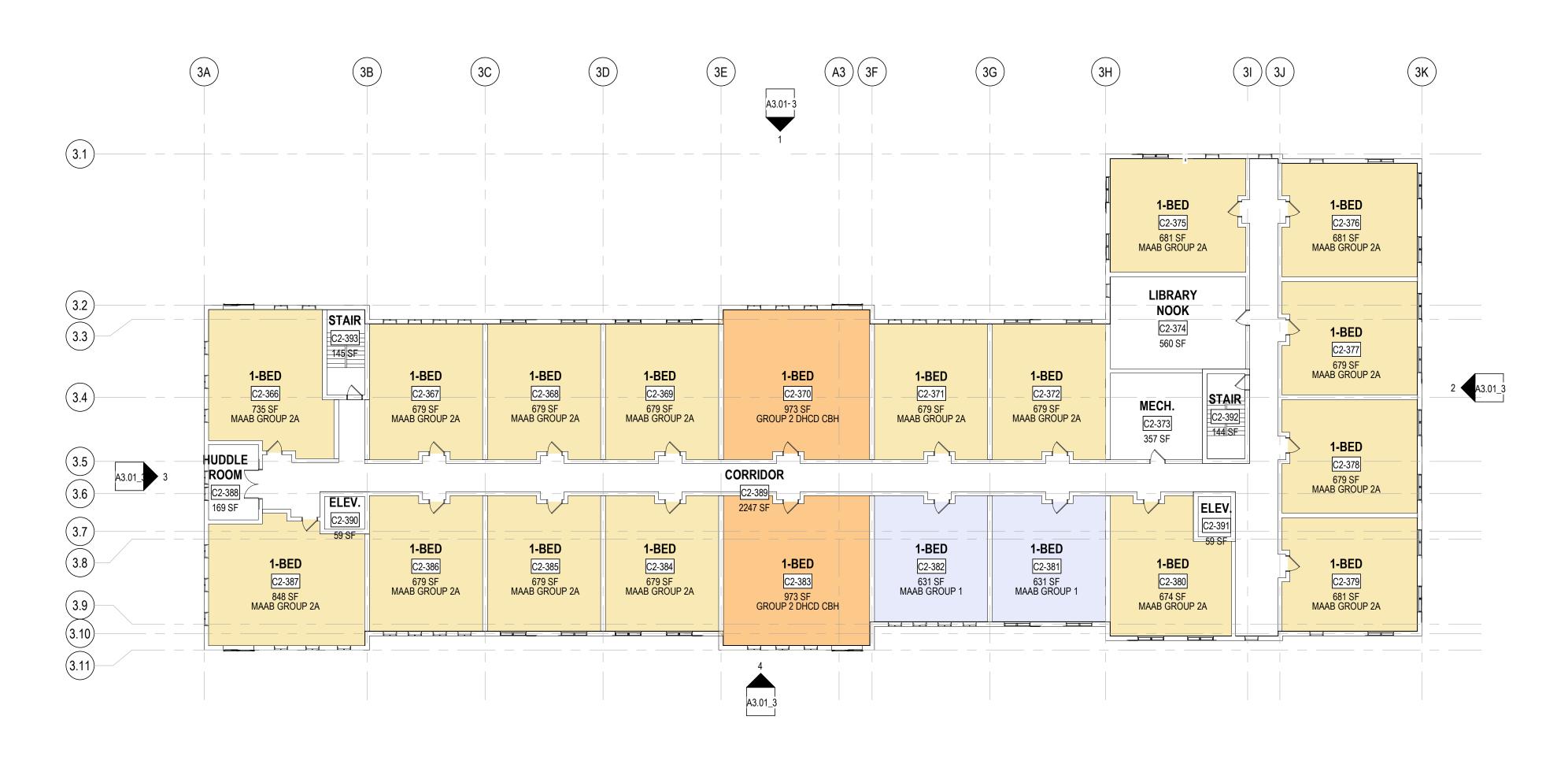
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UTILE PROJECT NUMBER As indicated

BUILDING 3 - FLOOR PLAN -LEVEL 2

A1.02-3



BUILDING 3 - LEVEL 3 - 1/16"

1/16" = 1'-0"

