



WALNUT STREET AFFORDABLE HOUSING COMPREHENSIVE PERMIT SET - JANUARY 12, 2023

ZONING TABLE			
DIMENSIONAL REGULATIONS	R-40	R-15 MULTI-FAMILY	PROPOSED
MIN. LOT AREA (SF)	40,000	1,238,875	678,308 +/-
MIN. LOT FRONTAGE (FT)	200	125	882.56 +/-
MIN. FRONT YARD SETBACK (FT)	35	50	113.2 +/-
MIN. SIDE YARD SETBACK (FT)	25	25	140.7 +/-
MIN. REAR YARD SETBACK (FT)	N/A	N/A	N/A
MAX. BUILDING HEIGHT (FT)	35	35	51 *
MIN. LOT WIDTH	134	67	818.21 +/-

* SPECIAL PERMIT REQUIRED

PARKING CALCULATIONS

PARKING REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)

TOTAL UNIT COUNT = 200 UNITS

PARKING REQUIRED = 200 UNITS * 2 SPACES = 400 SPACES
 VISITORS PARKING REQUIRED = 200 UNITS * 1 VISITORS SPACE / 4 UNITS = 50 VISITOR SPACES REQUIRED
 TOTAL PARKING REQUIRED = 450 SPACES
 TOTAL PARKING PROVIDED = 206 SPACES + 15 VISITORS SPACES = 221 SPACES

H.P. SPACES REQUIRED = 7 H.P. SPACES
 H.P. SPACES PROVIDED = 12 H.P. SPACES
 PARKING TO UNIT RATIO: 1.11

IMPERVIOUS COVERAGE AND OPEN SPACE DATA		
	AREA (SF)	TRACT COVERAGE (%)
BUILDINGS	71,865	10.6%
VEHICULAR IMPERVIOUS	100,275	14.8%
SW / HARDSCAPE IMPERVIOUS	42,213	6.2%
TOTAL IMPERVIOUS	214,353	31.6%
OPEN SPACE	463,955	68.4%

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BUILDING DEVELOPMENT SUMMARY								
BUILDING 1 - DEVELOPMENT SUMMARY TYPE: MULTIFAMILY RESIDENTIAL		BUILDING 2 - DEVELOPMENT SUMMARY TYPE: MULTIFAMILY RESIDENTIAL		BUILDING 3 - DEVELOPMENT SUMMARY TYPE: MULTIFAMILY RESIDENTIAL				
BUILDING 1 FOOTPRINT: 25,318 GSF		BUILDING 2 FOOTPRINT: 26,675 GSF		BUILDING 3 FOOTPRINT: 19,850 GSF				
FIRST FLOOR	25,318 GSF FLOOR AREA 15,215 SF RESIDENTIAL 2,572 SF AMENITY & MGMT OFFICE	(19) 1-BR UNITS	FIRST FLOOR	26,675 GSF FLOOR AREA 17,700 SF RESIDENTIAL 1,880 SF AMENITY	(24) 1-BR UNITS	FIRST FLOOR	19,850 GSF FLOOR AREA 14,710 SF RESIDENTIAL 650 SF AMENITY	(19) 1-BR UNITS
SECOND FLOOR	21,271 GSF FLOOR AREA 16,972 SF RESIDENTIAL 592 AMENITY	(21) 1-BR UNITS	SECOND FLOOR	27,095 GSF FLOOR AREA 22,158 SF RESIDENTIAL 950 SF AMENITY	(28) 1-BR UNITS	SECOND FLOOR	19,950 GSF FLOOR AREA 16,165 SF RESIDENTIAL 870 SF AMENITY	(20) 1-BR UNITS
THIRD FLOOR	21,271 GSF FLOOR AREA 16,972 SF RESIDENTIAL 592 SF AMENITY	(21) 1-BR UNITS	THIRD FLOOR	27,095 GSF FLOOR AREA 22,158 SF RESIDENTIAL 950 SF AMENITY	(28) 1-BR UNITS	THIRD FLOOR	19,950 GSF FLOOR AREA 16,165 SF RESIDENTIAL 870 SF AMENITY	(20) 1-BR UNITS
TOTAL AREA	67,860 GSF	(61) 1-BR UNITS	TOTAL	80,865 GSF	(80) 1-BR UNITS	TOTAL	59,750 GSF	(59) 1-BR UNITS

Walnut Street Affordable Housing

BUILDING 2

FOXBOROUGH, MA 02035

PROJECT

The Walnut Street Joint Venture Group

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STRUCTURAL



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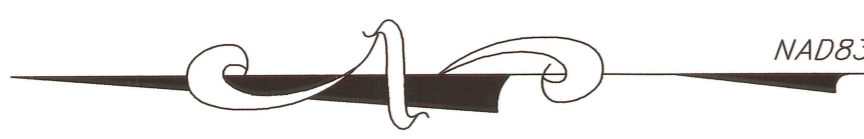
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03/24/2023	Revised Permit Set

REVISIONS ON SHEET

SCALE	UTILITE PROJECT NUMBER
As indicated	2212

COVER SHEET

GO.00



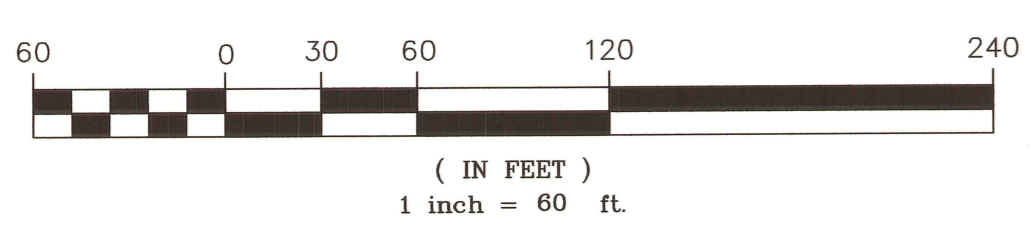
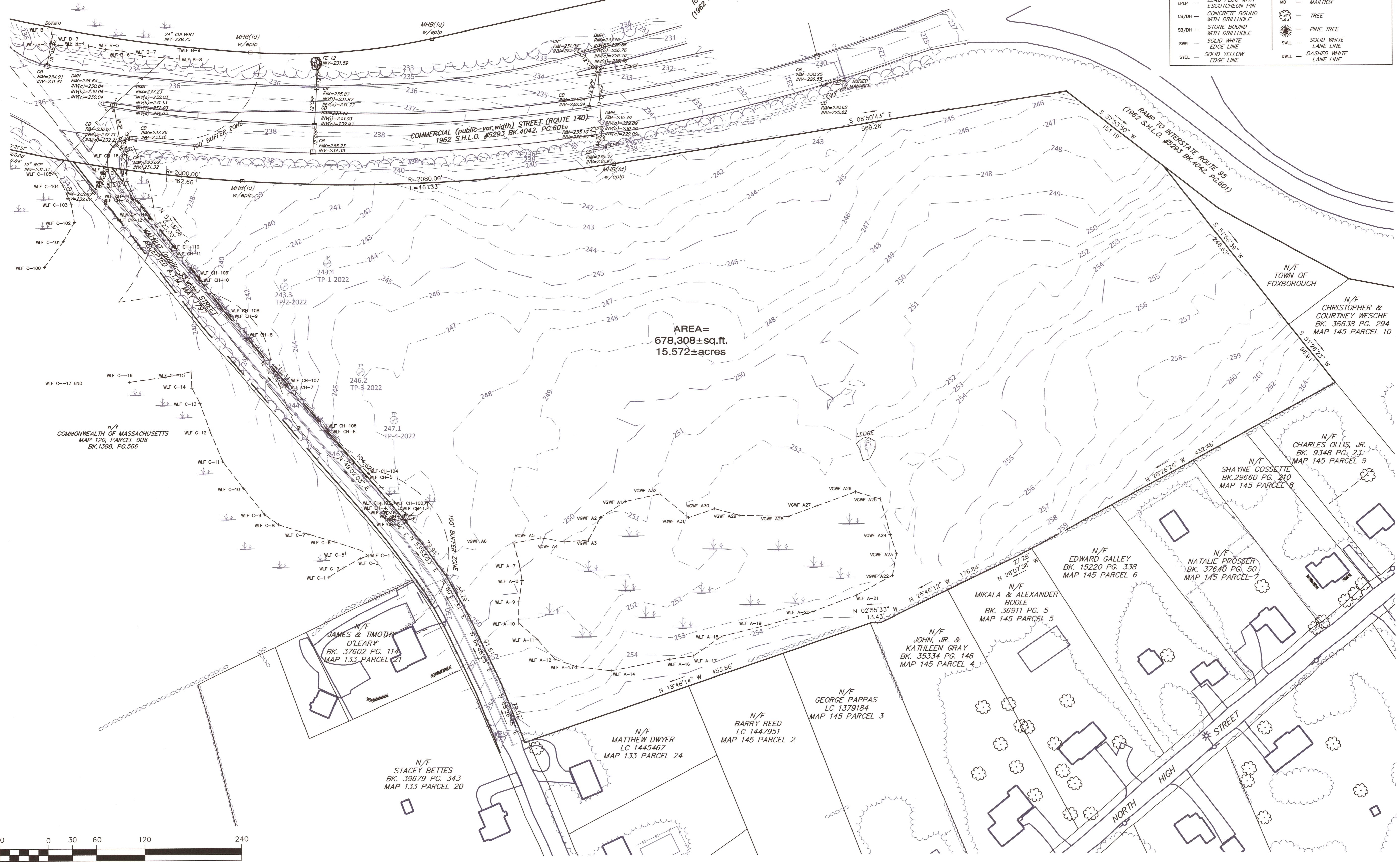
n/f
FOXBOROUGH HOUSING AUTHORITY
MAP 133, PARCEL 022
BK.35424, PG.378

RAMP OFF INTERSTATE ROUTE 95
(1982 S.H.L.O. #293 BK.4042, PG.601)

- NOTES**
1. ELEVATIONS, IN FEET, ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88). HORIZONTAL DATUM IS BASED ON NORTH AMERICAN DATUM 1983 (NAD 83). CONTOUR INTERVAL IS 1 FOOT. SURVEY PERFORMED BETWEEN JANUARY 2020 AND MAY 2022.
 2. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM PLAN PREPARED FOR DIVISION OF CAPITAL ASSET MANAGEMENT AND MAINTENANCE, PREPARED BY: BEALS & THOMAS, DATED: JUNE 9, 2015, RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 661, PAGE 90.
 3. WETLAND FLAGS WERE PLACED BY PARE CORPORATION ON MAY 17, 2022 AND WERE LOCATED FROM AN ON THE GROUND SURVEY.

KEY:

HYDRANT	STONE WALL
WATER GATE	ELECTRIC HAND HOLE
WATER SERVICE	UTILITY POLE
GAS GATE	LIGHT
DRAIN MANHOLE	CONC BOLLARD
SEWER MANHOLE	GUY WIRE
EXISTING WELL	SIGN
UNDERGROUND TELE.	SLOPED GRANITE CURB
UNDERGROUND DRAIN	SLOPED METAL CURB
UNDERGROUND GAS	VERTICAL CONCRETE CURB
UNDERGROUND ELEC.	REINFORCED CONCRETE PIPE
LEAD PLUG WITH ESCUTCHEON PIN	CORRUGATED PLASTIC PIPE
CONCRETE BOUND WITH DRILLHOLE	MAILBOX
STONE BOUND WITH DRILLHOLE	TREE
SOLID WHITE EDGE LINE	PINE TREE
SOLID YELLOW EDGE LINE	SOLID WHITE LANE LINE
	DASHED WHITE LANE LINE

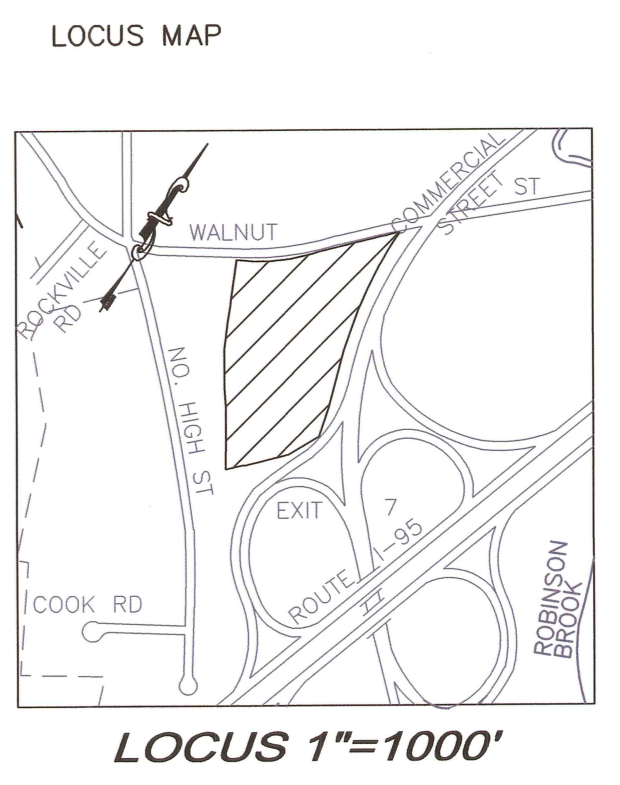


PROJECT:
**Walnut Street
Foxborough
Massachusetts**

PREPARED FOR:
**Weston & Sampson
55 Walkers Brook Drive
Suite 100
Reading, MA 01867**



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508-543-3939

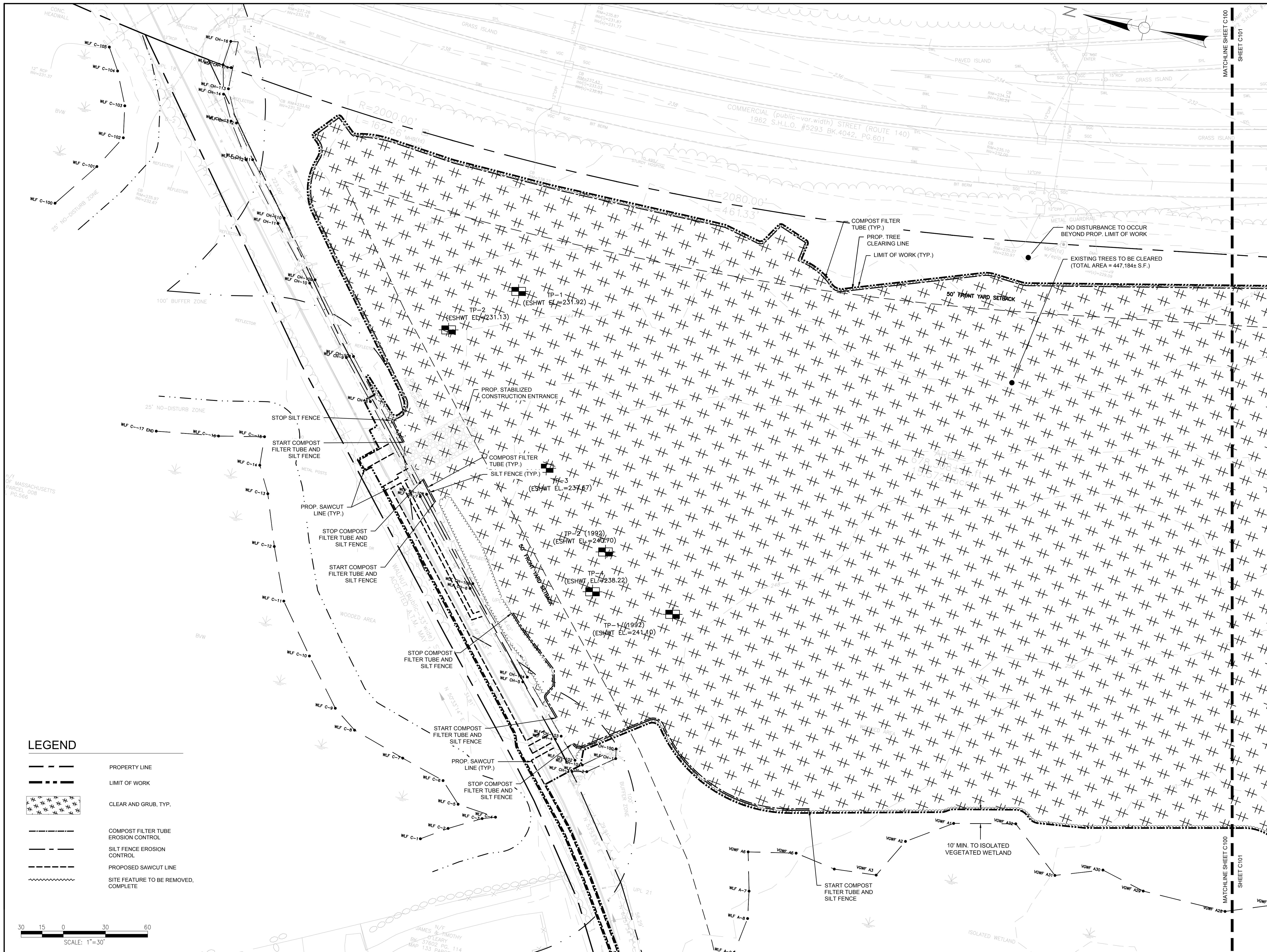


- REFERENCES**
- DEED REF:**
BK.35424, PG.378
- PLAN REF:**
PB.661, PG.90
- ASSESSOR'S REF:**
MAP 133, PARCEL 023
- ZONING REF:**
RESIDENTIAL & AGRICULTURAL (R40)



DRAWING TITLE
**EXISTING
CONDITIONS PLAN**

SCALE: 1" = 60'
MAY 25, 2022 SHEET NUMBER
V101



- LEGEND**
- PROPERTY LINE
 - - - - - LIMIT OF WORK
 - ✕✕✕✕ CLEAR AND GRUB, TYP.
 - COMPOST FILTER TUBE EROSION CONTROL
 - SILT FENCE EROSION CONTROL
 - PROPOSED SAWCUT LINE
 - ~~~~~ SITE FEATURE TO BE REMOVED, COMPLETE

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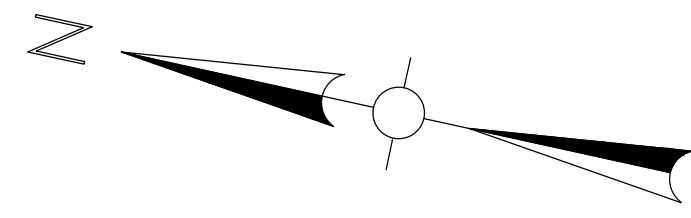
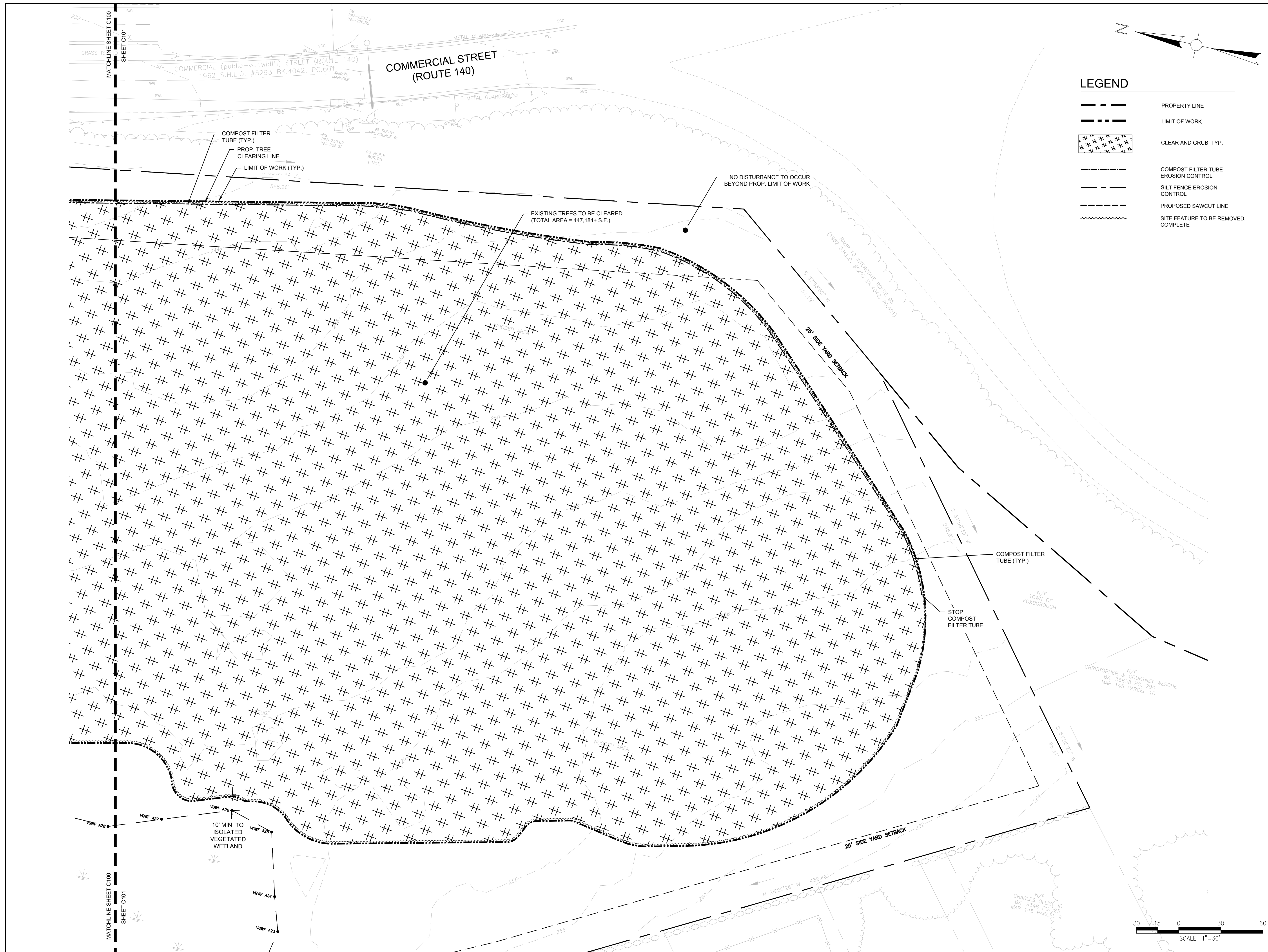
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REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER
Z212

EROSION, SEDIMENTATION CONTROL, & DEMOLITION PLAN (NORTH)

C100



LEGEND

	PROPERTY LINE
	LIMIT OF WORK
	CLEAR AND GRUB, TYP.
	COMPOST FILTER TUBE EROSION CONTROL
	SILT FENCE EROSION CONTROL
	PROPOSED SAWCUT LINE
	SITE FEATURE TO BE REMOVED, COMPLETE

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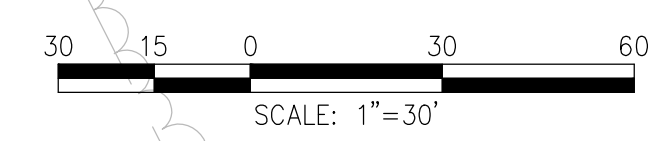
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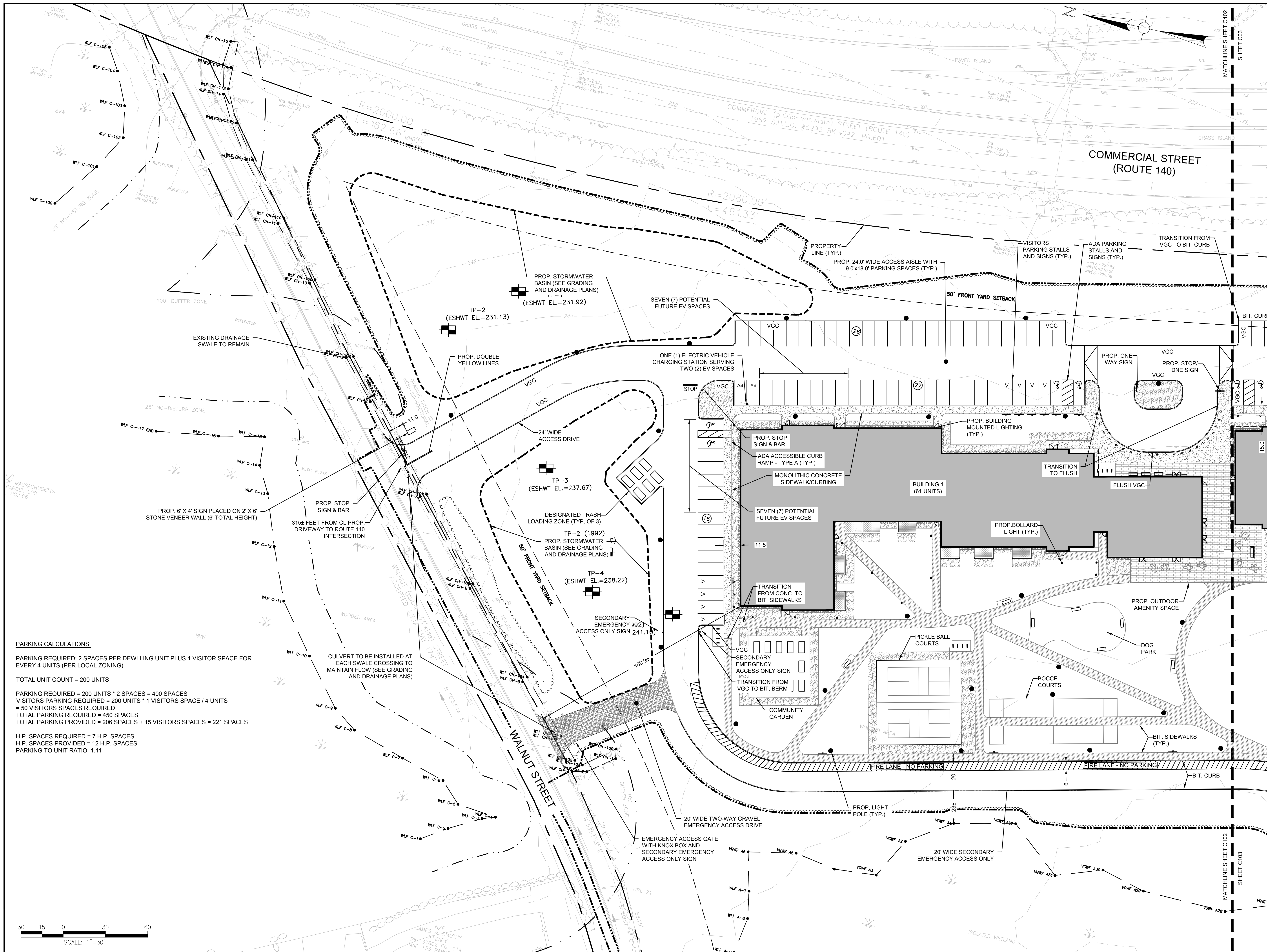
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SCALE	UTILITE PROJECT NUMBER
	2212

EROSION, SEDIMENTATION CONTROL, & DEMOLITION PLAN (SOUTH)

C101





PARKING CALCULATIONS:

PARKING REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)

TOTAL UNIT COUNT = 200 UNITS

PARKING REQUIRED = 200 UNITS * 2 SPACES = 400 SPACES
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 TOTAL PARKING PROVIDED = 206 SPACES + 15 VISITORS SPACES = 221 SPACES

H.P. SPACES REQUIRED = 7 H.P. SPACES
 H.P. SPACES PROVIDED = 12 H.P. SPACES
 PARKING TO UNIT RATIO: 1.11

SCALE: 1"=30'

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FOXBOROUGH, MA 02035 PROJECT

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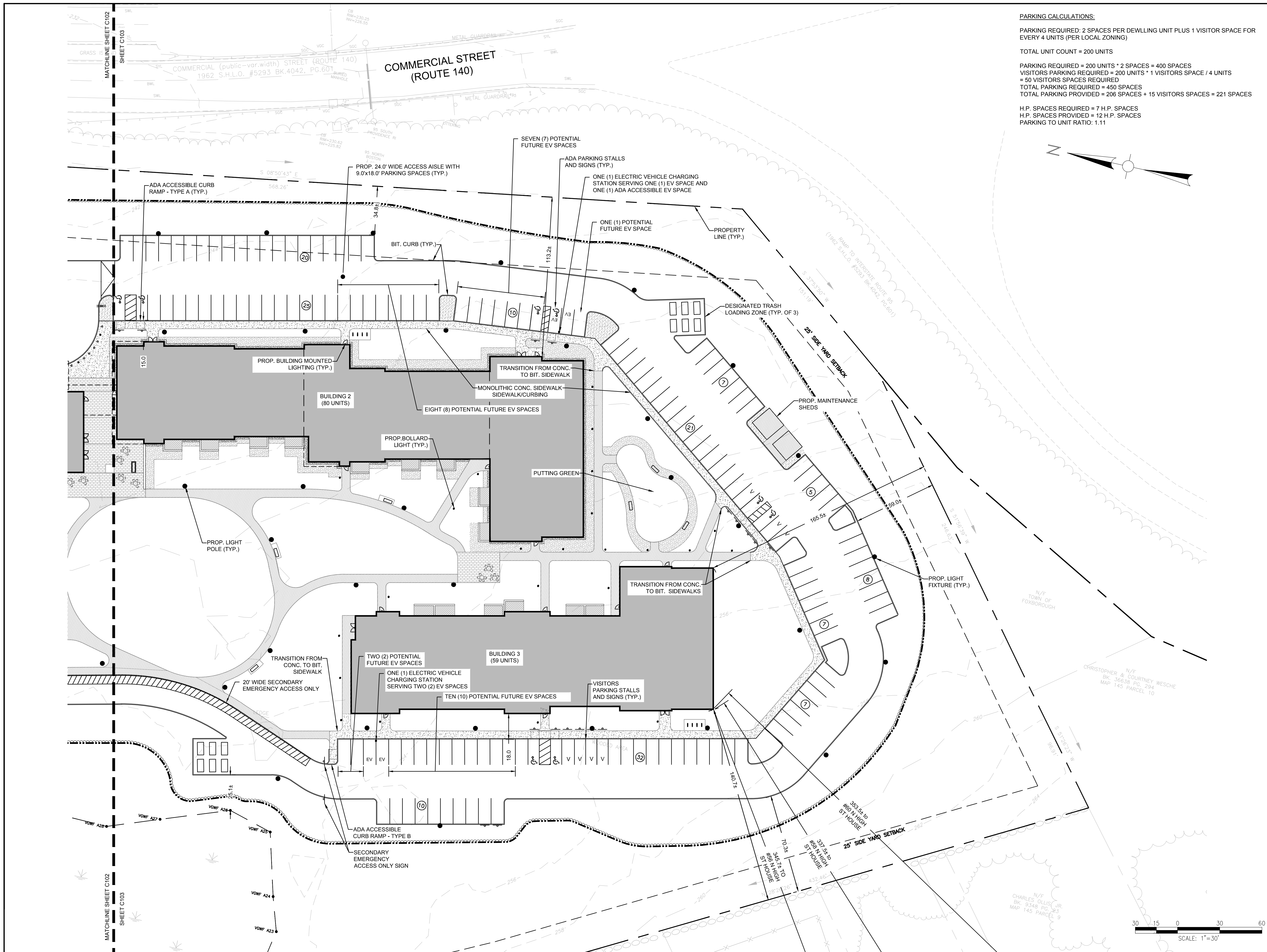
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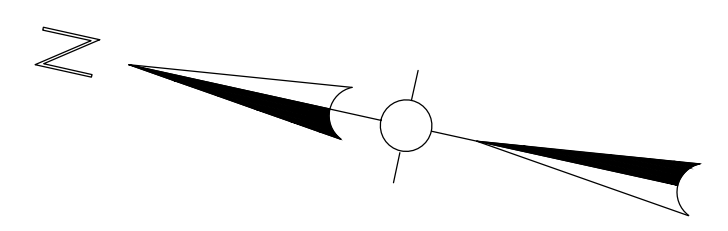
SCALE UTILITE PROJECT NUMBER 2212

SITE PLAN (BUILDING ONE)

C102



PARKING CALCULATIONS:
 PARKING REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)
 TOTAL UNIT COUNT = 200 UNITS
 PARKING REQUIRED = 200 UNITS * 2 SPACES = 400 SPACES
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 H.P. SPACES PROVIDED = 12 H.P. SPACES
 PARKING TO UNIT RATIO: 1.11



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FOXBOROUGH, MA 02035 PROJECT

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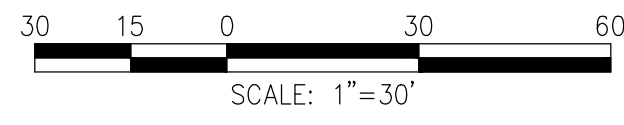
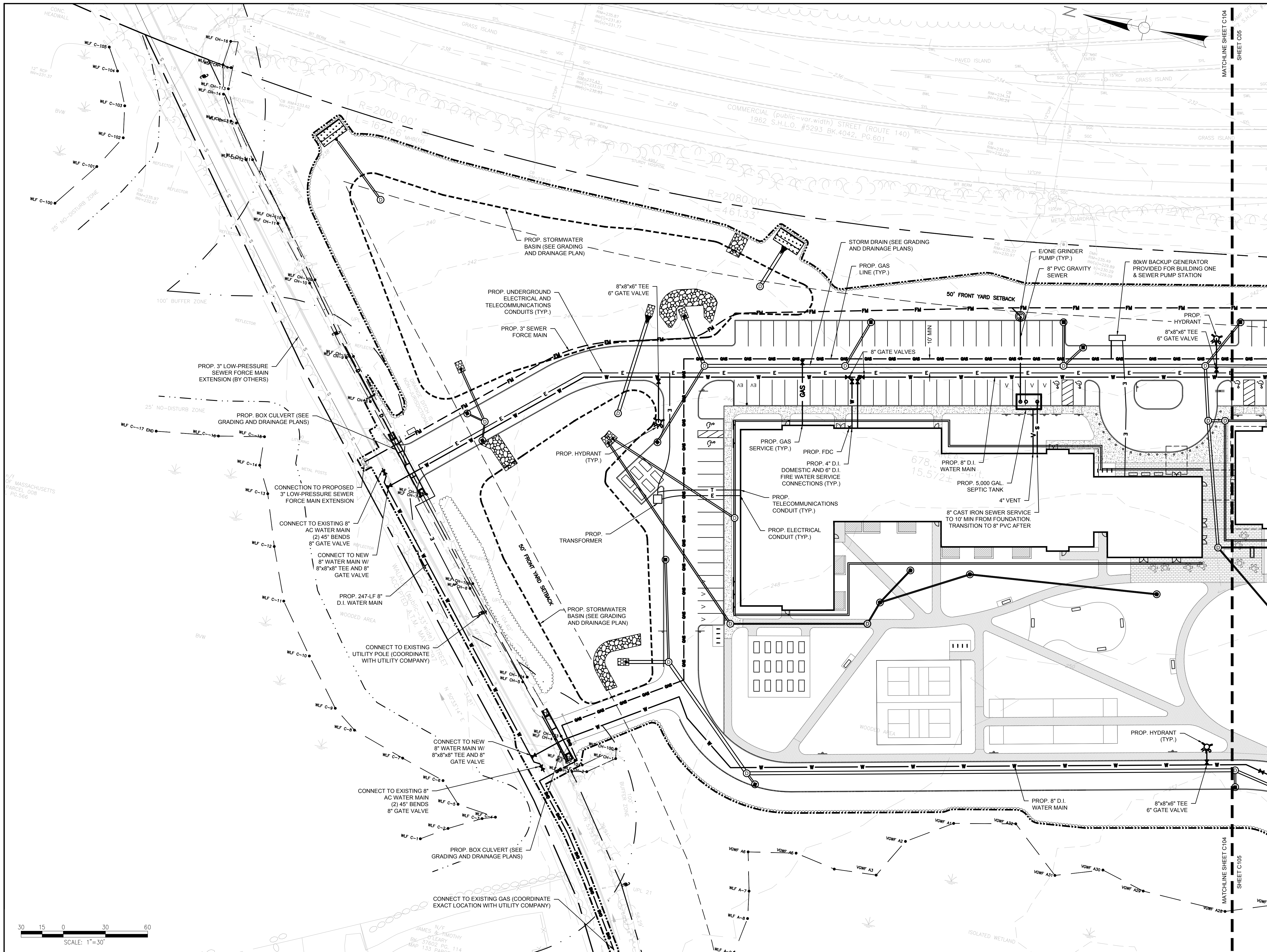
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SITE PLAN
 (BUILDINGS TWO
 AND THREE)

C103



Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

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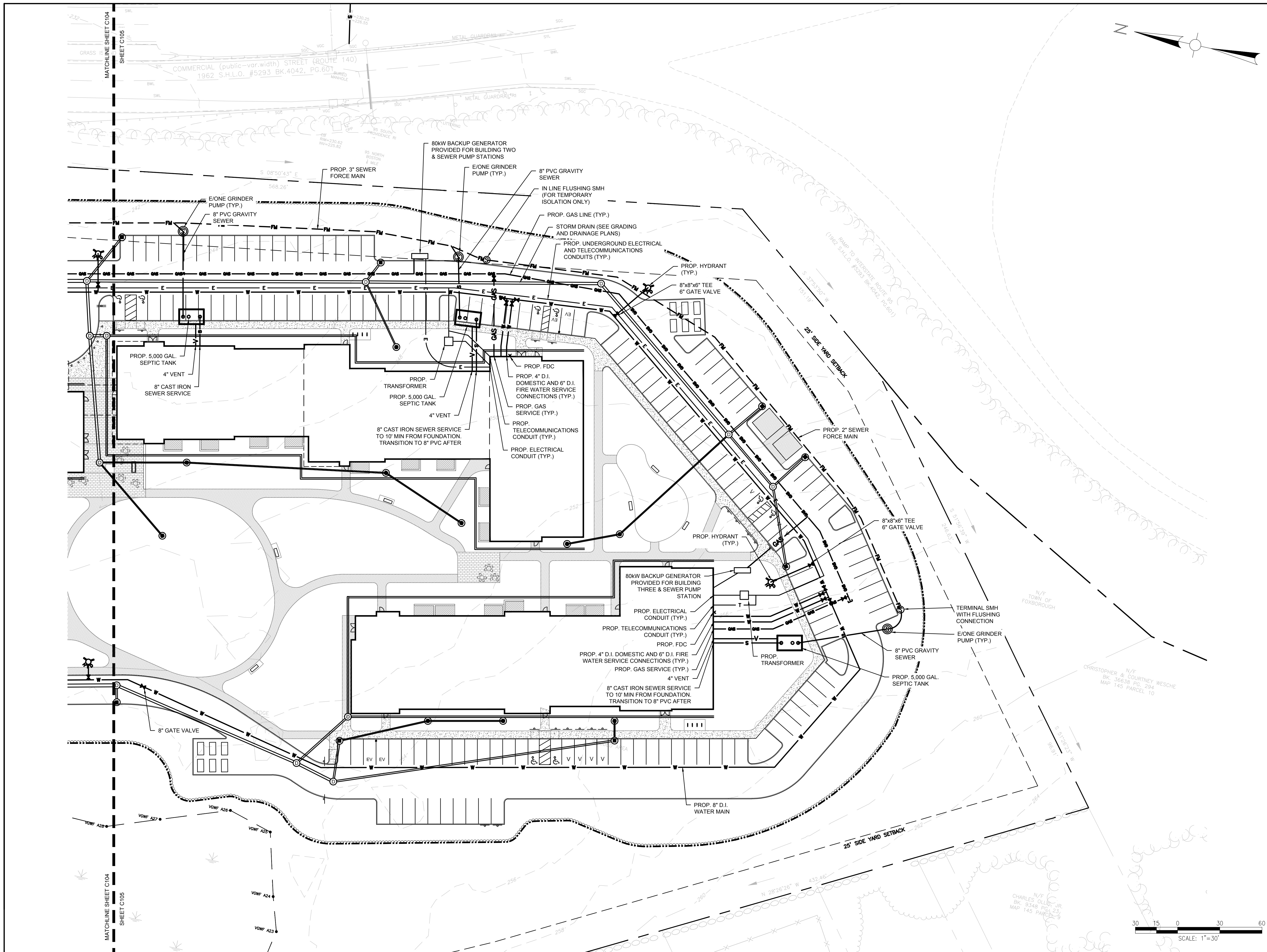
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SCALE UTILITE PROJECT NUMBER
Z212

UTILITY PLAN (BUILDING ONE)

C104



**Walnut Street
Affordable Housing**

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint
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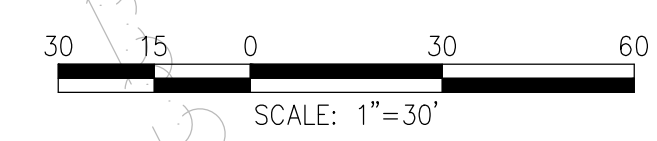
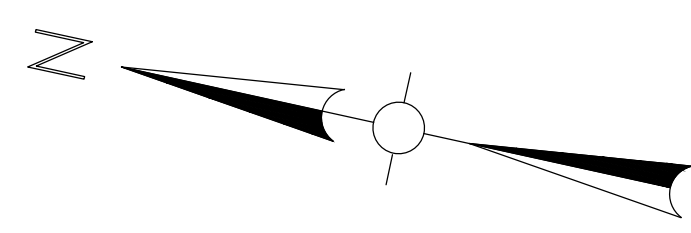
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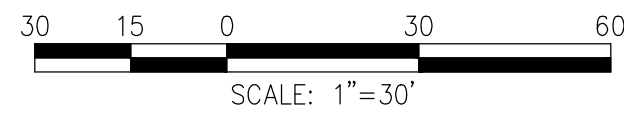
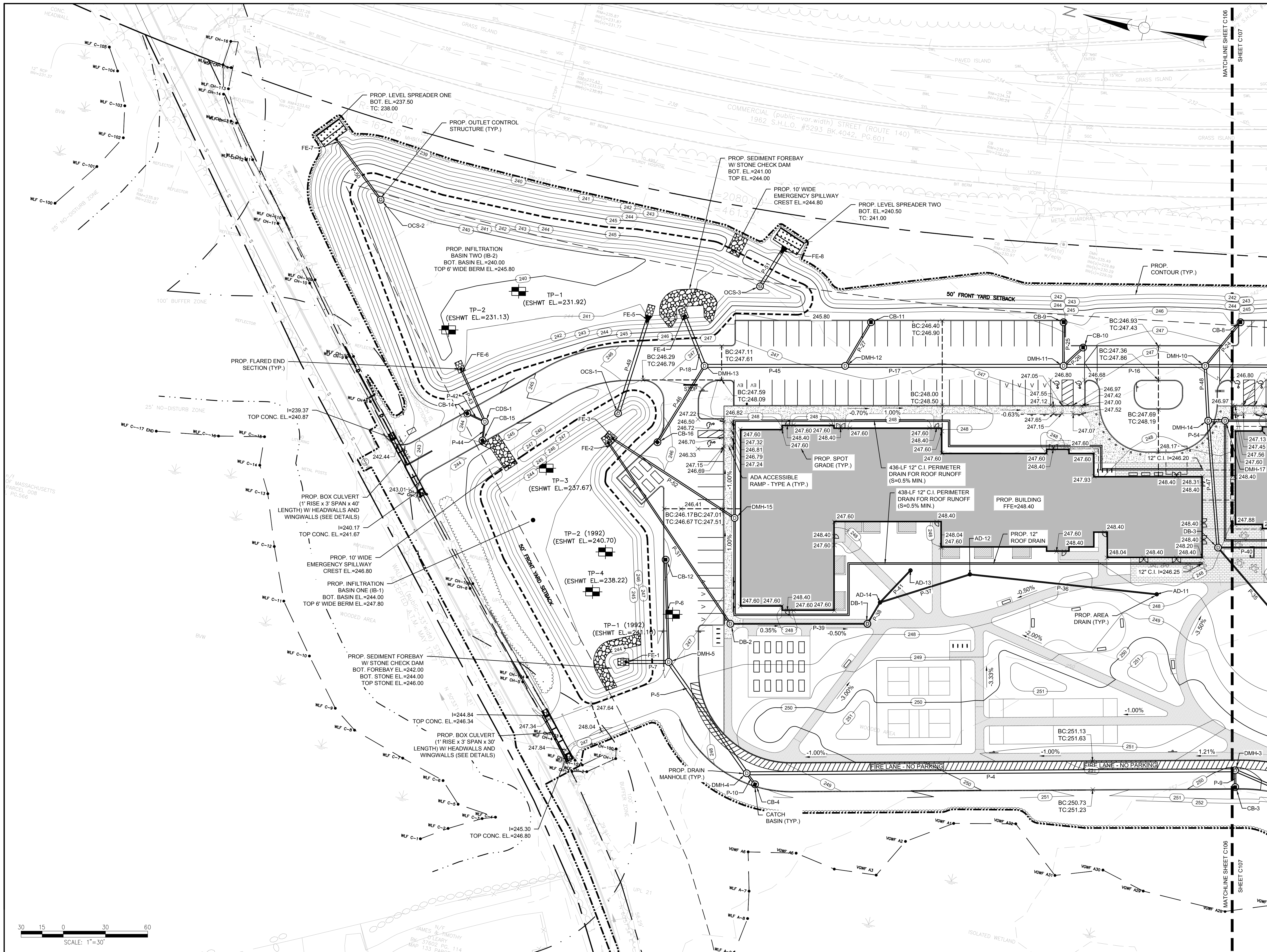
REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER
2212

**UTILITY PLAN
(BUILDINGS TWO AND
THREE)**

C105





Walnut Street Affordable Housing

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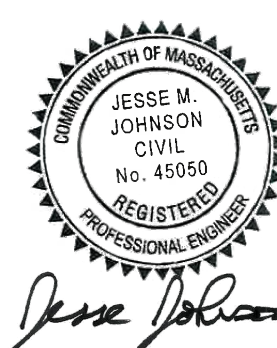