Walnut Street Affordable Housing

PROJECT

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ARCHITECT

CIVIL

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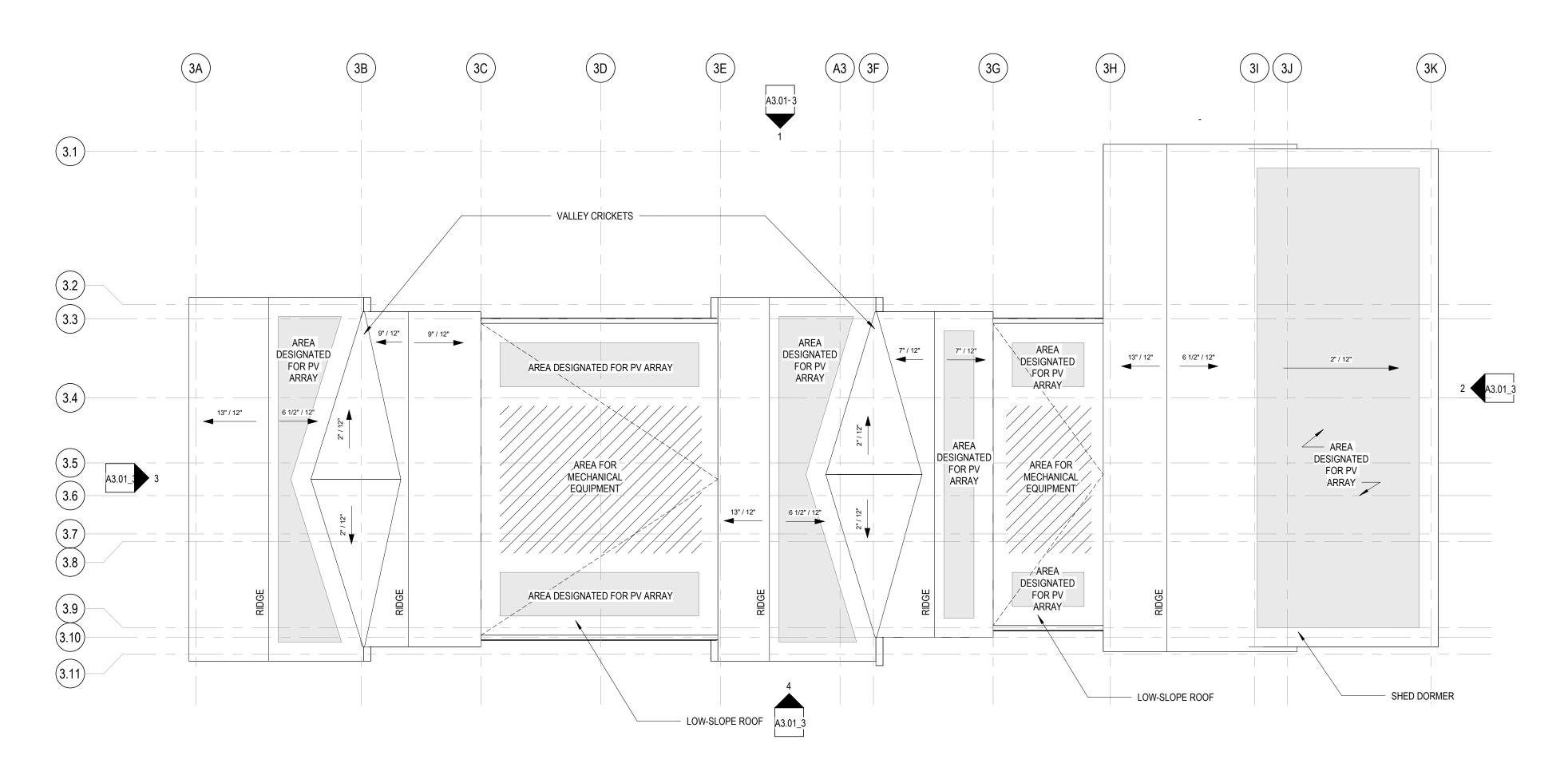
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As indicated

UTILE PROJECT NUMBER

BUILDING 3 - FLOOR PLAN -LEVEL 3

A1.03-3



BUILDING 3 - ROOF - 1/16"
1/16" = 1'-0"

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PROJECT

OWNER

ARCHITECT

CIVIL

The Walnut Street Joint Venture Group

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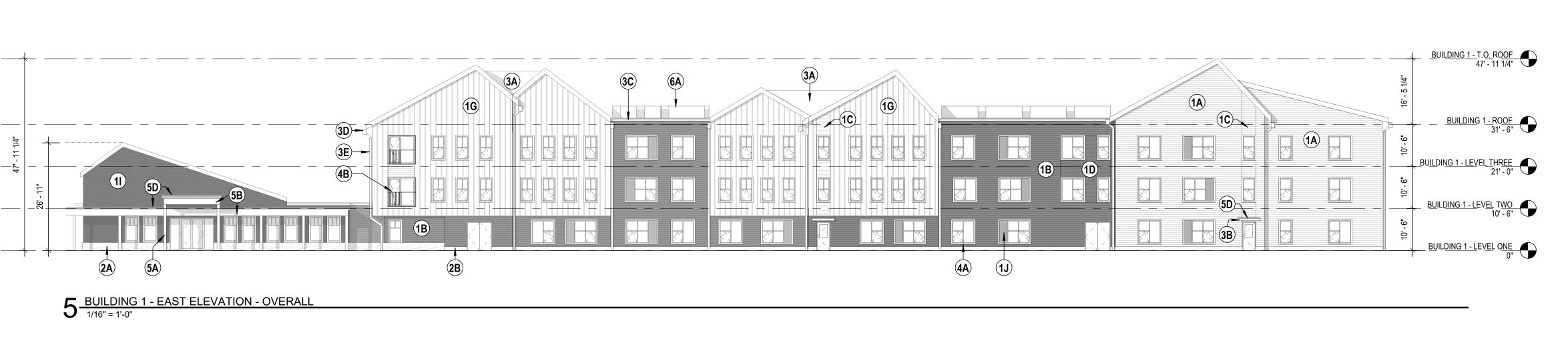
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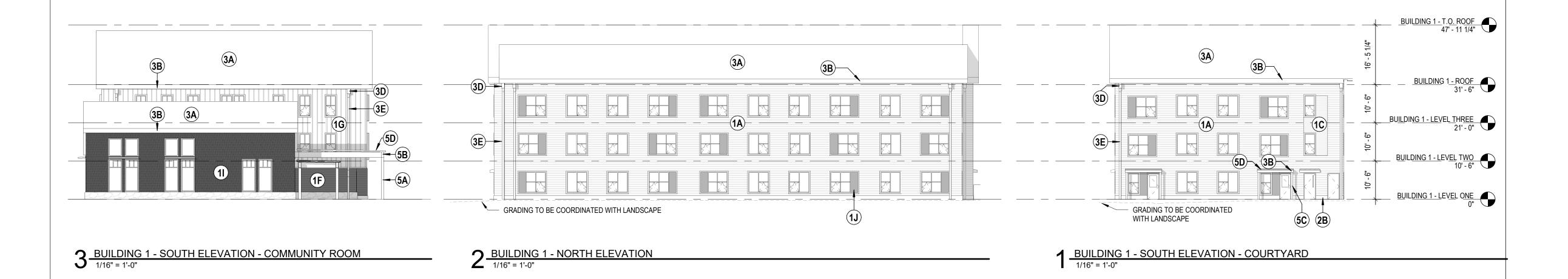
UTILE PROJECT NUMBER As indicated