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NEWTON, MA 02465
P 617 544 5477

SPECIFICATIONS

RSE ASSOCIATES

63 PLEASANT STREET
WATERTOWN, MA 02472
P 617 926 9300

STRUCTURAL



Jesse Johnson

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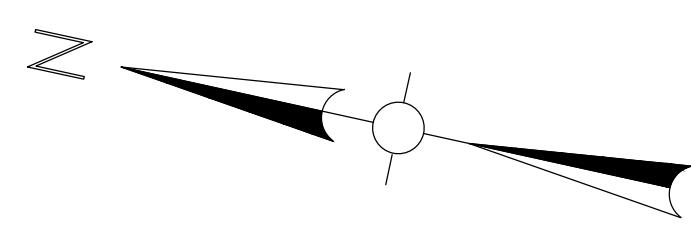
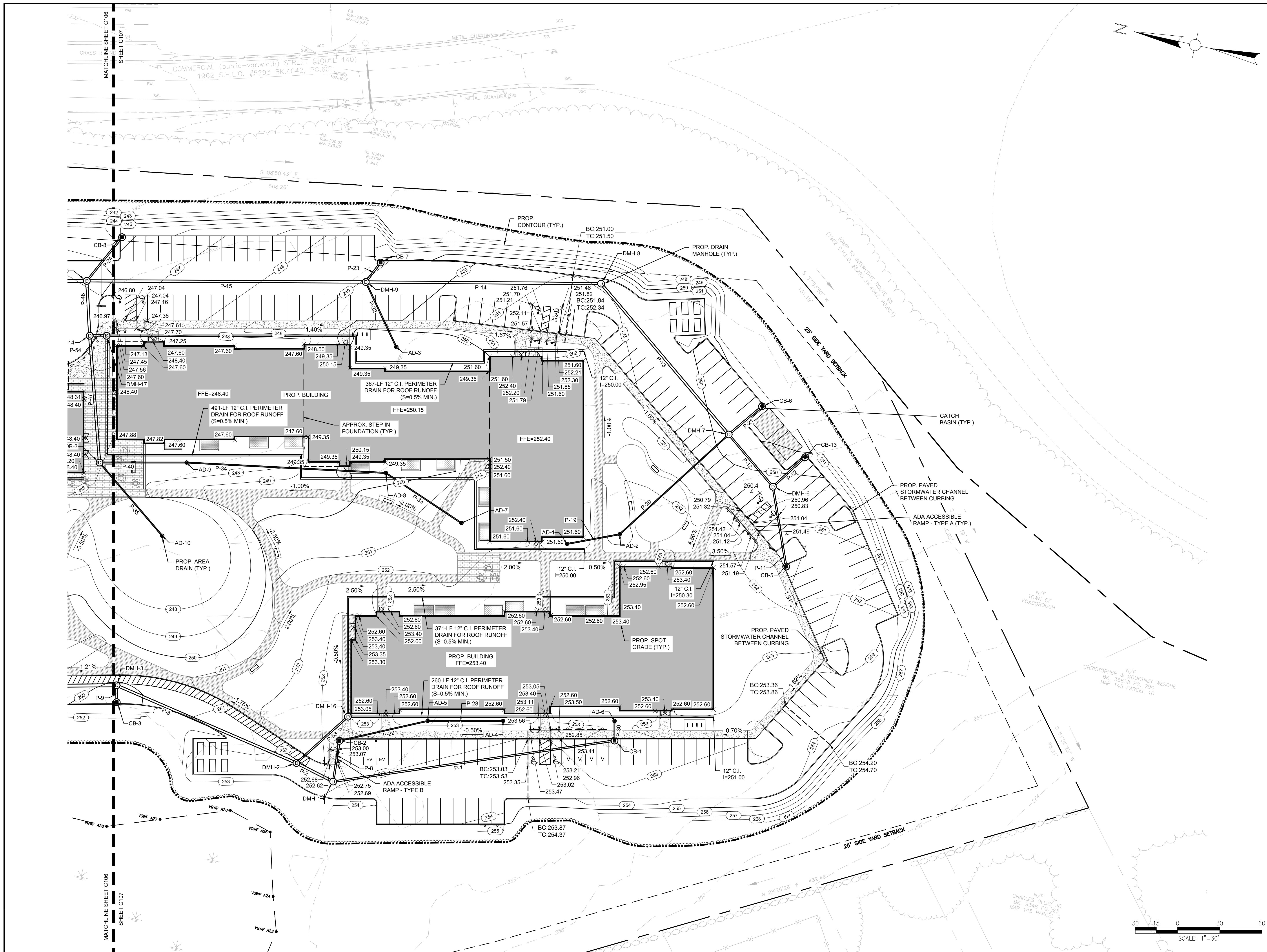
DATE	REVISION
12/09/2022	Pricing Set
03/24/2023	Revised Permit Set

REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER
2212

GRADING AND DRAINAGE PLAN (BUILDING ONE)

C106



Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

536 GRANITE ST
BRAintree, MA 02184
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BF&A

17 BRIAN ROAD
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REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER
2212

GRADING AND DRAINAGE PLAN (BUILDINGS TWO AND THREE)

C107

DRAINAGE STRUCTURE TABLE				
NAME	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
AD-1	251.50		I=248.50' (AD-2)	30" NYLOPLAST YARD DRAIN
AD-2	251.50	I=248.31' (AD-1)	I=248.31' (DMH-7)	30" NYLOPLAST YARD DRAIN
AD-3	249.00		I=246.00' (DMH-9)	30" NYLOPLAST YARD DRAIN
AD-4	252.35		I=249.35' (AD-5)	30" NYLOPLAST YARD DRAIN
AD-5	252.35	I=249.08' (AD-4)	I=249.08' (CB-2)	30" NYLOPLAST YARD DRAIN
AD-6	250.56		I=249.35' (CB-1)	30" NYLOPLAST YARD DRAIN
AD-7	251.35		I=249.68' (AD-8)	30" NYLOPLAST YARD DRAIN
AD-8	249.10	I=247.43' (AD-7)	I=247.43' (AD-9)	30" NYLOPLAST YARD DRAIN
AD-9	247.40	I=245.73' (AD-8)	I=245.73' (DB-3)	30" NYLOPLAST YARD DRAIN
AD-10	247.25		I=245.58' (DB-3)	30" NYLOPLAST YARD DRAIN
AD-11	247.80		I=246.13' (AD-12)	30" NYLOPLAST YARD DRAIN
AD-12	247.00	I=245.33' (AD-11)	I=245.33' (AD-14)	30" NYLOPLAST YARD DRAIN
AD-13	247.25		I=245.58' (AD-14)	30" NYLOPLAST YARD DRAIN
AD-14	247.25	I=245.00' (AD-12) I=245.42' (AD-13)	I=245.00' (DB-1)	30" NYLOPLAST YARD DRAIN
CB-1	252.34	I=249.28' (AD-6)	I=249.28' (DMH-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-2	252.36	I=248.76' (AD-5)	I=248.76' (DMH-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-3	249.71		I=246.71' (DMH-3)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-4	248.43		I=245.43' (DMH-4)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-5	250.78		I=247.78' (DMH-6)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-6	249.15		I=246.15' (DMH-7)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-7	248.92		I=245.92' (DMH-9)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-8	245.82		I=243.82' (DMH-10)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-9	245.86		I=242.86' (DMH-11)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-10	246.11		I=243.11' (DMH-11)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-11	246.05		I=243.05' (DMH-12)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-12	245.92		I=243.25' (DMH-5)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-13	249.64		I=246.64' (DMH-6)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-14	244.04		I=241.37' (CDS-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-15	244.04		I=241.37' (CDS-1)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CB-16	245.72		I=242.72' (DMH-13)	CONCENTRIC CYLINDRICAL STRUCTURE RECTANGULAR FRAME
CDS-1	244.40	I=241.30' (CB-14) I=241.30' (CB-15)	I=241.30' (FE-6)	CONTECH CDS-2015-4-C UNIT
DB-1	247.75	I=244.91' (AD-14)	I=244.91' (DB-2)	30" NYLOPLAST DRAIN BASIN
DB-2	247.88	I=244.42' (DB-1)	I=244.42' (FE-2)	30" NYLOPLAST DRAIN BASIN
DB-3	248.05	I=245.42' (AD-9) I=245.24' (AD-10)	I=245.24' (DMH-14)	30" NYLOPLAST DRAIN BASIN
DMH-1	252.89	I=248.27' (CB-1) I=248.61' (CB-2)	I=248.27' (DMH-2)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-2	252.29	I=248.12' (DMH-1) I=248.19' (DMH-16)	I=248.12' (DMH-3)	CONCENTRIC CYLINDRICAL STRUCTURE

DRAINAGE STRUCTURE TABLE				
NAME	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
DMH-3	249.95	I=247.42' (DMH-2) I=246.65' (CB-3)	I=246.65' (DMH-4)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-4	248.45	I=244.91' (DMH-3) I=245.38' (CB-4)	I=244.91' (DMH-5)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-5	246.92	I=244.43' (DMH-4) I=242.89' (CB-12)	I=242.89' (FE-1)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-6	250.28	I=247.49' (CB-5) I=246.48' (CB-13)	I=246.48' (DMH-7)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-7	249.77	I=246.24' (DMH-6) I=247.78' (AD-2) I=246.00' (CB-6)	I=246.00' (DMH-8)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-8	250.92	I=245.30' (DMH-7)	I=245.30' (DMH-9)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-9	249.05	I=244.46' (DMH-8) I=245.74' (AD-3) I=245.83' (CB-7)	I=244.46' (DMH-10)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-10	246.93	I=243.47' (DMH-9) I=243.62' (CB-8) I=244.53' (DMH-14)	I=243.47' (DMH-11)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-11	246.48	I=242.97' (DMH-10) I=242.70' (CB-9) I=243.01' (CB-10)	I=242.70' (DMH-12)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-12	246.81	I=241.92' (DMH-11) I=242.87' (CB-11)	I=241.92' (DMH-13)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-13	247.30	I=241.42' (DMH-12) I=242.40' (CB-16)	I=241.42' (FE-4)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-14	247.53	I=244.79' (DB-3) I=244.73' (DMH-17)	I=244.73' (DMH-10)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-15	247.60	I=244.02' (RD-BLD-1-WEST) I=244.02' (RD-BLD-1-EAST)	I=244.02' (FE-3)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-16	253.00	I=248.43' (RD-BLD-3-WEST) I=248.43' (RD-BLD-3-EAST)	I=248.43' (DMH-2)	CONCENTRIC CYLINDRICAL STRUCTURE
DMH-17	247.50	I=244.79' (RD-BLD-2-EAST) I=244.79' (RD-BLD-2-WEST)	I=244.79' (DMH-14)	CONCENTRIC CYLINDRICAL STRUCTURE
FE-1	243.85	I=242.75' (DMH-5)		FLARED END SECTION
FE-2	244.76	I=243.66' (DB-2)		FLARED END SECTION
FE-3	244.62	I=243.51' (DMH-15)		FLARED END SECTION
FE-4	242.33	I=241.22' (DMH-13)		FLARED END SECTION
FE-5	243.18	I=241.00' (OCS-1)		FLARED END SECTION
FE-6	242.21	I=241.11' (CDS-1)		FLARED END SECTION
FE-7	239.10	I=238.00' (OCS-2)		FLARED END SECTION
FE-8	243.31	I=241.13' (OCS-3)		FLARED END SECTION
FE-9	246.75			NULL STRUCTURE
FE-10	246.75			NULL STRUCTURE
FE-11	241.85			NULL STRUCTURE
FE-12	240.75			NULL STRUCTURE
OCS-1	246.20		I=241.38' (FE-5)	OCS TYPE II - 10"H X 36"L ORIFICE I=245.20
OCS-2	244.30		I=238.25' (FE-7)	OCS TYPE II - V NOTCH WEIR 1.5H X 1.5W I=241.60
OCS-3	243.50		I=241.28' (FE-8)	

PIPE TABLE				
PIPE	PIPE LOCATION	SIZE & TYPE	LENGTH	SLOPE
P-1	CB-1 TO DMH-1	12" HDPE	198 LF	0.005
P-2	DMH-1 TO DMH-2	15" HDPE	25 LF	0.005
P-3	DMH-2 TO DMH-3	18" HDPE	136 LF	0.005
P-4	DMH-3 TO DMH-4	24" HDPE	343 LF	0.005
P-5	DMH-4 TO DMH-5	24" HDPE	93 LF	0.005
P-6	CB-12 TO DMH-5	12" HDPE	69 LF	0.005
P-7	DMH-5 TO FE-1	24" HDPE	26 LF	0.005
P-8	CB-2 TO DMH-1	12" HDPE	25 LF	0.005