BUILDING 3 - FLOOR PLAN -ROOF

A1.04-3



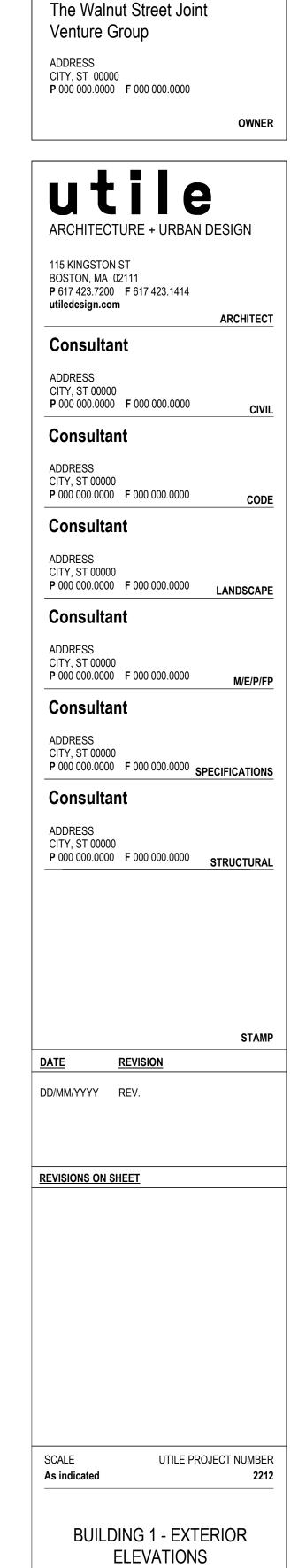




ELEVATION NOTES (1A) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A" (1B) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B" (1C) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A" (1D) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B" (1E) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A" (1F) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B" (1G) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "A" (1H) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "B" (1) PTD. CEMENTITIOUS STRAIGHT SHINGLE PANEL, COLOR "C" (1J) PTD. CEMENTITIOUS INFILL PANEL, COLOR "D" **2A**) STONE VENEER WATER TABLE **2B)** PTD. POLYASH TRIM AT BASE OF BUILDING, TYP., COLOR "E" (3A) ASHALT SHINGLES AT SLOPED ROOFS, TYP. (3B) PTD POLYASH FASCIA BOARD, TYP. (3C) PTD MTL DRIP EDGE, TYP. **3D** MTL GUTTER, TYP. **3E**) PTD DOWNSPOUT, TYP PTD. POLYSH TRIM AT WINDOW SURROUNDS, CUSTOM COLOR GALV. POWDER-COATED METAL JULIET BALCONY GUARDRAIL (5A) CEDAR COLUMNS STAINED (5B) CEDAR FASCIA STAINED (5C) PTD. WOOD COLUMN

(5D) STANDING SEAM METAL ROOF

6A) MECH EQUP, REF. MEP DWGS



Walnut Street

ADDRESS CITY, ST 00000

Affordable Housing

PROJECT

A3.01-1



Walnut Street Affordable Housing ADDRESS CITY, ST 00000 **PROJECT** The Walnut Street Joint Venture Group ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000 OWNER ARCHITECTURE + URBAN DESIGN 115 KINGSTON ST BOSTON, MA 02111 P 617 423.7200 F 617 423.1414 utiledesign.com **ARCHITECT** Consultant ADDRESS CITY, ST 00000 P 000 000.0000 F 000 000.0000 Consultant ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000 CODE Consultant ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000 LANDSCAPE Consultant ADDRESS CITY, ST 00000 **P** 000 000.0000 **F** 000 000.0000 M/E/P/FP Consultant CITY, ST 00000 P 000 000.0000 F 000 000.0000 SPECIFICATIONS ADDRESS
CITY, ST 00000
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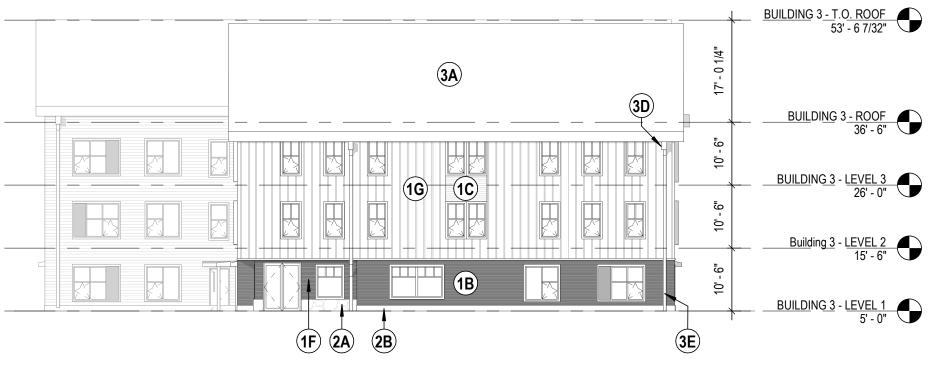
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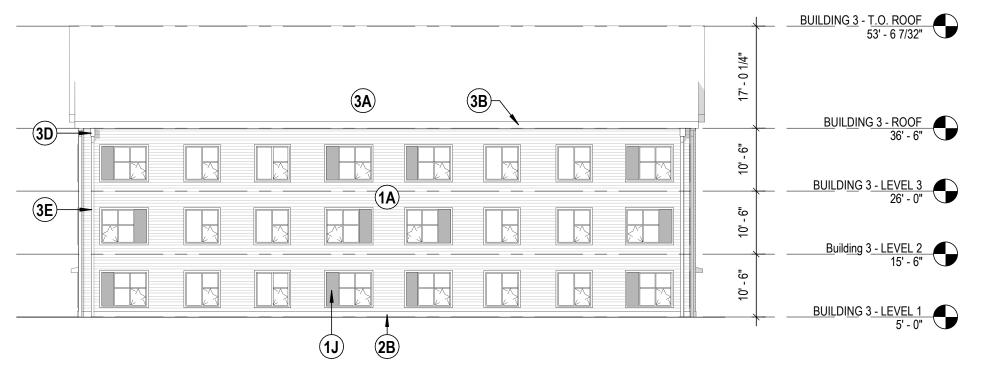
SCALE UTILE PROJECT NUMBER
As indicated 2212

BUILDING 2 - EXTERIOR ELEVATIONS

A3.01-2







3 BUILDING 3 - NORTH ELEVATION - 1/16" 1/16" = 1'-0"

2 BUILDING 3 - SOUTH ELEVATION - 1/16" 1/16" = 1'-0"



BUILDING 3 - EAST ELEVATION - 1/16"

1/16" = 1'-0"

ELEVATION NOTES

- (1A) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1B) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
-) 0 FTD. CEMENTITIOUS CLAFBOARD, COLOR B
- (1C) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"

 (1D) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- 4 FTD. CEMENTITIOUS CLAFBOARD, COLOR
- 1E 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1F) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1G) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "A"
- (1H) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "B"
- (11) PTD. CEMENTITIOUS STRAIGHT SHINGLE PANEL, COLOR "C"
- (1J) PTD. CEMENTITIOUS INFILL PANEL, COLOR "D"
- (2A) STONE VENEER WATER TABLE
- **2B** PTD. POLYASH TRIM AT BASE OF BUILDING, TYP., COLOR "E"
- (3A) ASHALT SHINGLES AT SLOPED ROOFS, TYP.
- (3B) PTD POLYASH FASCIA BOARD, TYP.
- **3C**) PTD MTL DRIP EDGE, TYP.
- **3D** MTL GUTTER, TYP.
- (3E) PTD DOWNSPOUT, TYP
- PTD. POLYSH TRIM AT WINDOW SURROUNDS, CUSTOM COLOR
- GALV. POWDER-COATED METAL JULIET BALCONY GUARDRAIL
- (5B) CEDAR FASCIA STAINED

(5A) CEDAR COLUMNS STAINED

- 025/11/1/1001/101/11/125
- **5C** PTD. WOOD COLUMN
- (5D) STANDING SEAM METAL ROOF
- (6A) MECH EQUP, REF. MEP DWGS

Walnut Street
Affordable Housing

PROJECT

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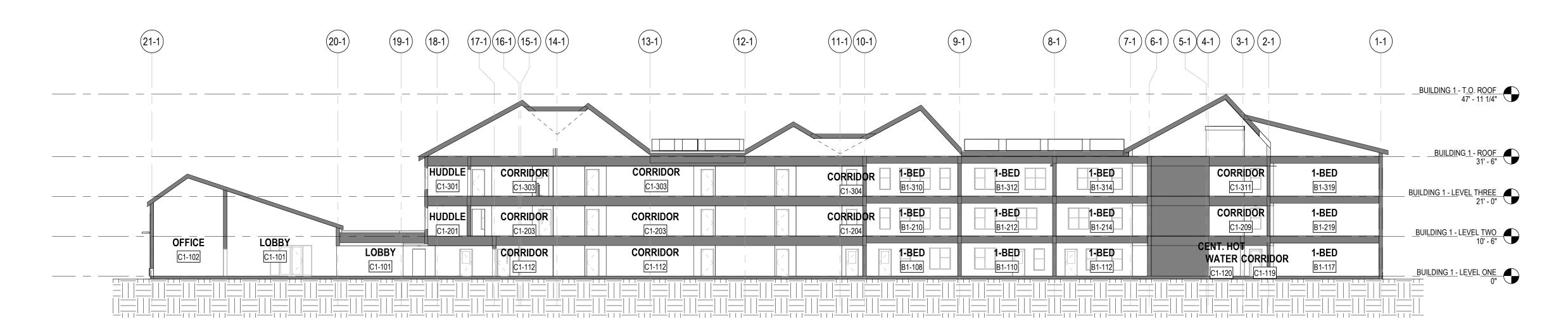
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BUILDING 3 - EXTERIOR ELEVATIONS