P-9	CB-3 TO DMH-3	12" HDPE	8 LF	0.005
P-10	CB-4 TO DMH-4	12" HDPE	6 LF	0.005
P-11	CB-5 TO DMH-6	12" HDPE	54 LF	0.005
P-12	DMH-6 TO DMH-7	12" HDPE	45 LF	0.005
P-13	DMH-7 TO DMH-8	15" HDPE	136 LF	0.005
P-14	DMH-8 TO DMH-9	18" HDPE	163 LF	0.005
P-15	DMH-9 TO DMH-10	18" HDPE	194 LF	0.005
P-16	DMH-10 TO DMH-11	24" HDPE	97 LF	0.005
P-17	DMH-11 TO DMH-12	24" HDPE	151 LF	0.005
P-18	DMH-13 TO FE-4	24" HDPE	37 LF	0.005
P-19	AD-1 TO AD-2	8" HDPE	34 LF	0.005
P-20	AD-2 TO DMH-7	8" HDPE	101 LF	0.005
P-21	CB-6 TO DMH-7	12" HDPE	27 LF	0.005
P-22	AD-3 TO DMH-9	8" HDPE	47 LF	0.005
P-23	CB-7 TO DMH-9	12" HDPE	13 LF	0.005
P-24	CB-8 TO DMH-10	12" HDPE	36 LF	0.005
P-25	CB-9 TO DMH-11	12" HDPE	27 LF	0.005
P-26	CB-10 TO DMH-11	12" HDPE	15 LF	0.005
P-27	CB-11 TO DMH-12	12" HDPE	32 LF	0.005
P-28	AD-4 TO AD-5	8" HDPE	49 LF	0.005
P-29	AD-5 TO CB-2	8" HDPE	60 LF	0.005
P-30	AD-6 TO CB-1	8" HDPE	11 LF	0.005
P-31	DB-2 TO FE-2	12" HDPE	151 LF	0.005
P-32	CB-13 TO DMH-6	12" HDPE	27 LF	0.005
P-33	AD-7 TO AD-8	8" HDPE	61 LF	0.035
P-34	AD-8 TO AD-9	8" HDPE	139 LF	0.012
P-35	AD-10 TO DB-3	8" HDPE	65 LF	0.005
P-36	AD-11 TO AD-12	8" HDPE	130 LF	0.006
P-37	AD-12 TO AD-14	8" HDPE	64 LF	0.005
P-38	AD-14 TO DB-1	8" HDPE	14 LF	0.005
P-39	DB-1 TO DB-2	8" HDPE	93 LF	0.005
P-40	AD-9 TO DB-3	8" HDPE	58 LF	0.005
P-41	AD-13 TO AD-14	8" HDPE	28 LF	0.005
P-42	CB-14 TO CDS-1	8" HDPE	10 LF	0.005
P-43	CDS-1 TO FE-6	12" HDPE	37 LF	0.005
P-44	CB-15 TO CDS-1	8" HDPE	10 LF	0.005
P-45	DMH-12 TO DMH-13	24" HDPE	96 LF	0.005
P-46	CB-16 TO DMH-13	12" HDPE	60 LF	0.005
P-47	DB-3 TO DMH-14	15" HDPE	87 LF	0.005
P-48	DMH-14 TO DMH-10	18" HDPE	36 LF	0.005
P-49	OCS-1 TO FE-5	24" HDPE	68 LF	0.005
P-50	OCS-2 TO FE-7	12" HDPE	49 LF	0.005
P-51	OCS-3 TO FE-8	24" HDPE	29 LF	0.005
P-52	DMH-15 TO FE-3	12" HDPE	99 LF	0.005
P-53	DMH-16 TO DMH-2	12" HDPE	45 LF	0.005
P-54	DMH-17 TO DMH-14	15" HDPE	8 LF	0.005

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

536 GRANITE ST
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REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER 2212

DRAINAGE SCHEDULE

C108

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

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STRUCTURAL



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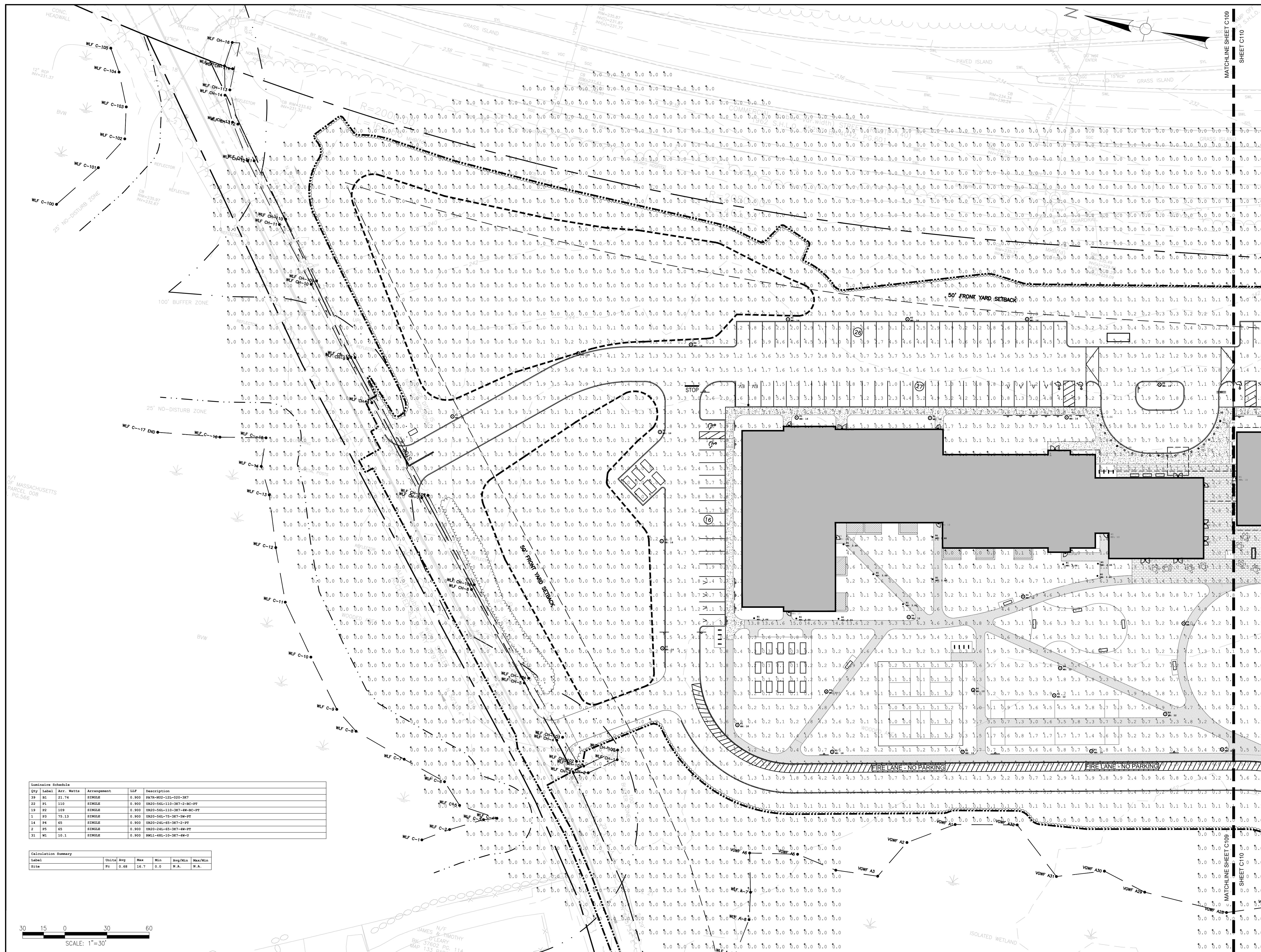
DATE	REVISION
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REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER
Z212

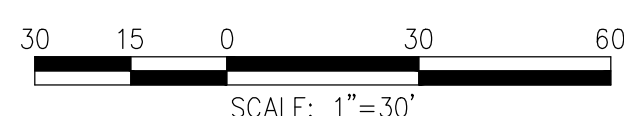
LIGHTING PLAN (BUILDING ONE)

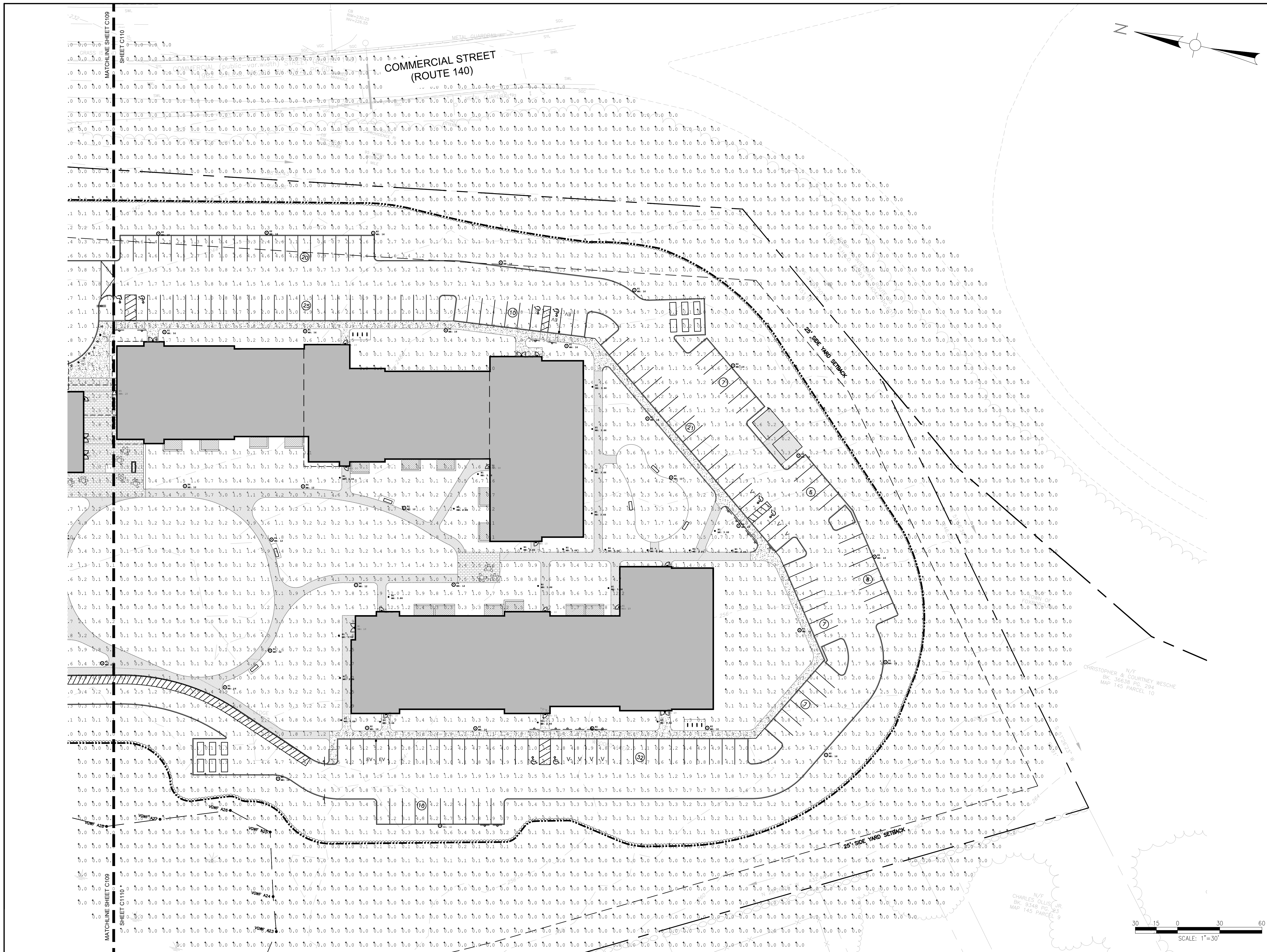
C109



Qty	Label	Arr.	Watts	Arrangement	ILP	Description
39	B1	21.74		SINGLE	0.900	PA78-902-121-020-3K7
22	P1	110		SINGLE	0.900	UR20-565-110-3K7-2-ABC-PP
19	P2	109		SINGLE	0.900	UR20-565-110-3K7-4M-BC-PP
1	P3	75.13		SINGLE	0.900	UR20-565-75-3K7-SM-PP
14	P4	65		SINGLE	0.900	UR20-245-65-3K7-2-PP
2	P5	65		SINGLE	0.900	UR20-245-65-3K7-4R-PP
31	W1	10.1		SINGLE	0.900	WRL1-480-10-3K7-4R-0

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	sq	0.48	16.7	0.0	N.A.	N.A.





**Walnut Street
Affordable Housing**

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint
Venture Group

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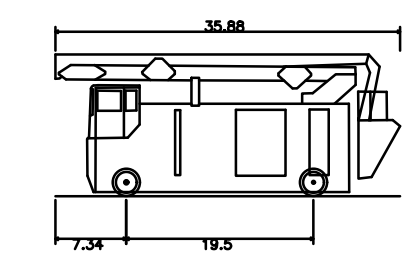
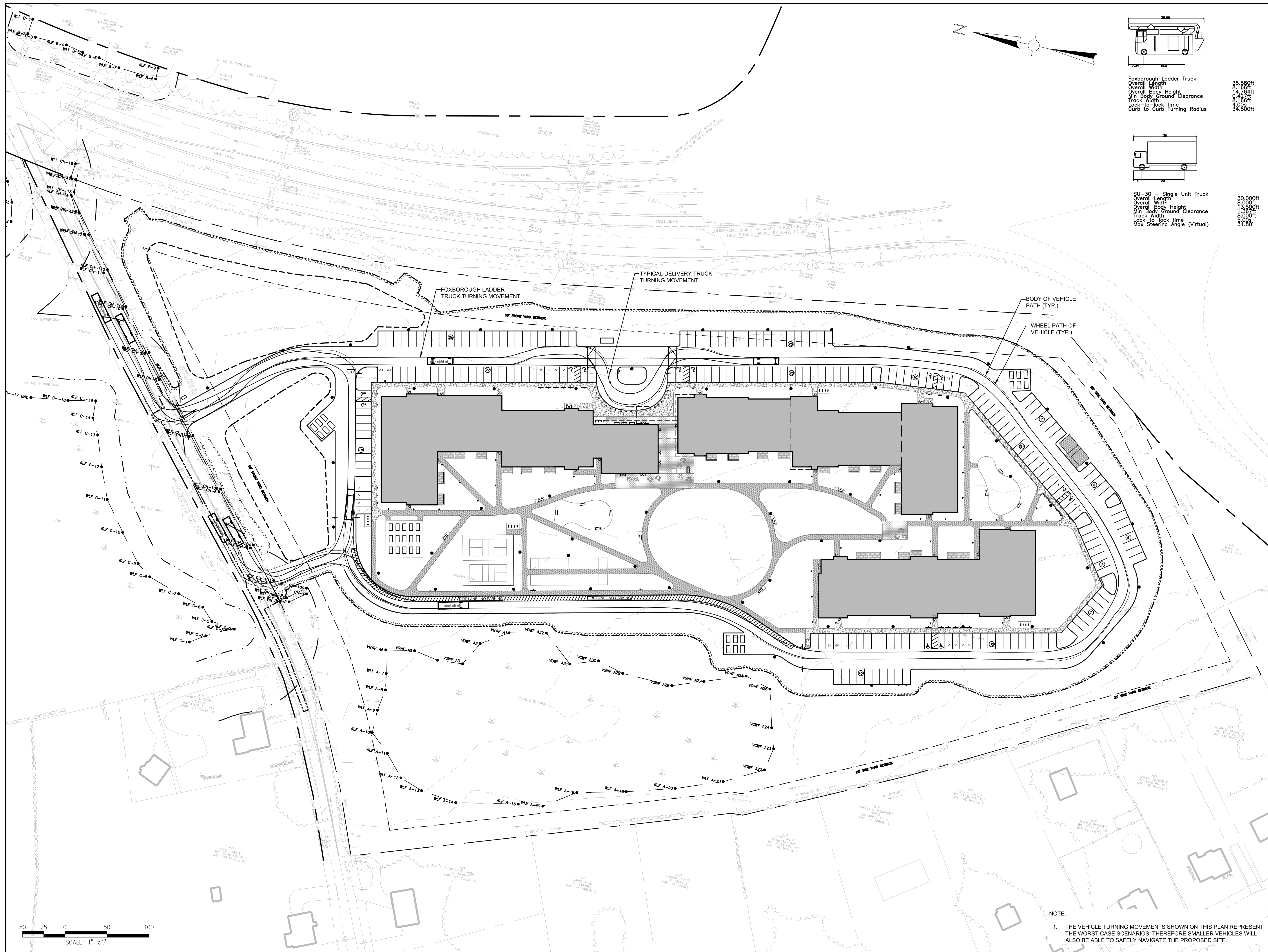
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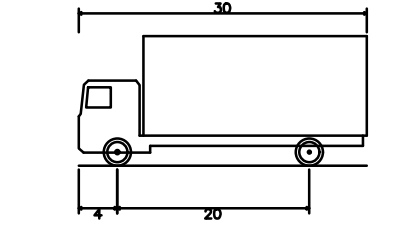
SCALE UTILITE PROJECT NUMBER