A3.01-3



BUILDING 1 - SECTION A - Dependent 1

1/16" = 1'-0"

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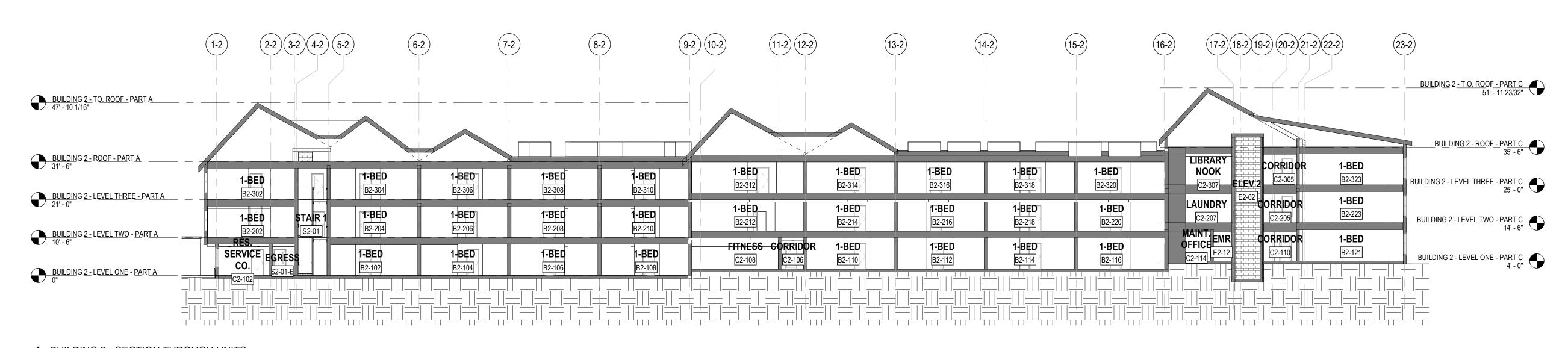
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UTILE PROJECT NUMBER 1/16" = 1'-0"

BUILDING 1 - SECTION

A3.51-1



BUILDING 2 - SECTION THROUGH UNITS
1/16" = 1'-0"

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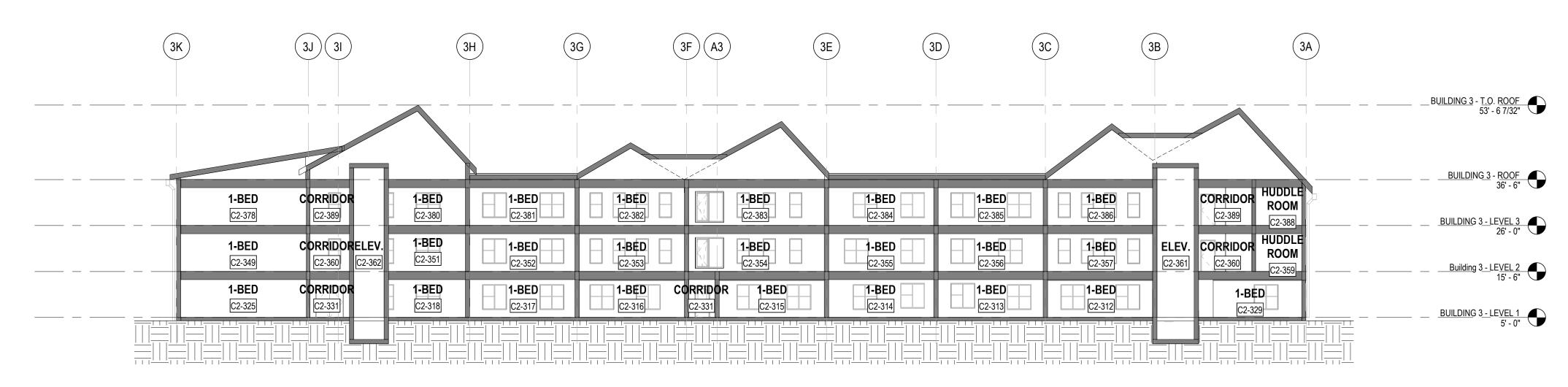
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UTILE PROJECT NUMBER 1/16" = 1'-0"

BUILDING 2 - SECTION

A3.51-2



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UTILE PROJECT NUMBER

1/16" = 1'-0"

BUILDING 3 - SECTION

A3.51-3