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**LIGHTING PLAN
(BUILDINGS TWO
AND THREE)**

C110



Foxborough Ladder Truck
 Overall Length 35.88ft
 Overall Width 8.18ft
 Overall Body Height 14.26ft
 Min Body Ground Clearance 8.42ft
 Track Width 8.06ft
 Lock-to-lock time 34.50ft
 Curb to Curb Turning Radius



SU-30 - Single Unit Truck
 Overall Length 30.00ft
 Overall Width 8.00ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 8.00ft
 Track Width 8.00ft
 Lock-to-lock time 31.80ft
 Max Steering Angle (Virtual)



NOTE:
 1. THE VEHICLE TURNING MOVEMENTS SHOWN ON THIS PLAN REPRESENT THE WORST CASE SCENARIOS, THEREFORE SMALLER VEHICLES WILL ALSO BE ABLE TO SAFELY NAVIGATE THE PROPOSED SITE.

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

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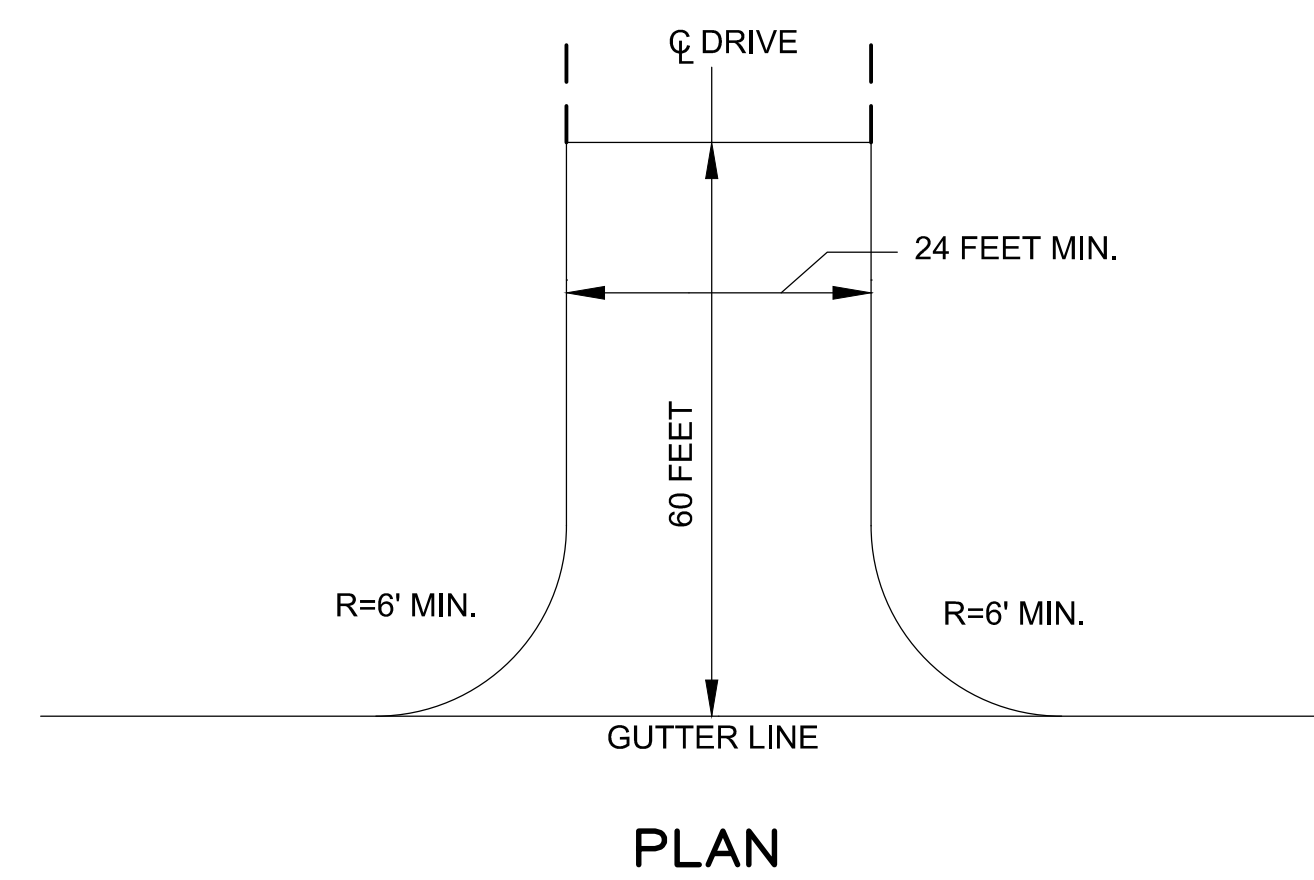
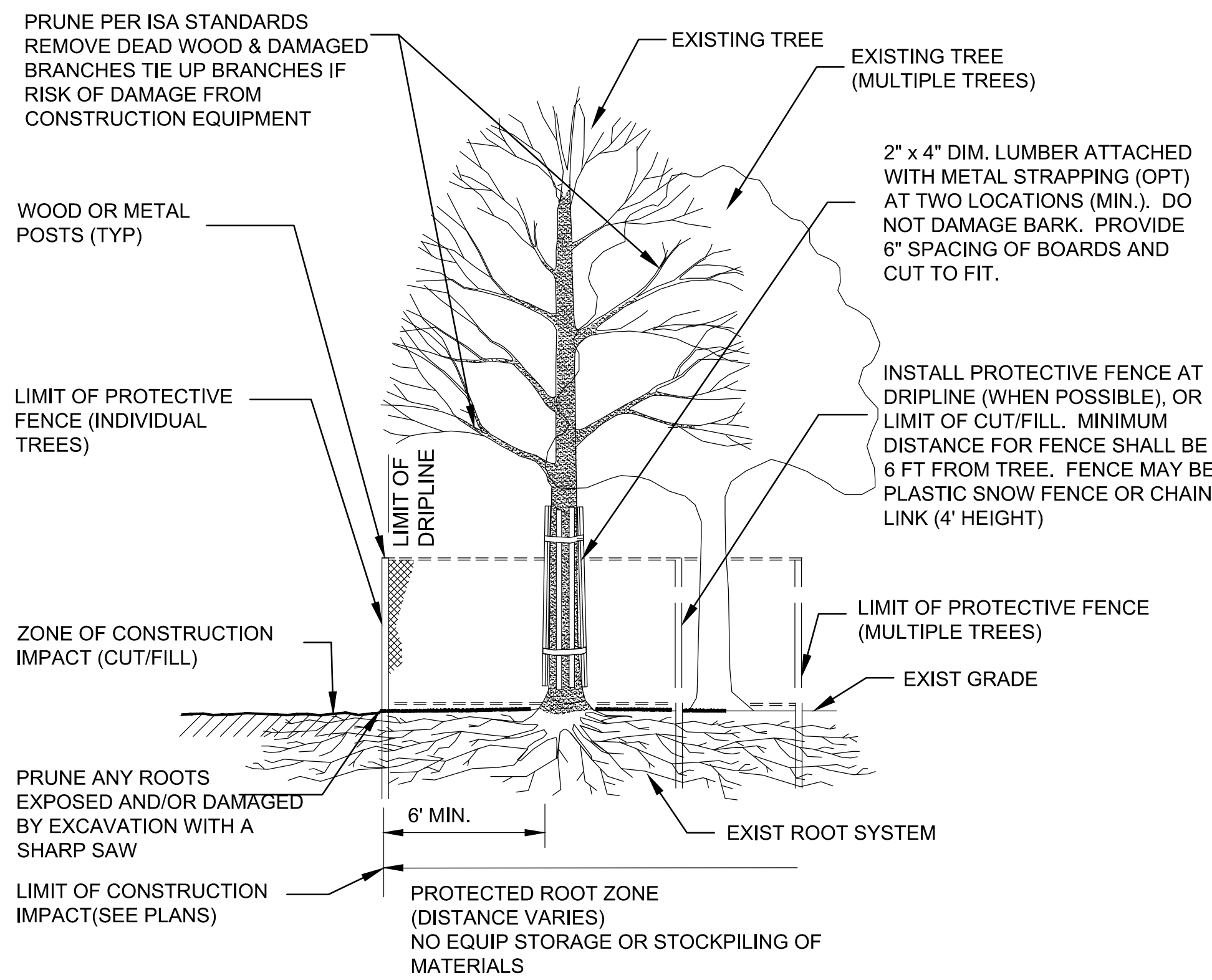
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03/24/2023	Revised Permit Set

REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER 2212

TURNING ANALYSIS

C112

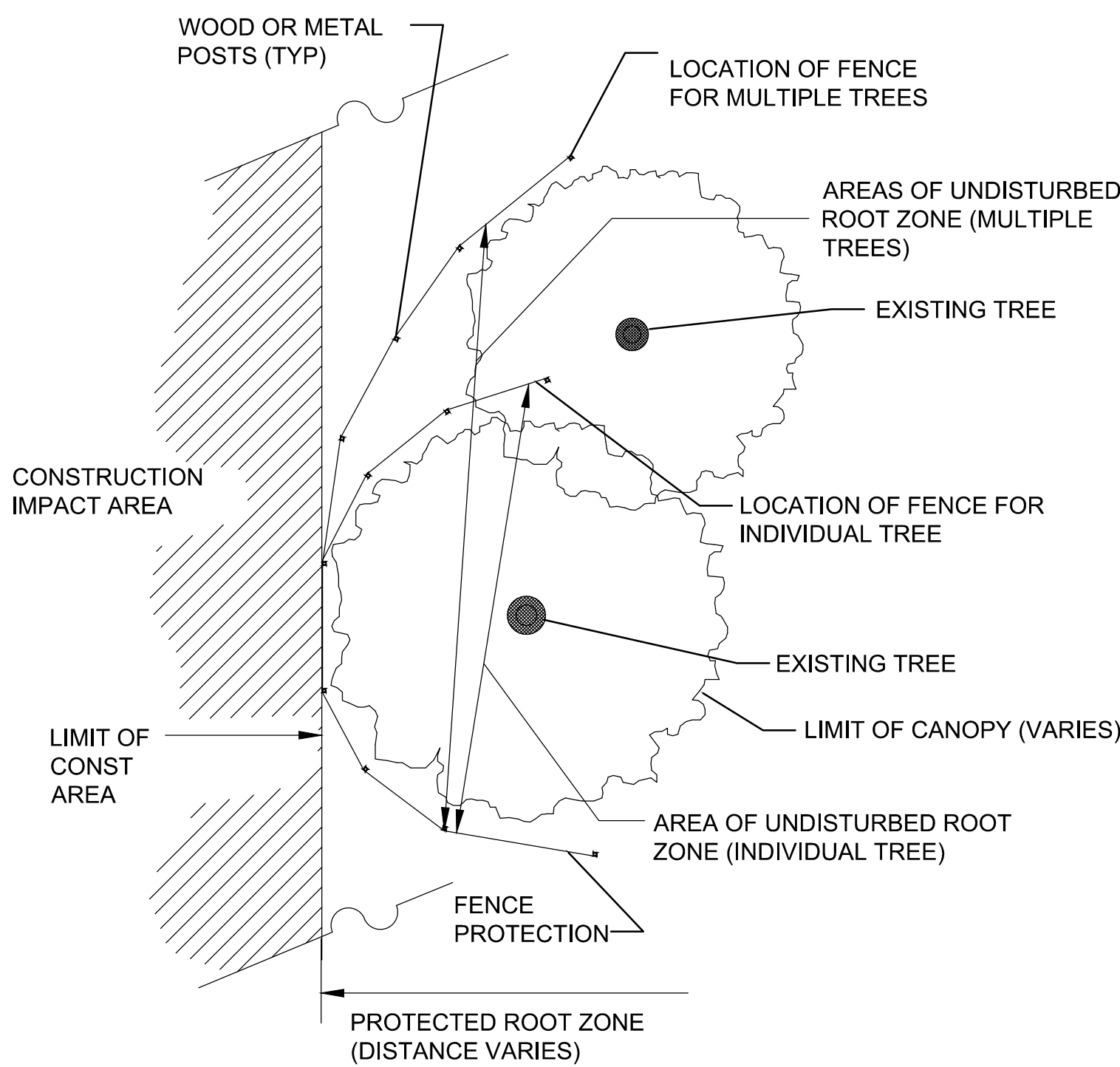


NOTES:

1. AT LEAST ONE CONSTRUCTION ENTRANCE SHALL BE PLACED AT EACH ENTRANCE OF THE SITE, THROUGHOUT CONSTRUCTION.
2. THE LOCATION OF THE CONSTRUCTION ENTRANCE(S) SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
3. CONSTRUCTION ENTRANCE(S) SHALL CONSIST OF 2" CRUSHED STONE PLACED AT A DEPTH OF A MINIMUM 8 INCHES PLACED OVER GEOTEXTILE FABRIC.
4. CONTRACTOR IS RESPONSIBLE FOR CLEARING OF ALL VEGETATION, ROOTS AND ALL OBSTRUCTIONS IN PREPARATION FOR GRADING AND COMPACTING PRIOR TO PLACEMENT OF GEOTEXTILE FABRIC AND CRUSHED STONE.
5. CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION AND ALL NECESSARY MAINTENANCE OF ALL ENTRANCES.
6. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SEDIMENTS OR ANY OTHER MATERIALS TRACKED ONTO THE STREET, AS WELL MAINTENANCE OF EROSION CONTROL MEASURES.

2 STABILIZED TEMPORARY CONSTRUCTION ENTRANCE

SCALE: N.T.S.

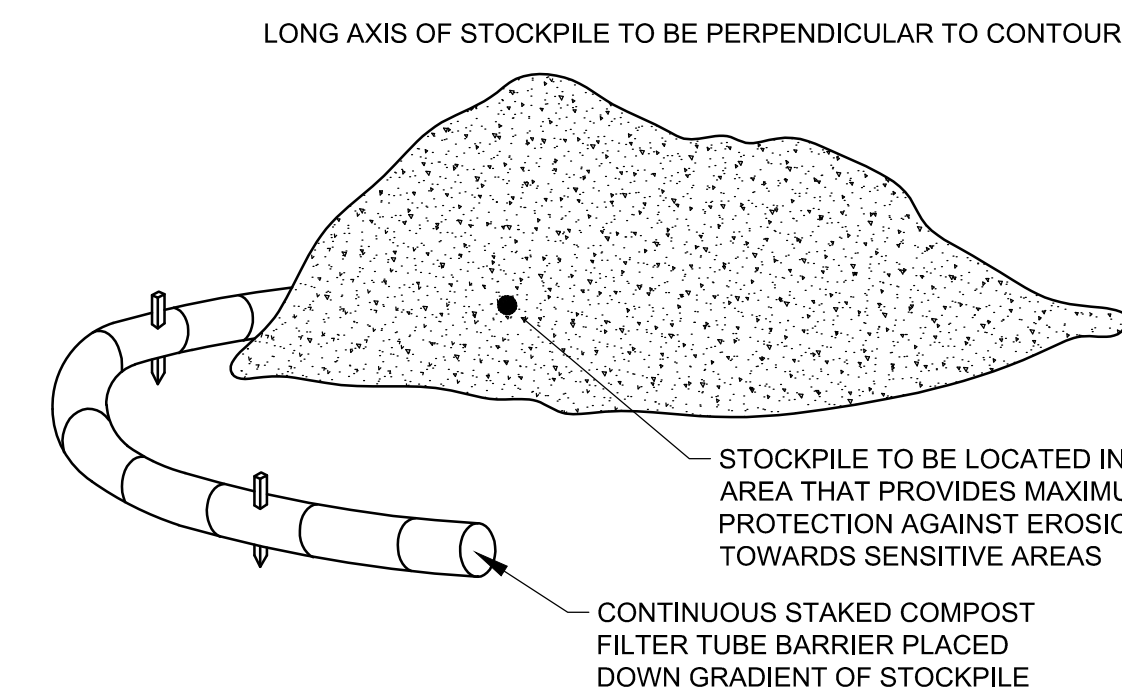


NOTE:

ALL EXISTING CATCH BASINS WITHIN THE LIMIT OF WORK SHALL HAVE INLET CONTROL PRIOR TO THE START OF CONSTRUCTION.

3 INLET SEDIMENT CONTROL

SCALE: N.T.S.



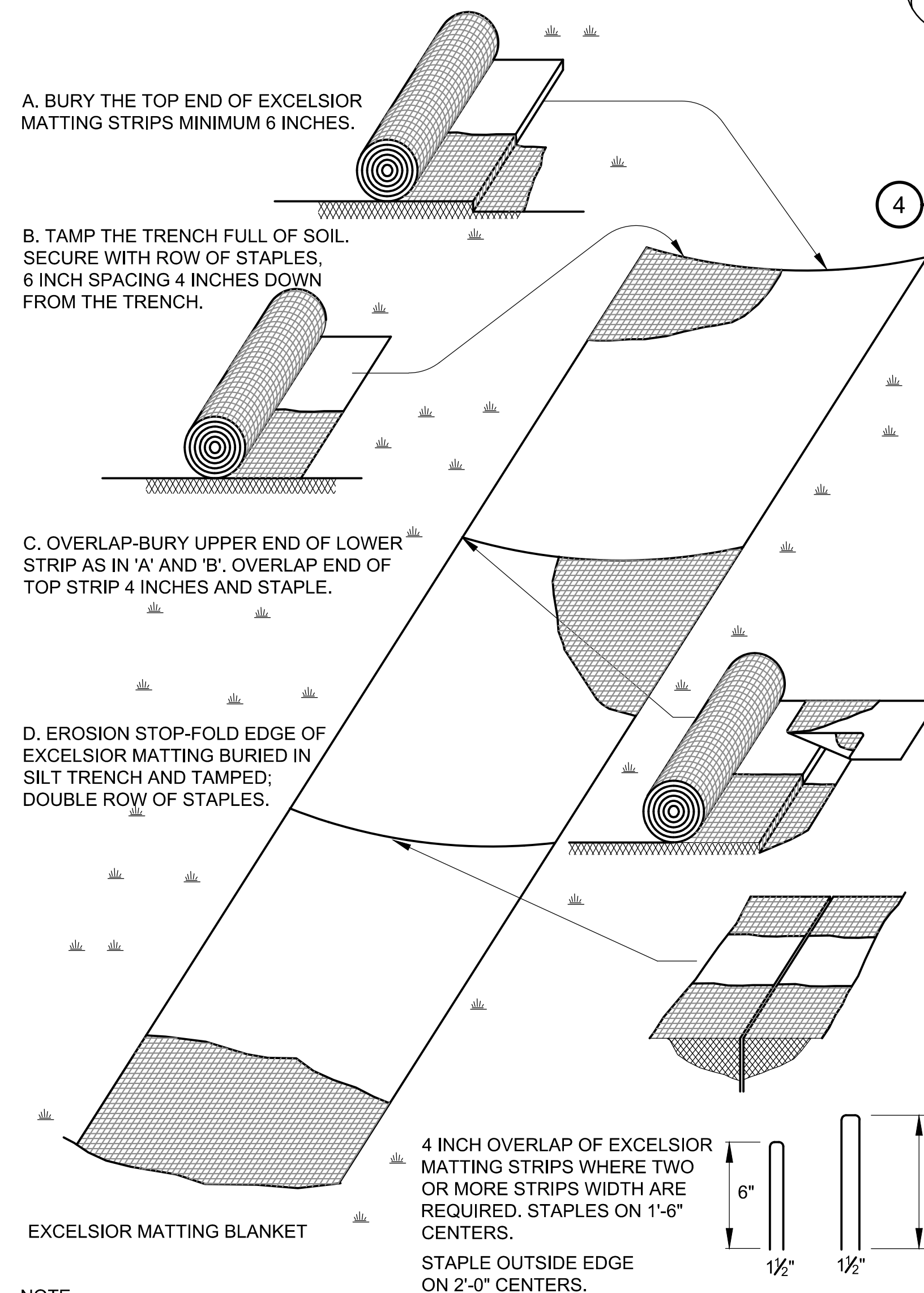
4 STOCKPILE AREA

SCALE: N.T.S.

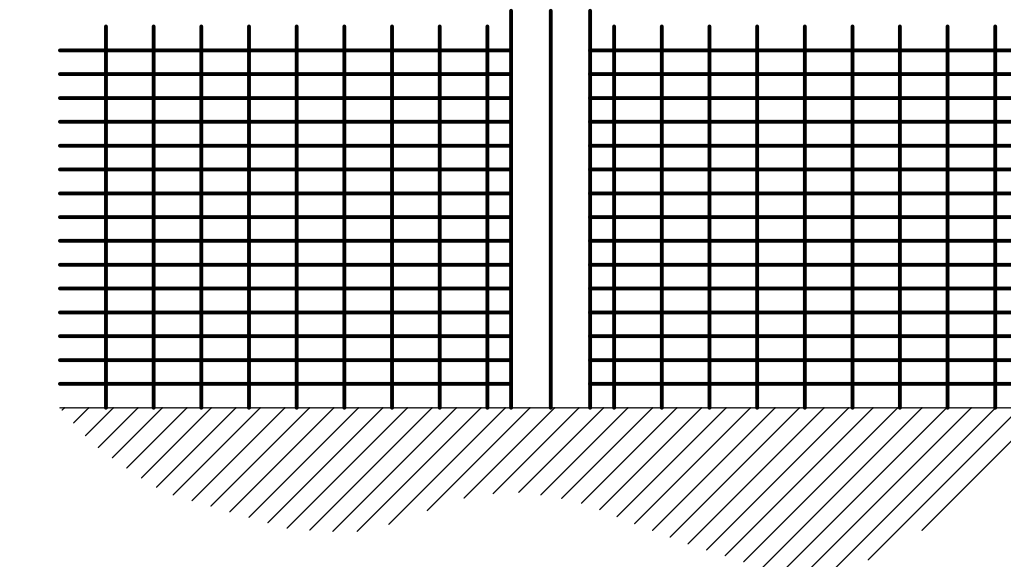
1. EROSION CONTROL MEASURES SHALL BE INCORPORATED IN THE SEQUENCE OF CONSTRUCTION TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE SITE.
2. AREAS SUBJECT TO EROSION SHALL BE MINIMIZED IN TERMS OF TIME AND AREA.
3. IN GENERAL, WORK REQUIRING EROSION CONTROL INCLUDES EXCAVATIONS, FILLS, DRAINAGE, SWALES AND DITCHES, ROUGH AND FINISH GRADING, AND STOCKPILING OF EARTH.
4. DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMIT OF SILT FENCE ACTIVITIES.
5. TEMPORARY SILT CONTROLS SHALL BE PLACED AS SHOWN ON THE PLAN, PERMANENTLY STABILIZE EACH COMPLETED SEGMENT OF CONSTRUCTION.
6. THE CONTRACTOR SHALL REMOVE TEMPORARY SILT CONTROLS AND ALL ACCUMULATED SILT AND DEBRIS AFTER COMPLETION OF CONSTRUCTION OPERATIONS.
7. SILT CONTROLS SHALL BE IN PLACE AT ALL TIMES DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL SILT AND DEBRIS FROM EACH DRAINAGE STRUCTURE UPON COMPLETION OF THE PROJECT.
9. OBJECTS AND/OR AREAS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
10. ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING GRADE. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS NEEDED.
11. SILT CONTROLS SHALL BE REMOVED UPON THE SATISFACTORY COMPLETION OF ALL WORK SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
12. SITE PERIMETER SHALL HAVE STRAW WATTLES INSTALLED AT THE LIMIT OF WORK.

5 EROSION CONTROL BLANKET

SCALE: N.T.S.



NOTE: JUTE NETTING TO BE USED ON ALL SLOPES GREATER THAN 4H:1V AS INDICATED ON GRADING PLANS



6 SILT FENCE- EROSION CONTROL

SCALE: N.T.S.

1 EXISTING TREE PROTECTION

SCALE: N.T.S.

PLAN VIEW

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035

PROJECT

The Walnut Street Joint Venture Group

536 GRANITE ST
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STRUCTURAL



STAMP

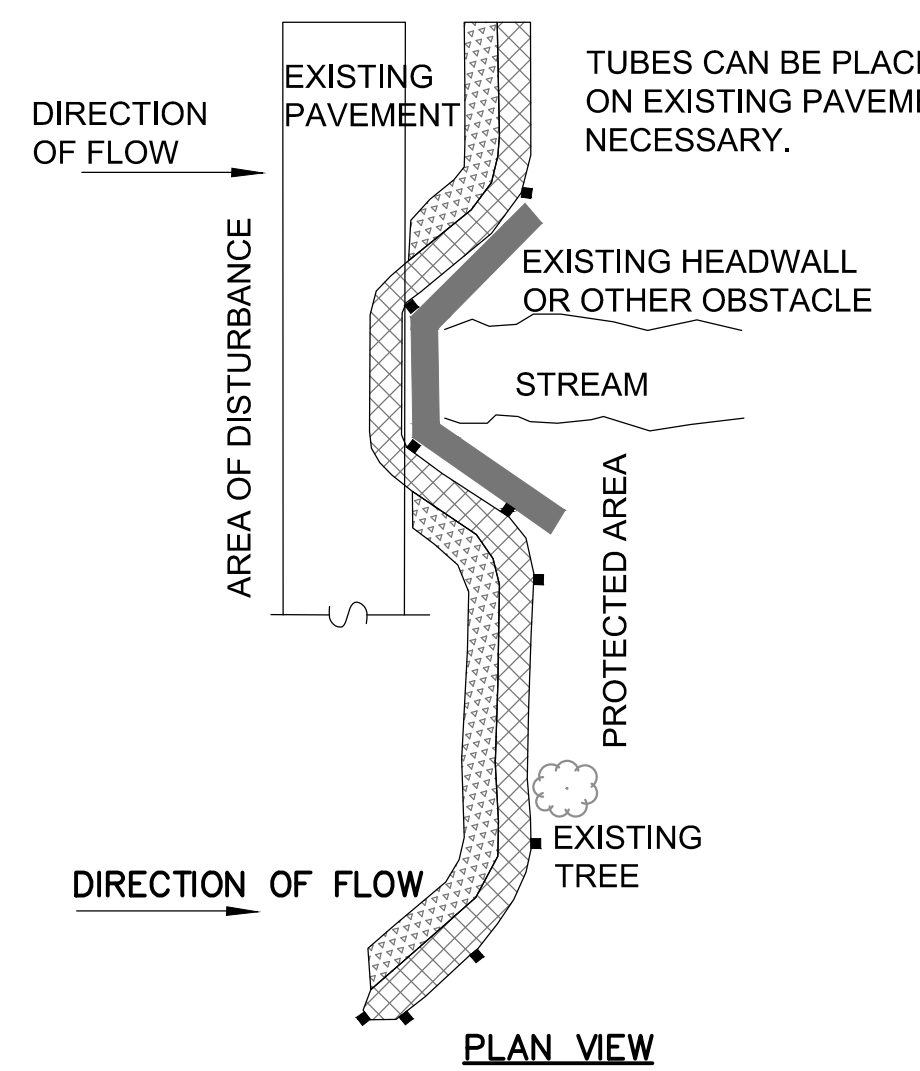
DATE	REVISION
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REVISIONS ON SHEET

SCALE UTILS PROJECT NUMBER 2212

DETAILS

C500



GENERAL NOTES:

1. PROVIDE A MINIMUM TUBE DIAMETER OF 12 INCHES FOR SLOPES UP TO 50 FEET IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF FILTER TUBES TO CREATE A FILTER BERM. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
2. INSTALL TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
3. DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS.
4. CONFIGURE TUBES AROUND EXISTING SITE FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF.
5. MULCH MATERIAL FOR THE FILTER TUBES SHALL BE WEED-FREE STRAW, WOOD EXCELSIOR, COMPOST, OR WOOD CHIPS, OR COIR. STRAW SHALL BE WEED FREE AND DERIVED FROM THRESHING OF GRAIN CROP.

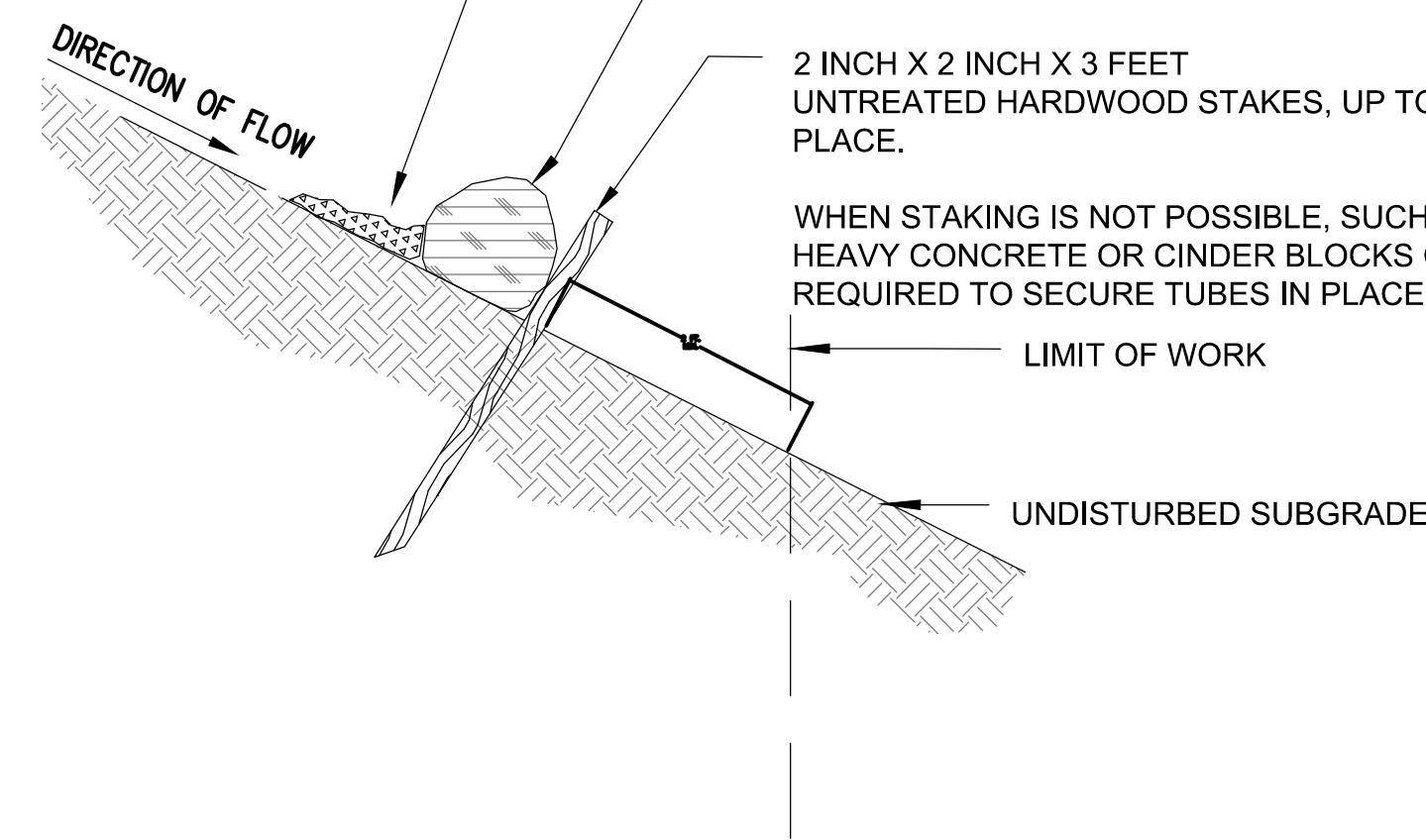
PLACING TUBES AGAINST THE UPHILL SIDE OF WELL-ANCHORED, STATIONARY FEATURES SUCH AS EXISTING TREES CAN PROVIDE ADDITIONAL BRACING.

CURVE ENDS UPHILL TO PREVENT DIVERSION OF UNFILTERED RUN-OFF.

2 IN. DEEP x 12 IN. WIDE LAYER OF LOOSE COMPOST MATERIAL PLACED ON UPHILL/FLOW SIDE OF TUBES TO FILL SPACE BETWEEN SOIL SURFACE AND TUBES.

COMPOST FILTER TUBE MINIMUM 12 INCHES IN DIAMETER WITH AN EFFECTIVE HEIGHT OF 9.5 INCHES. TUBES FOR COMPOST FILTERS SHALL BE JUTE MESH OR APPROVED BIODEGRADABLE MATERIAL. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.

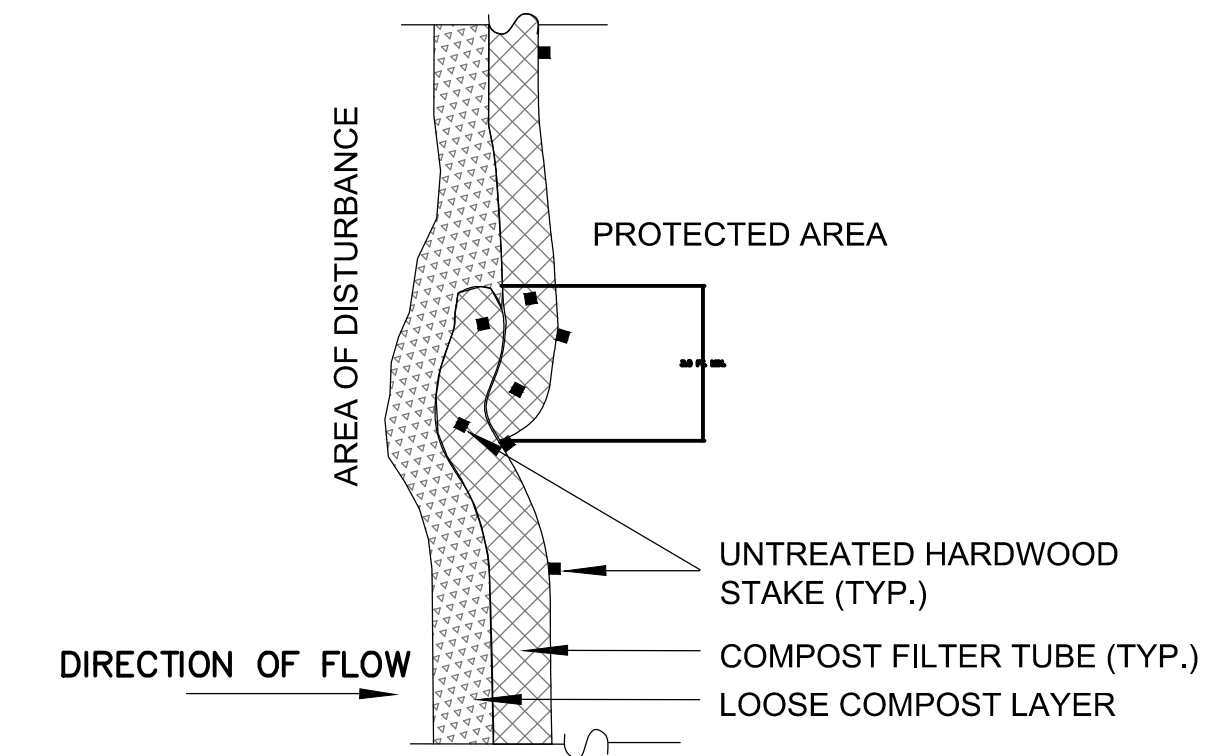
TAMP TUBES IN PLACE TO ENSURE GOOD CONTACT WITH SOIL SURFACE. IT IS NOT NECESSARY TO TRENCH TUBES INTO EXISTING GRADE.



WHEN STAKING IS NOT POSSIBLE, SUCH AS WHEN TUBES MUST BE PLACED ON PAVEMENT, HEAVY CONCRETE OR CINDER BLOCKS CAN BE USED BEHIND TUBES UP TO 5 FT. APART OR AS REQUIRED TO SECURE TUBES IN PLACE.

PROVIDE A 3 FT. MINIMUM OVERLAP AT ENDS OF TUBES TO JOIN IN A CONTINUOUS BARRIER AND MINIMIZE UNIMPEDED FLOW. STAKE JOINING TUBES SNUGLY AGAINST EACH OTHER TO PREVENT UNFILTERED FLOW BETWEEN THEM.

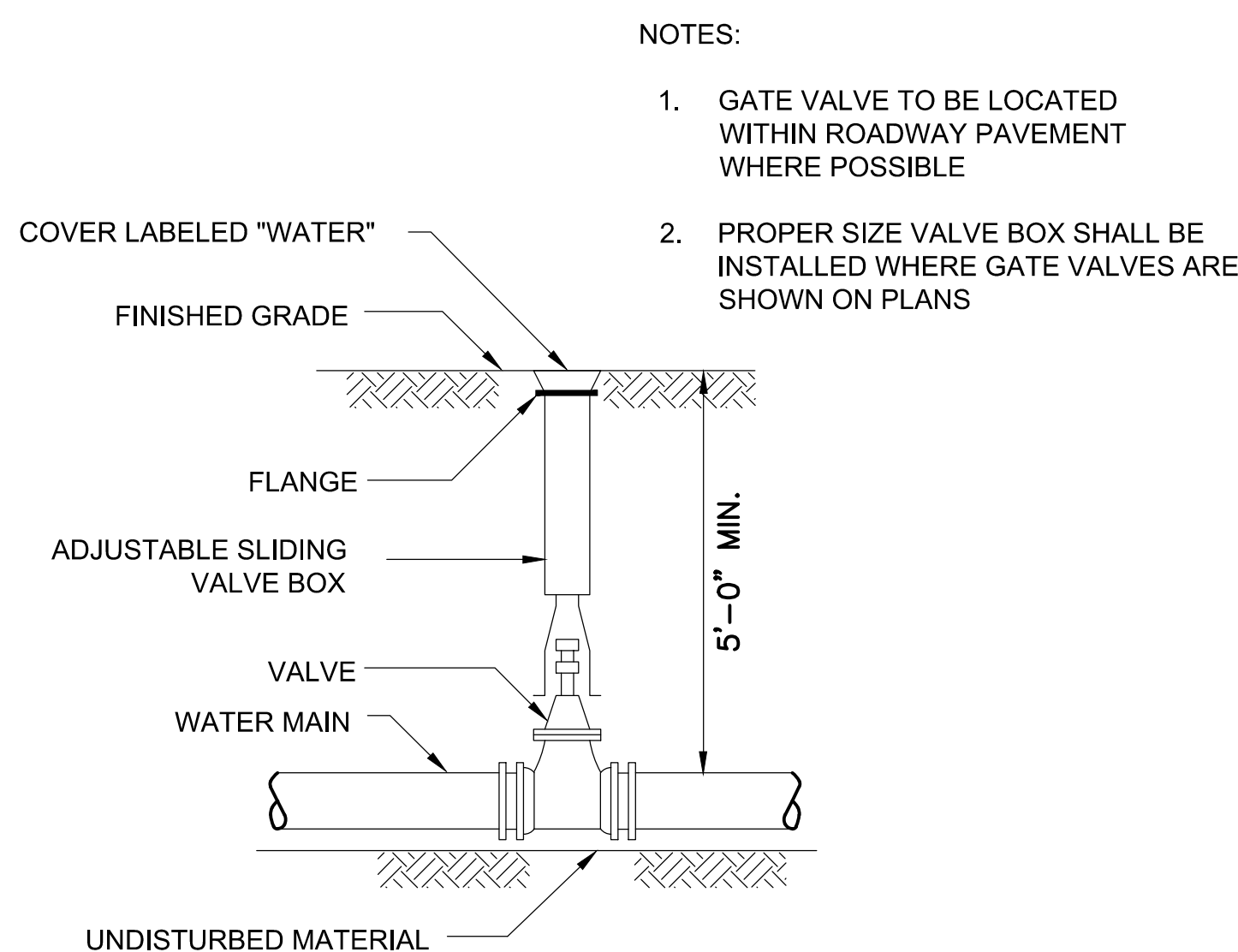
SECURE ENDS OF TUBES WITH STAKES SPACED 18 IN. APART THROUGH TOPS OF TUBES.



PLAN VIEW - JOINING DETAIL

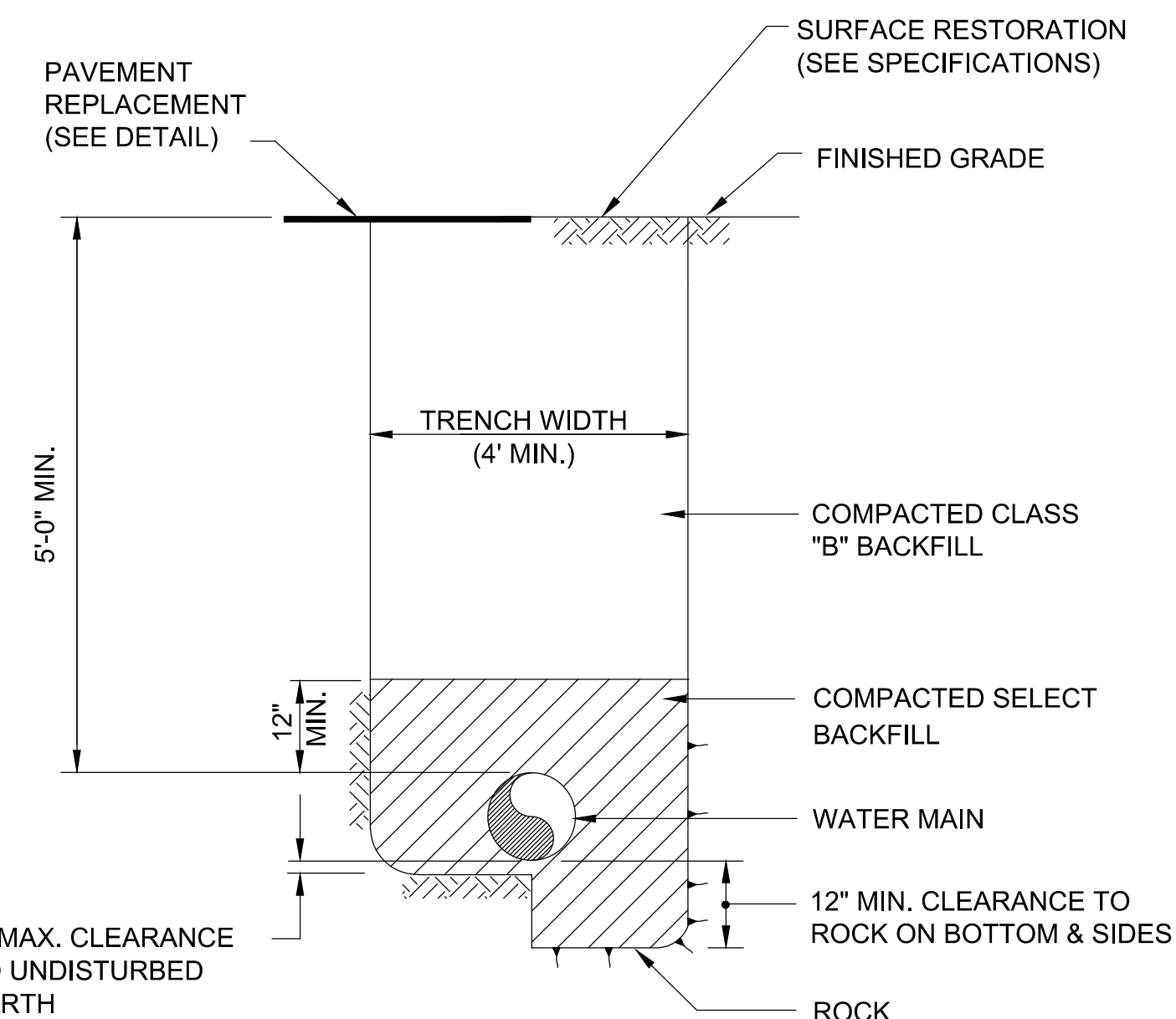
1 EROSION CONTROL MEASURE: SINGLE COMPOST FILTER TUBE DETAIL

SCALE: N.T.S.



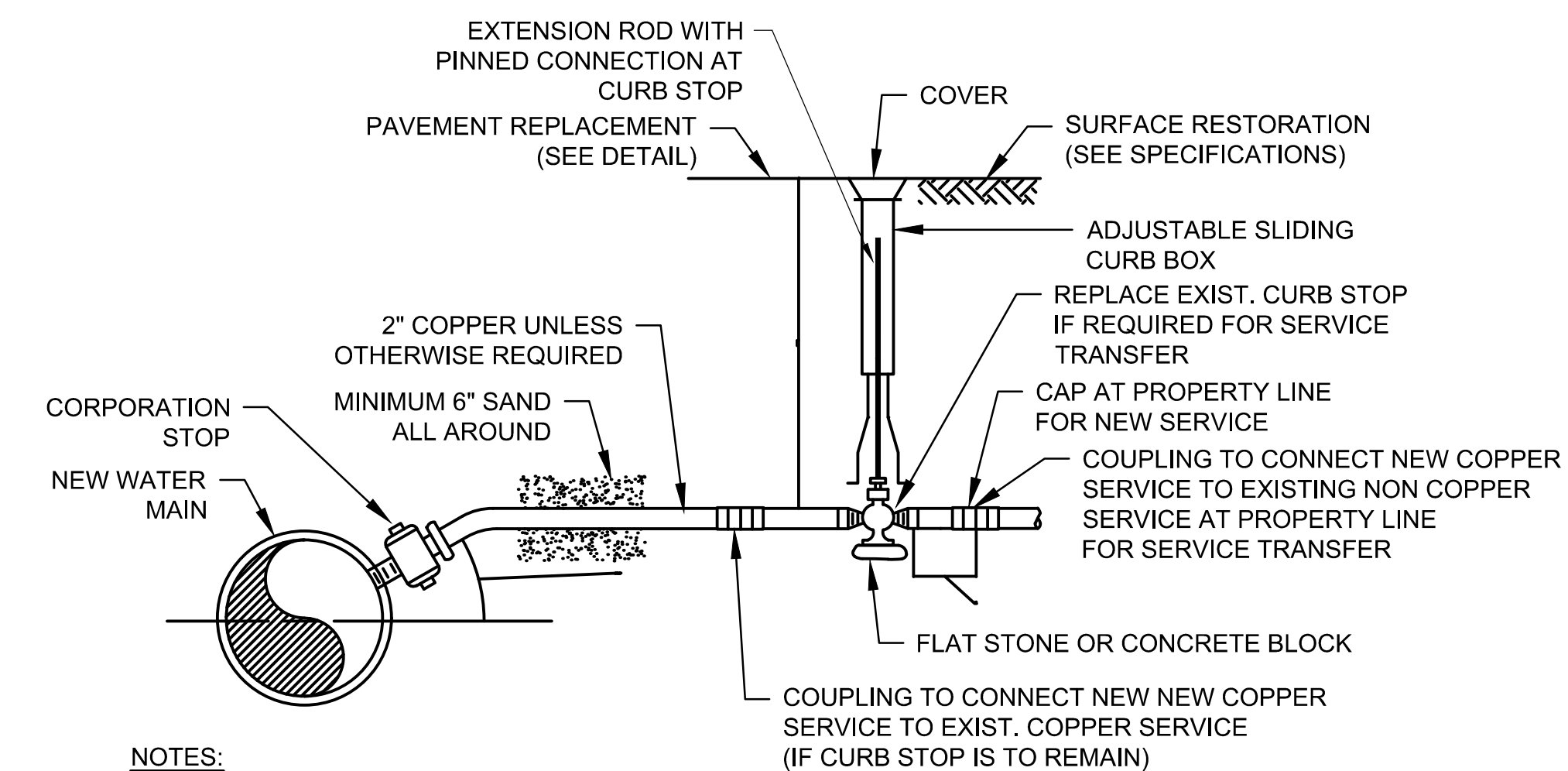
NOTES:

1. GATE VALVE TO BE LOCATED WITHIN ROADWAY PAVEMENT WHERE POSSIBLE
2. PROPER SIZE VALVE BOX SHALL BE INSTALLED WHERE GATE VALVES ARE SHOWN ON PLANS



3 WATER MAIN TRENCH DETAIL

SCALE: N.T.S.



NOTES:

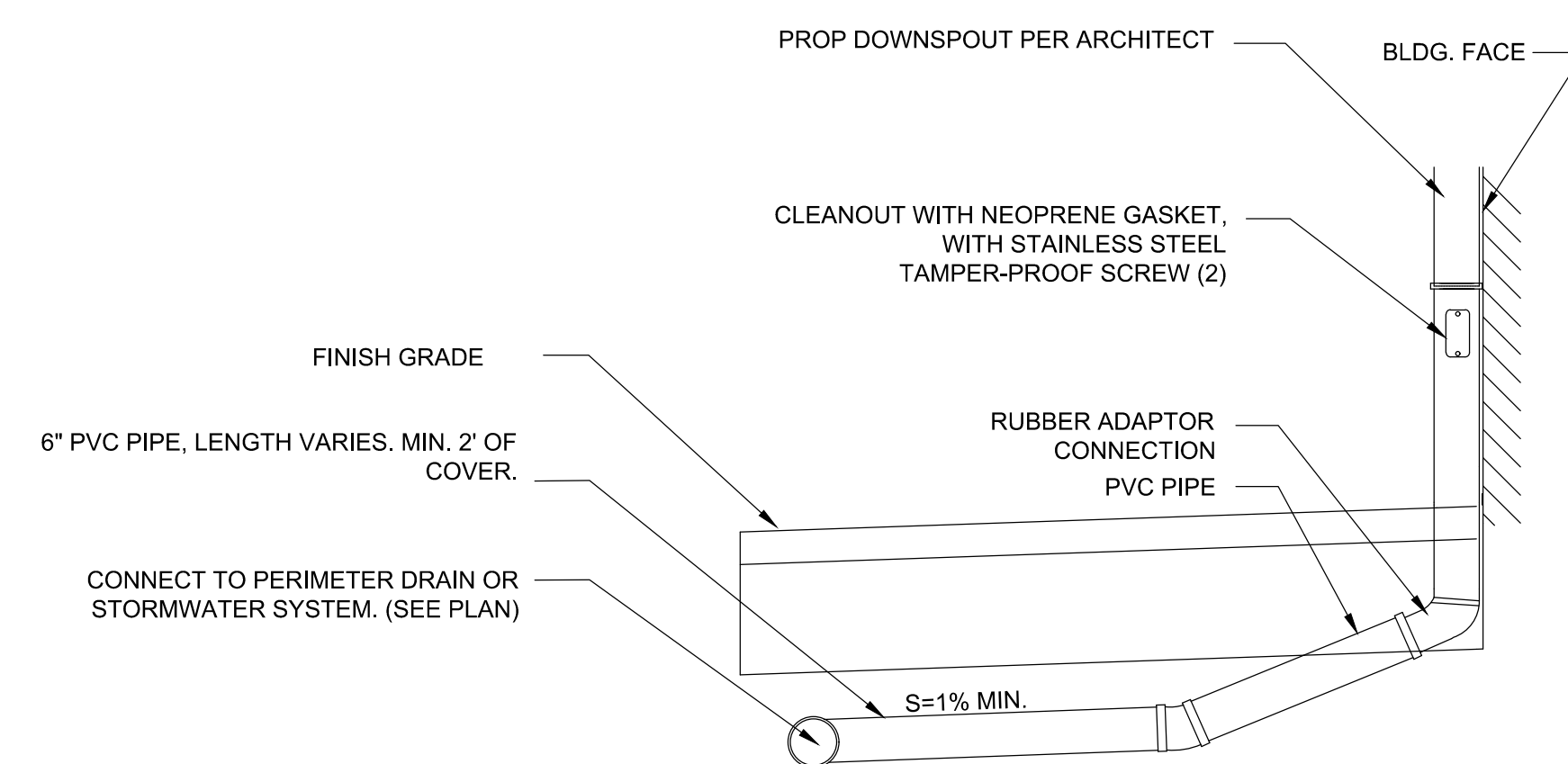
1. PROVIDE SADDLE FOR ALL AC AND PVC MAINS AND ALL 2" OR LARGER STOPS.
2. TRACER WIRE SHALL BE #12 AWG SOLID COPPER WITH 30 MIL BLUE HDPE INSULATION.
3. IF CURB IS IN LAWN AREA, EXTEND TRACER WIRE UP THE OUTSIDE OF BOX, WRAP END THREE TIMES AROUND BOX AND LEAVE APPROXIMATELY ONE INCH BELOW THE OUTSIDE TOP OF BOX. IF CURB BOX IS IN PAVEMENT AREA, EXTEND TRACER WIRE UP THE INSIDE OF BOX LEAVING THREE FEET COILED UP INSIDE TOP OF BOX.
4. TRACER WIRE SHALL BE CONNECTED TO CORPORATION STOP WITH BRASS THAW WIRE NUT COMPRESSION ASSEMBLY WITH SET SCREW.

4 WATER SERVICE DETAIL

SCALE: N.T.S.

2 VALVE AND BOX DETAIL

SCALE: N.T.S.

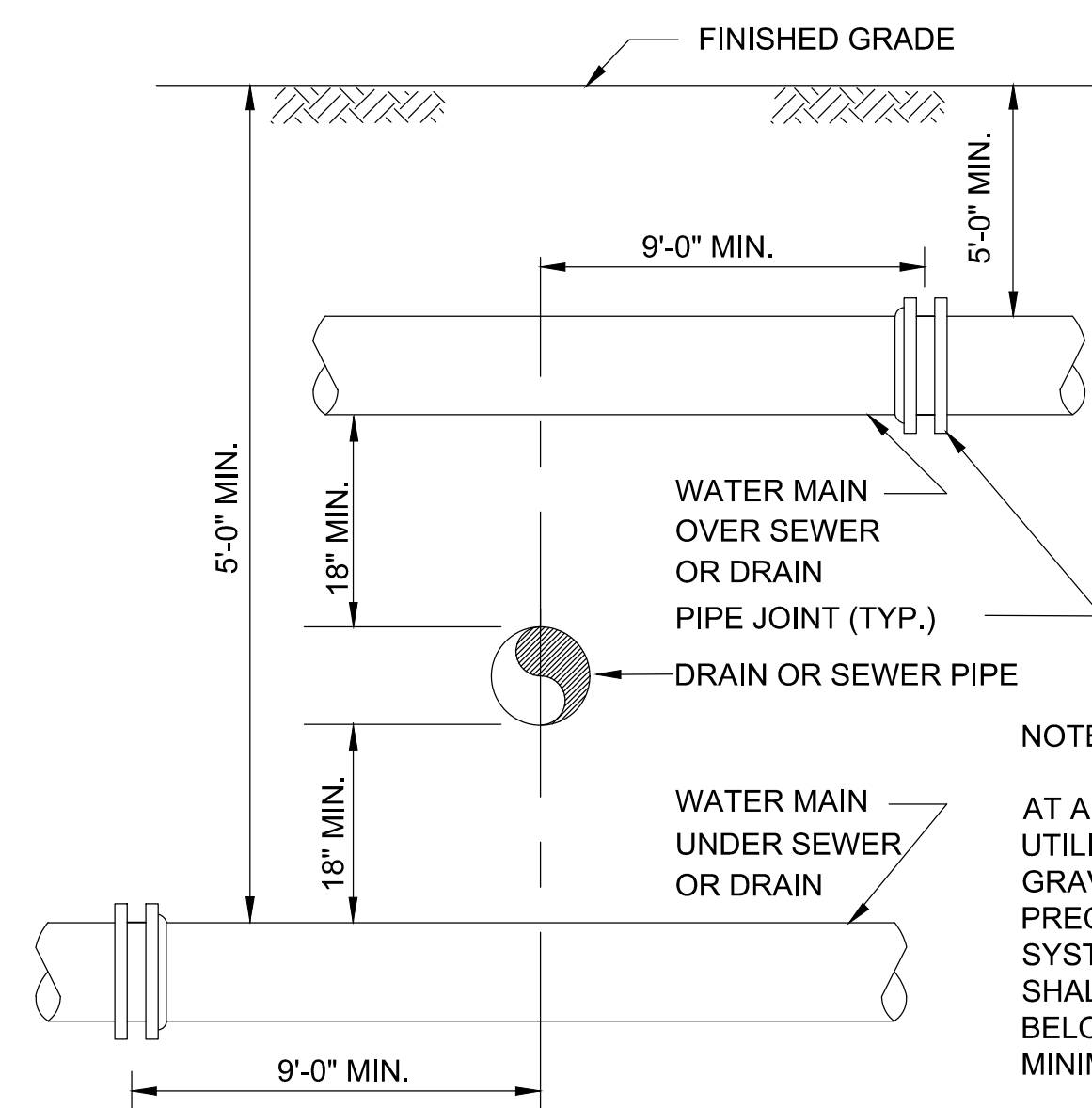


NOTE:

1. DOWNSPOUT DETAIL IS TYPICAL FOR ALL BUILDING GUTTER DOWNSPOUTS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT QUANTITY & LOCATION.
3. COORDINATE WITH CIVIL SITE PLANS FOR CONNECTIONS TO STORM SYSTEM.
4. DOWNSPOUT ADAPTER SHALL BE MANUFACTURED BY J.R. HOE AND SONS, NEENAH FOUNDRY, PIEDMONT MANUFACTURING OR APPROVED EQUAL.

5 GUTTER DOWNSPOUT CONNECTION DETAIL (EXTERNAL)

SCALE: N.T.S.

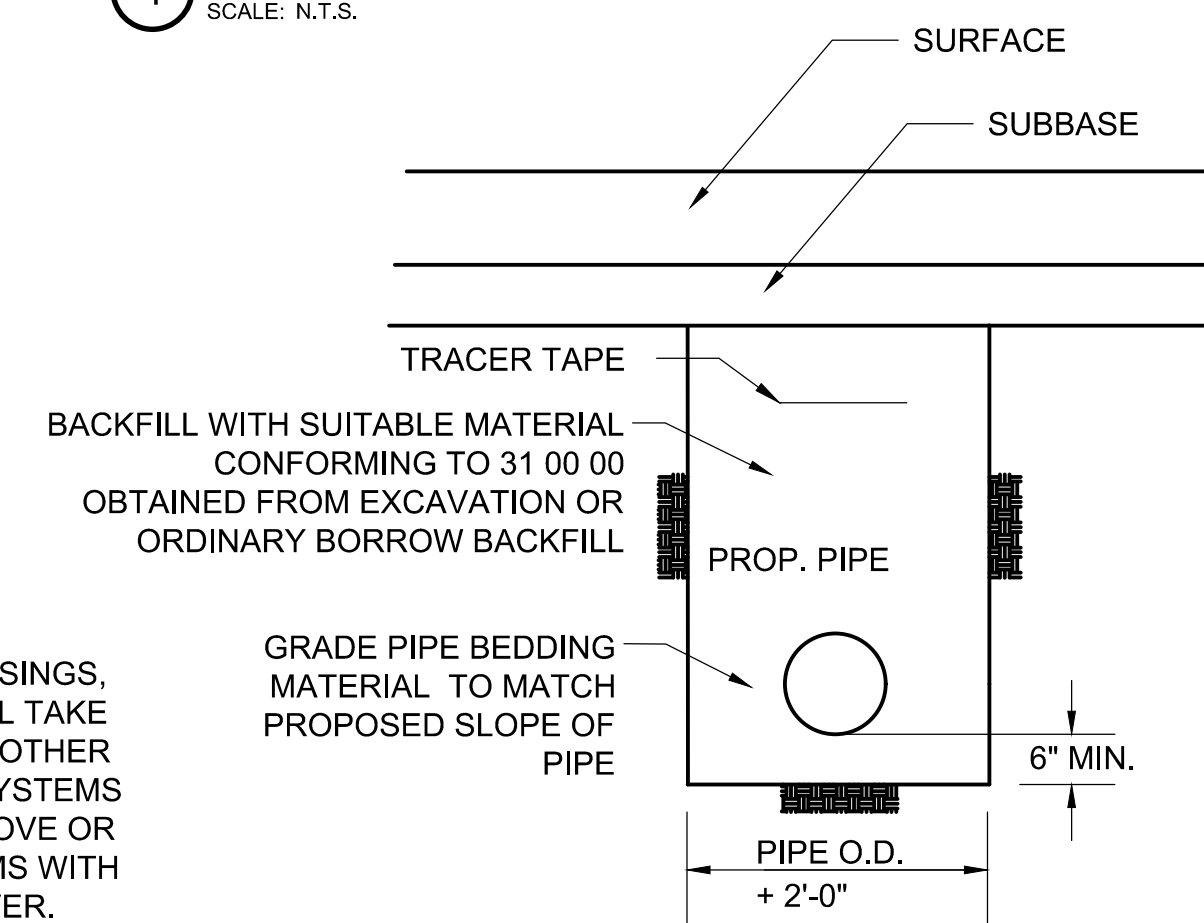


NOTE:

AT ALL SUBSURFACE UTILITY/DRAINAGE CROSSINGS, GRAVITY SYSTEMS SHALL TAKE PRECEDENCE OVER ALL OTHER SYSTEMS. ALL OTHER SYSTEMS SHALL BE INSTALLED ABOVE OR BELOW GRAVITY SYSTEMS WITH MINIMUM REQUIRED COVER.

6 SEWER OR DRAIN CROSSING DETAIL

SCALE: N.T.S.



7 DRAINAGE TRENCH DETAIL

SCALE: N.T.S.

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DETAILS

C501

NOTES

- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN REQUESTED BY THE ENGINEER.
- 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
- 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED.
- CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.

ADJUST TO REQUIRED GRADE WITH A MIN. OF ONE COURSE OF BRICK MASONRY OR REINFORCED CONC. GRADING RINGS, ALL BRICKS TO BE LAID AS HEADERS

2'-0" UNLESS OTHERWISE INDICATED

PRECAST CONCRETE MANHOLE CONE

BUTYL RUBBER JOINT SEALANT (TYP)

REINFORCING STEEL (TYP)

PRECAST CONCRETE MANHOLE RISER

MANHOLE STEPS SEE SPEC'S

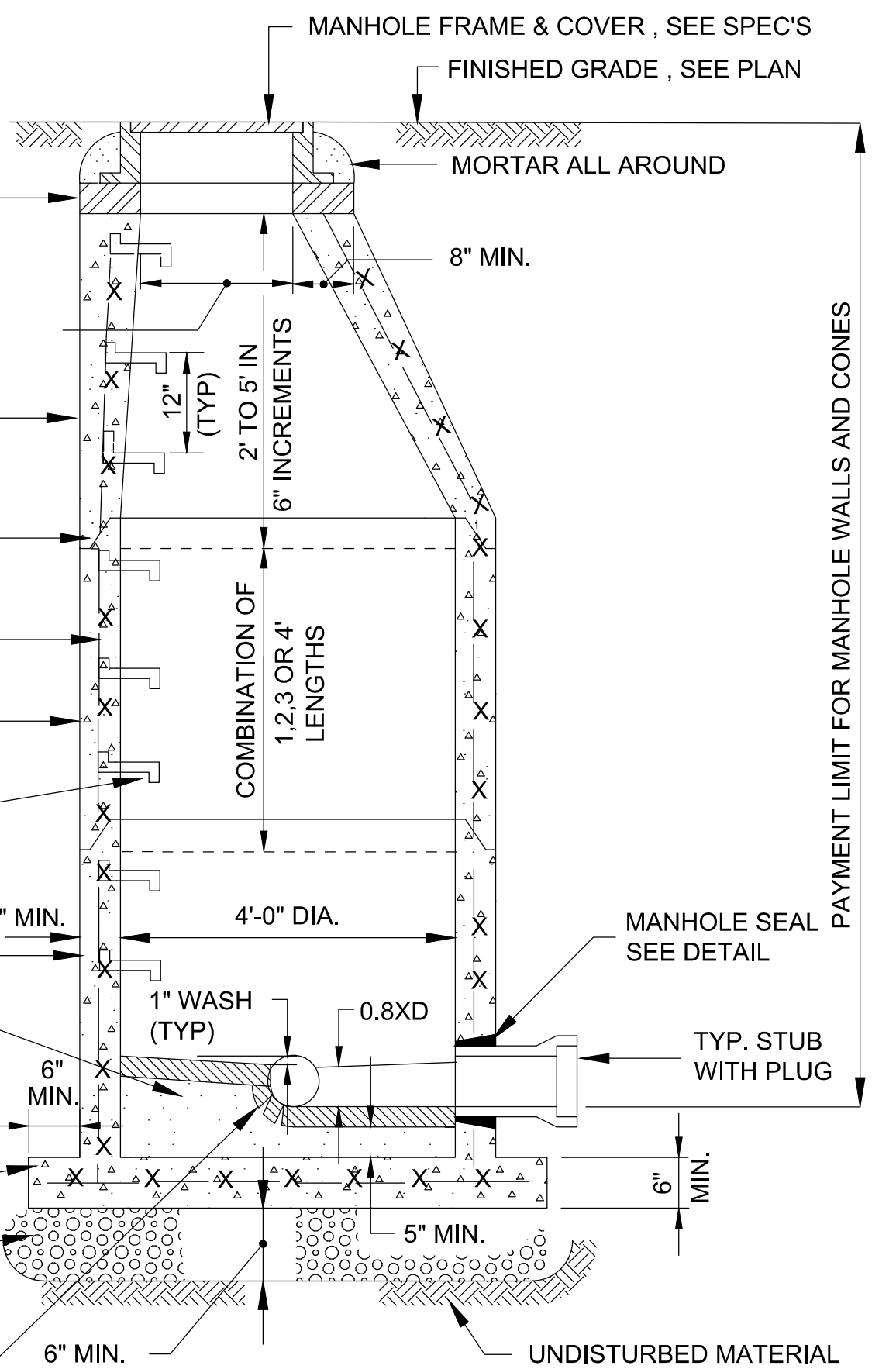
PRECAST CONCRETE MANHOLE BASE

CONCRETE FILL

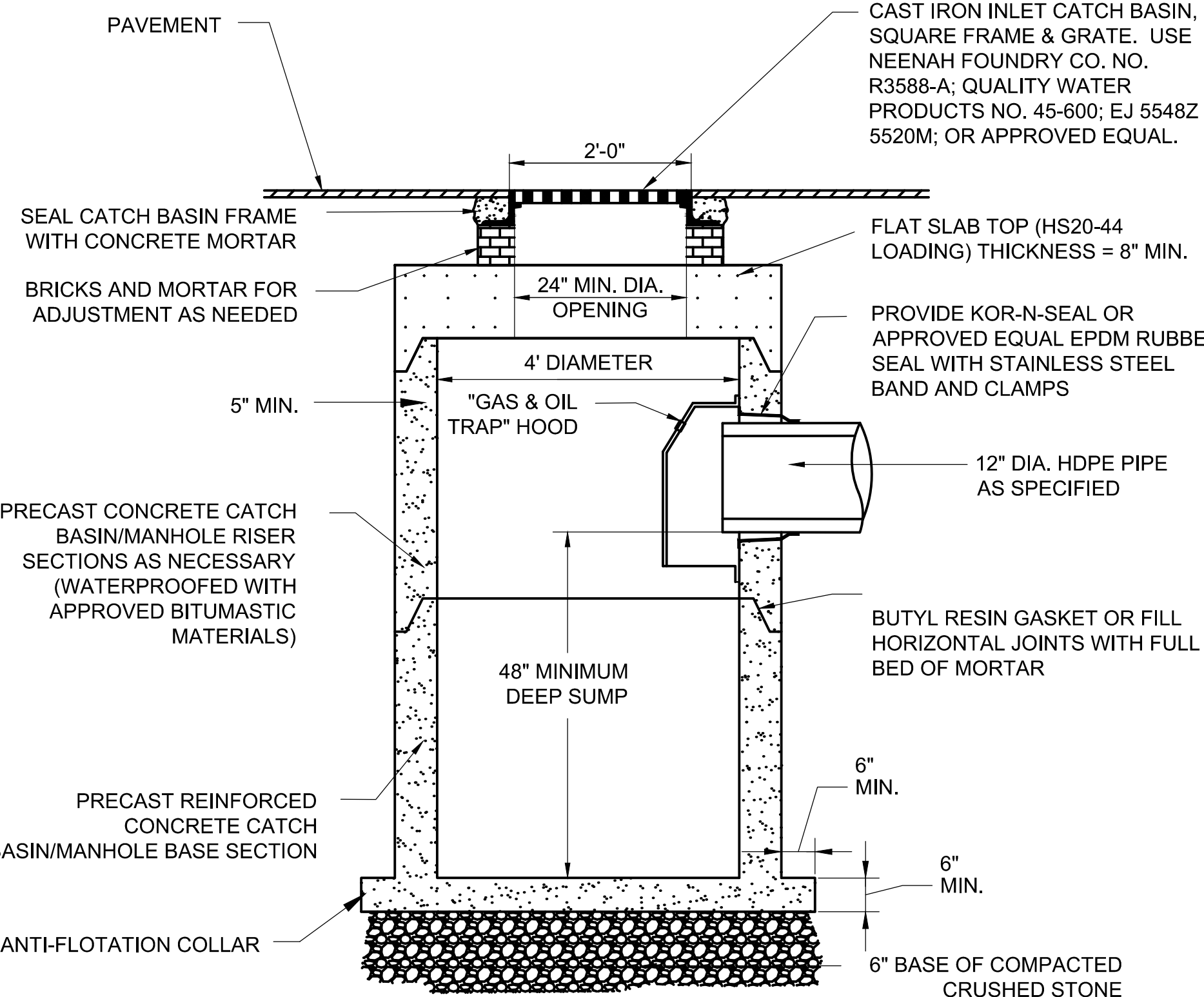
ANTI-FLOTATION COLLAR

COMPACTED CRUSHED STONE

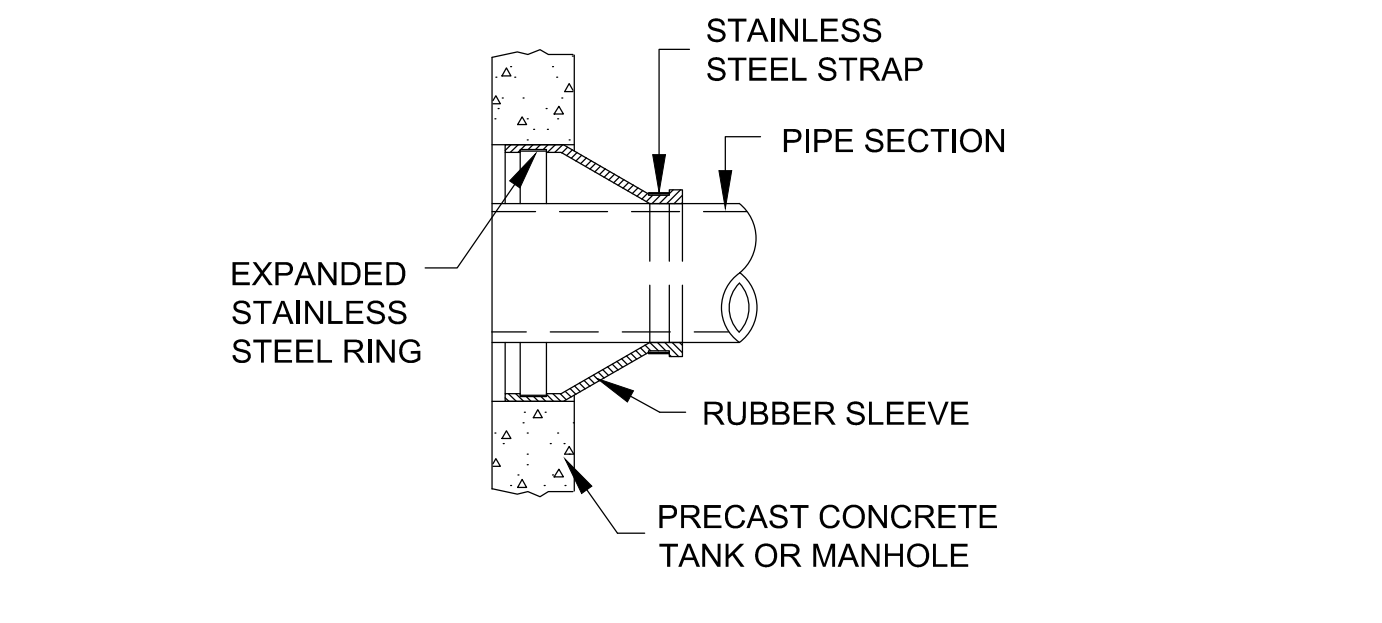
BRICK MASONRY INVERT



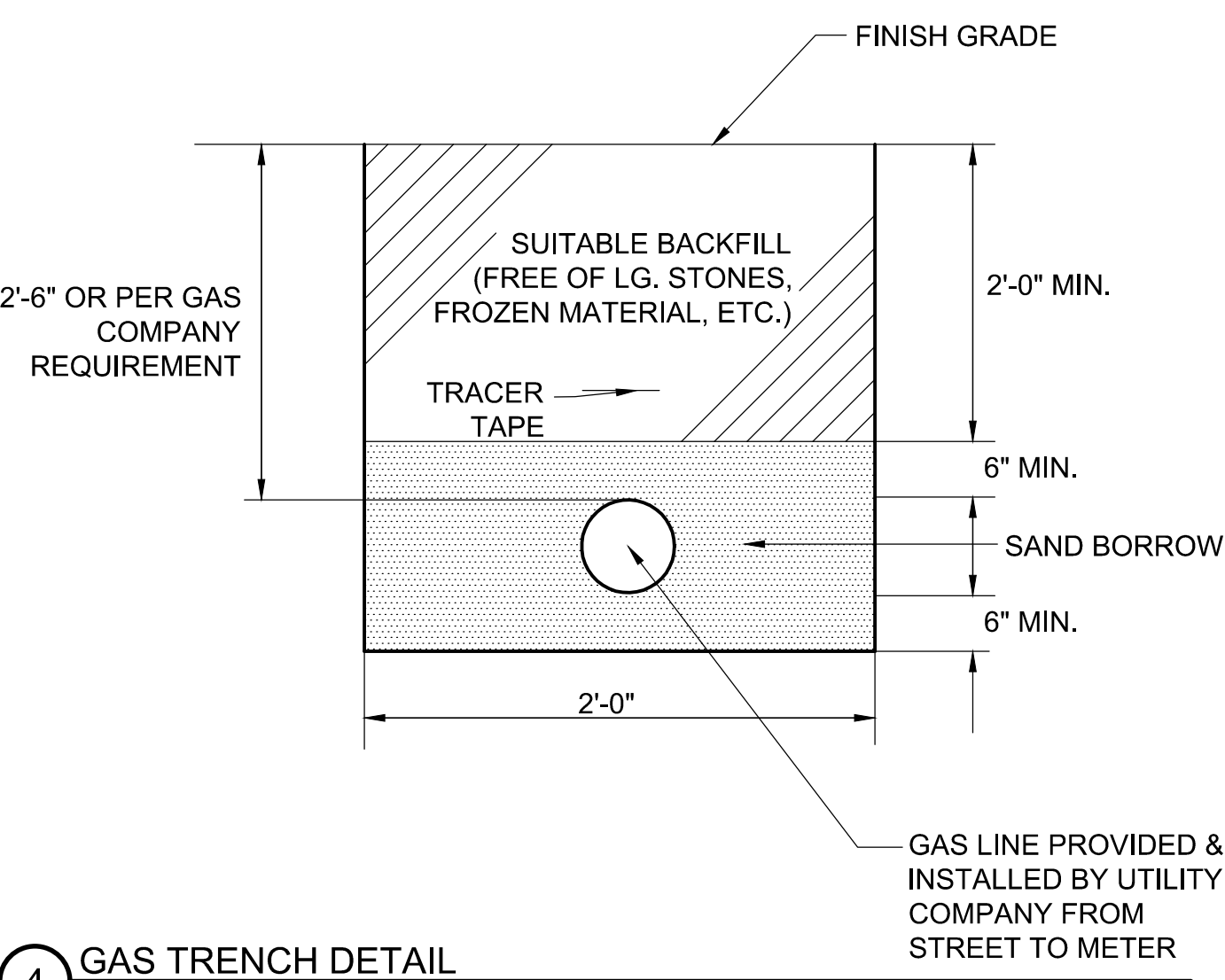
1 PRECAST CONCRETE MANHOLE
SCALE: N.T.S.



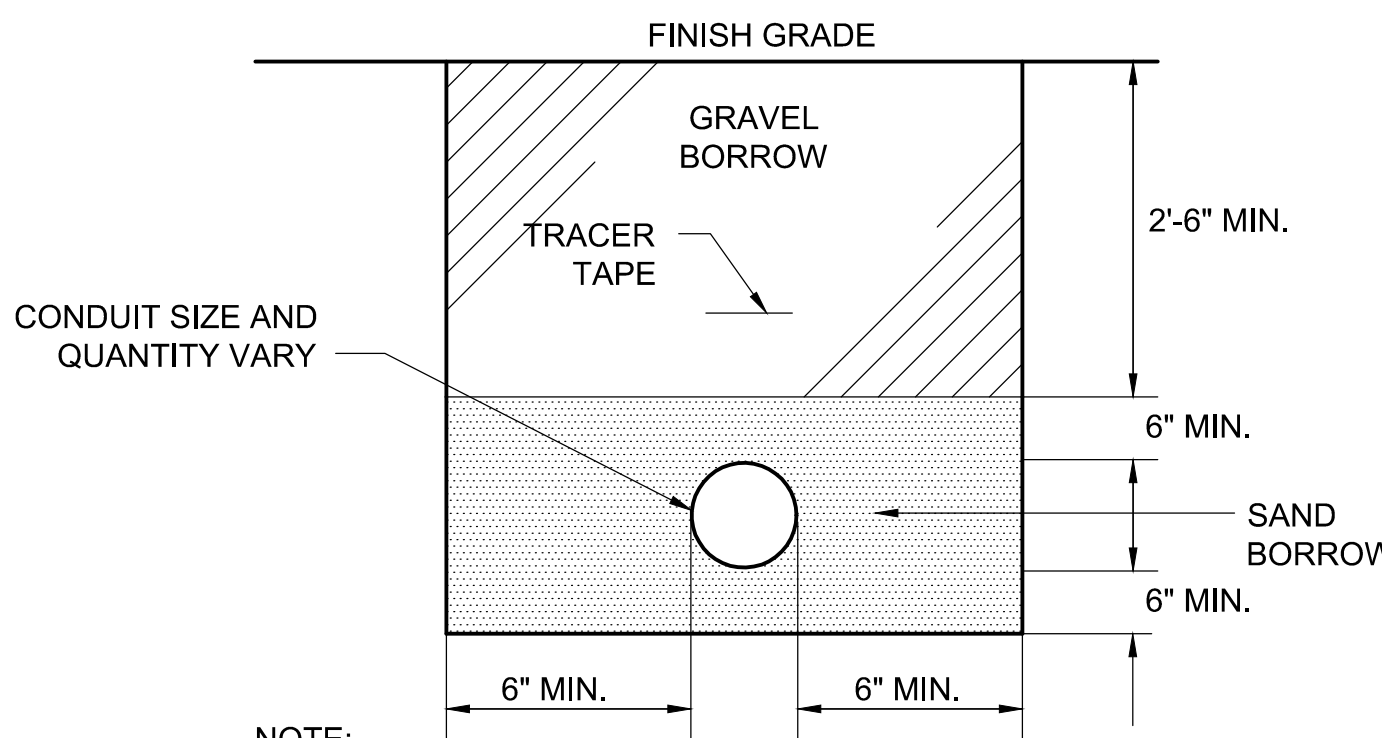
2 STANDARD CATCH BASIN
SCALE: N.T.S.



3 PIPE SEAL DETAIL
SCALE: N.T.S.

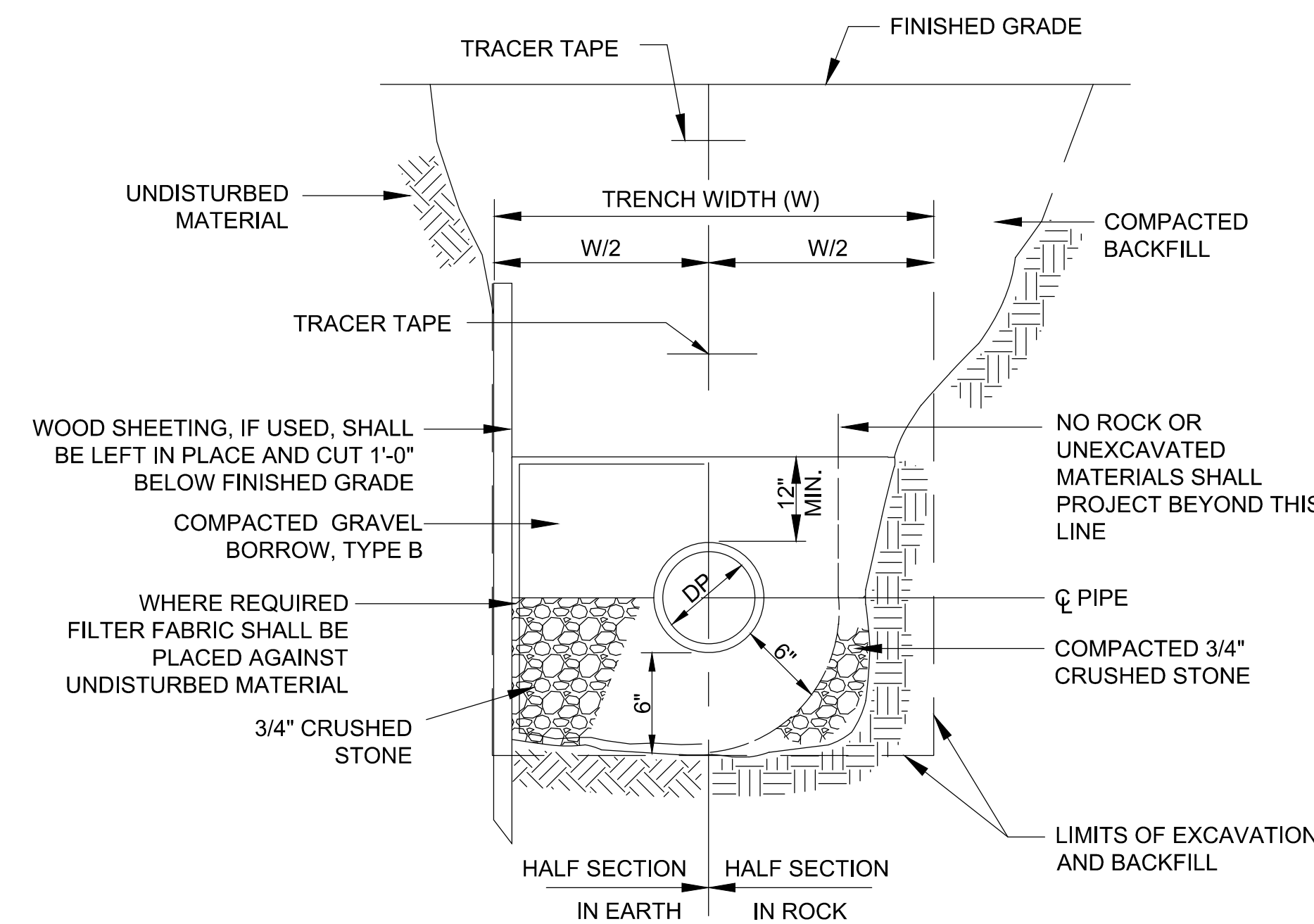


4 GAS TRENCH DETAIL
SCALE: N.T.S.



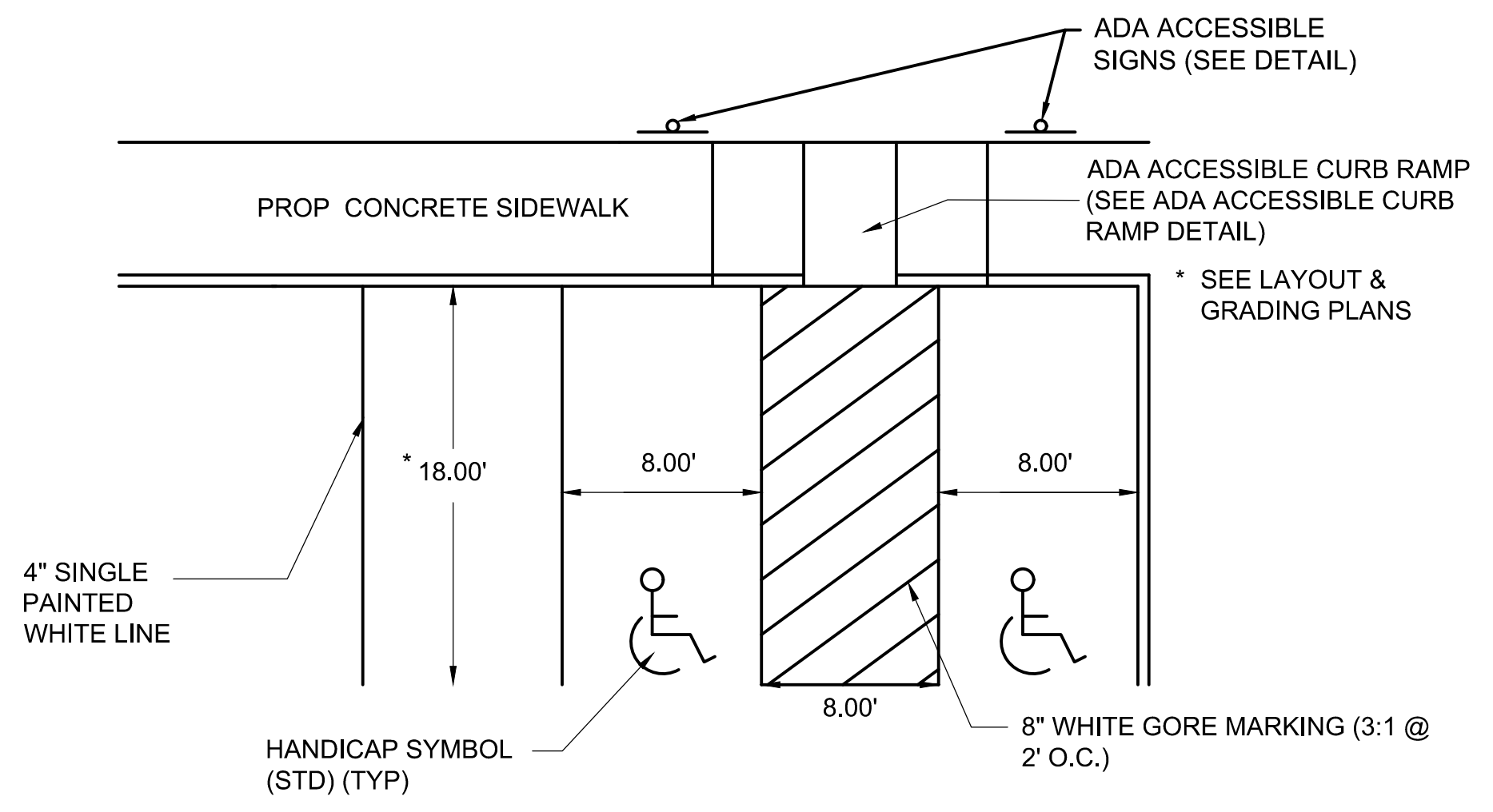
- NOTE:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR EXCAVATION & BACKFILL FOR ELECTRIC/COMMUNICATION CONDUIT. ELECTRICAL CONTRACTOR SHALL PROVIDE & INSTALL CONDUITS & SPACERS.
 - REFER TO ELECTRICAL PLANS FOR CONDUIT QUANTITIES & LOCATIONS.

5 ELECTRIC/COMMUNICATION CONDUIT TRENCH DETAIL
SCALE: N.T.S.

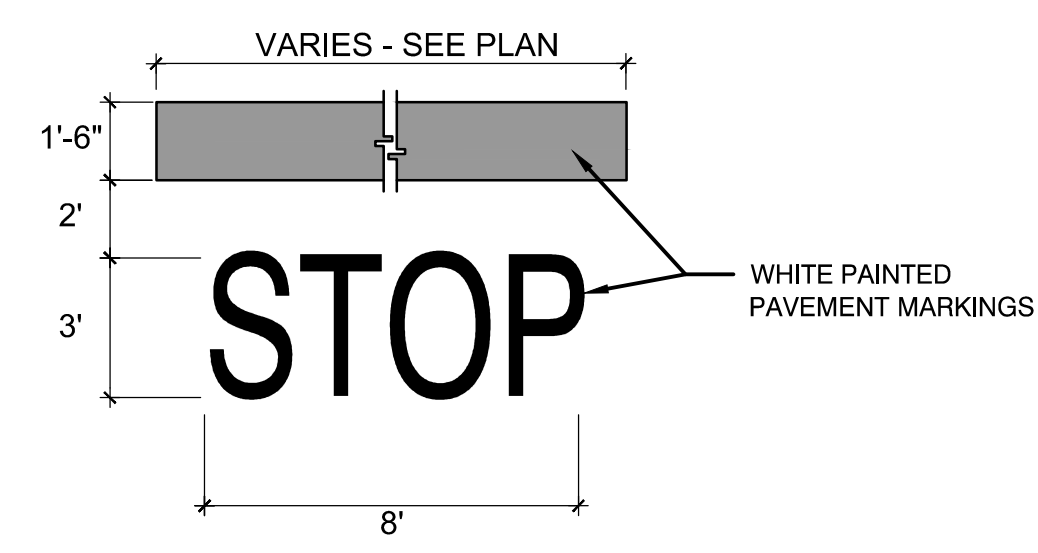


DEPTH TO INVERT	DIAMETER OF PIPE (DP)	MAX. TRENCH WIDTH BELOW LINE OF NARROW TRENCH LIMIT (SHEETED OR UNSHEETED) (W)
0-12'	TO 4"	5'-0"

6 SEWER TRENCH DETAIL
SCALE: N.T.S.



7 PARKING STALLS AND SYMBOLS
SCALE: N.T.S.



8 STOP BAR DETAIL
SCALE: N.T.S.

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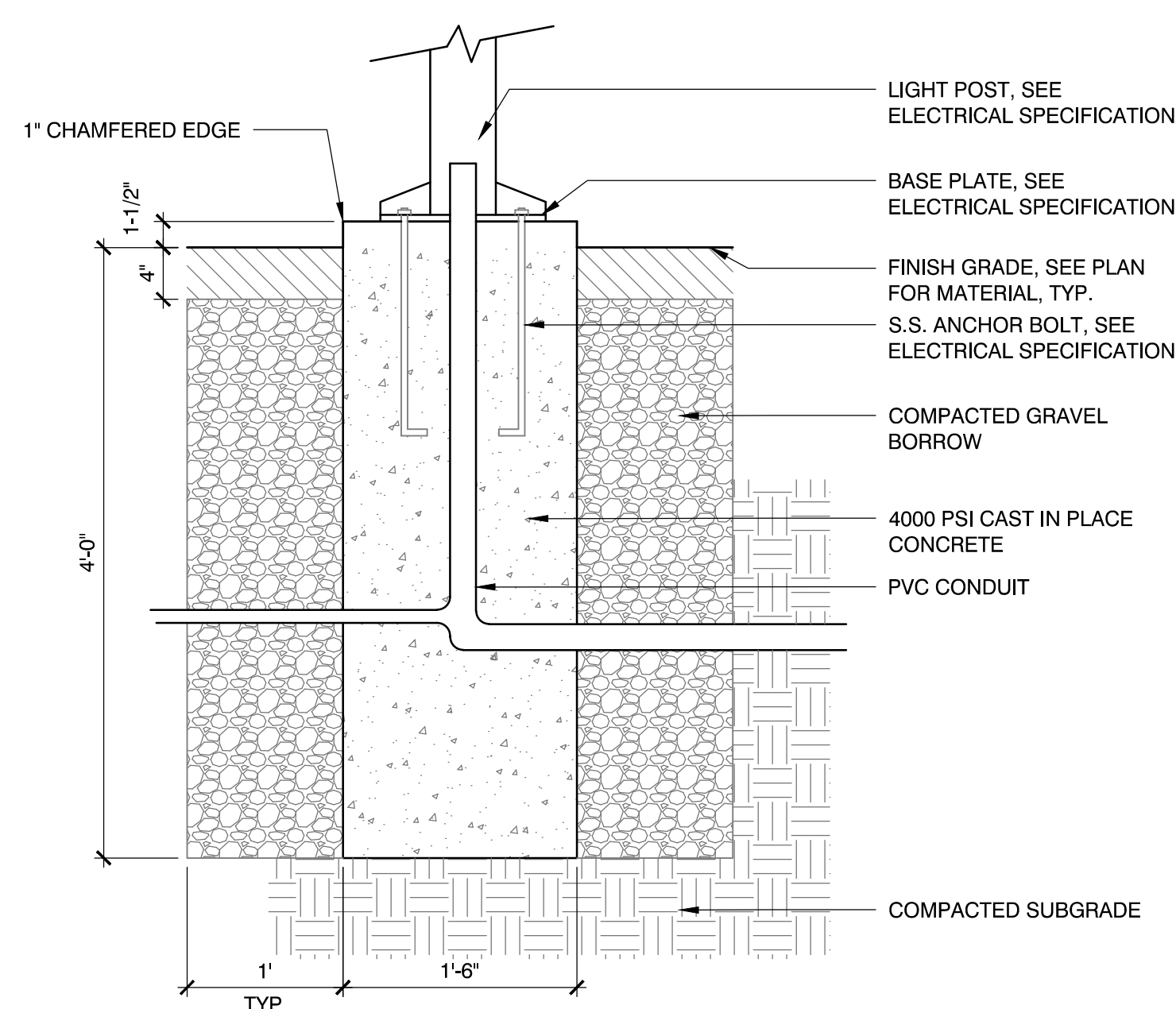
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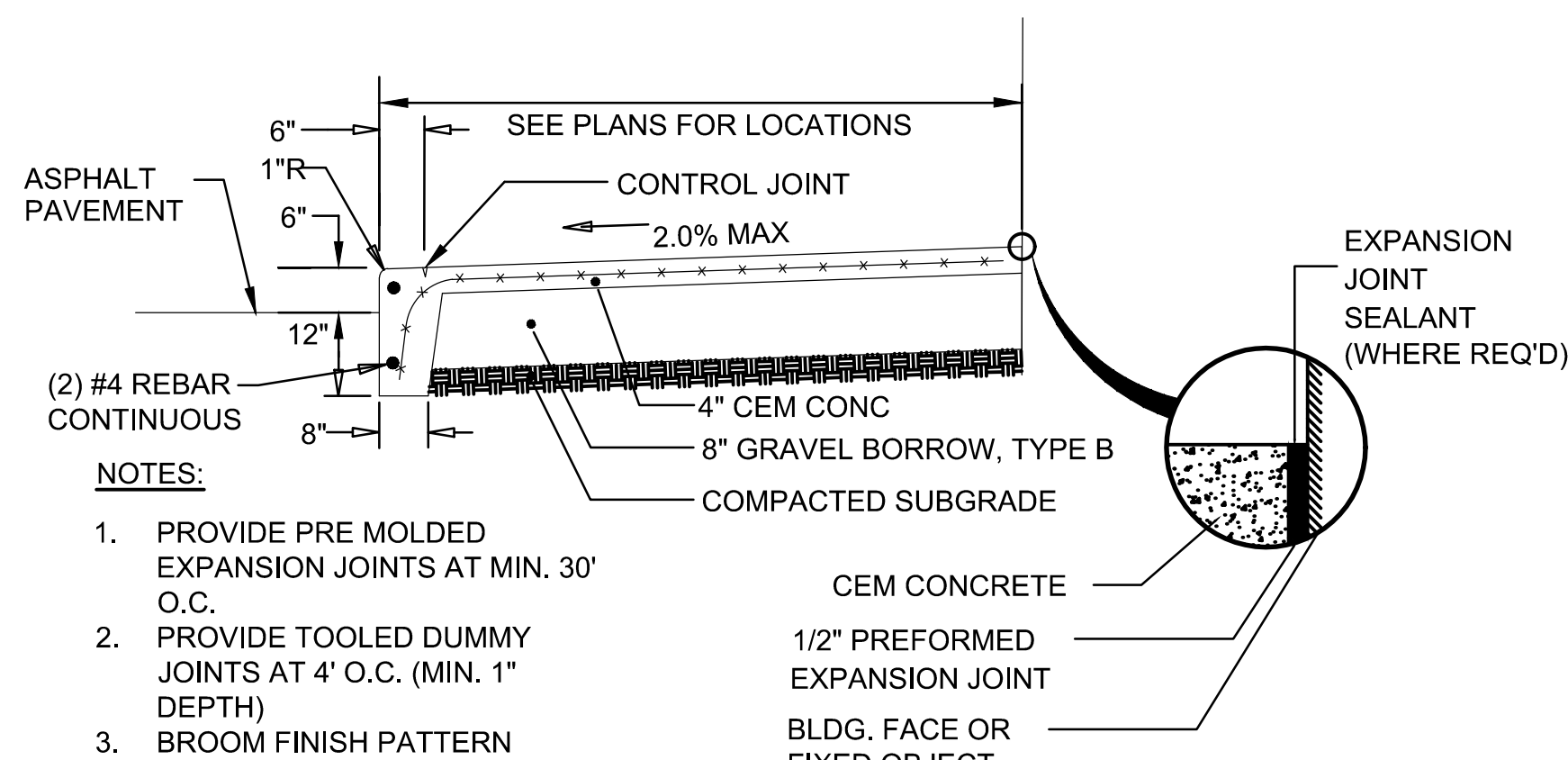
C502



NOTE:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, AND SITE SPECIFIC SOIL PARAMETERS.

1 PEDESTRIAN LIGHT POST FOOTING

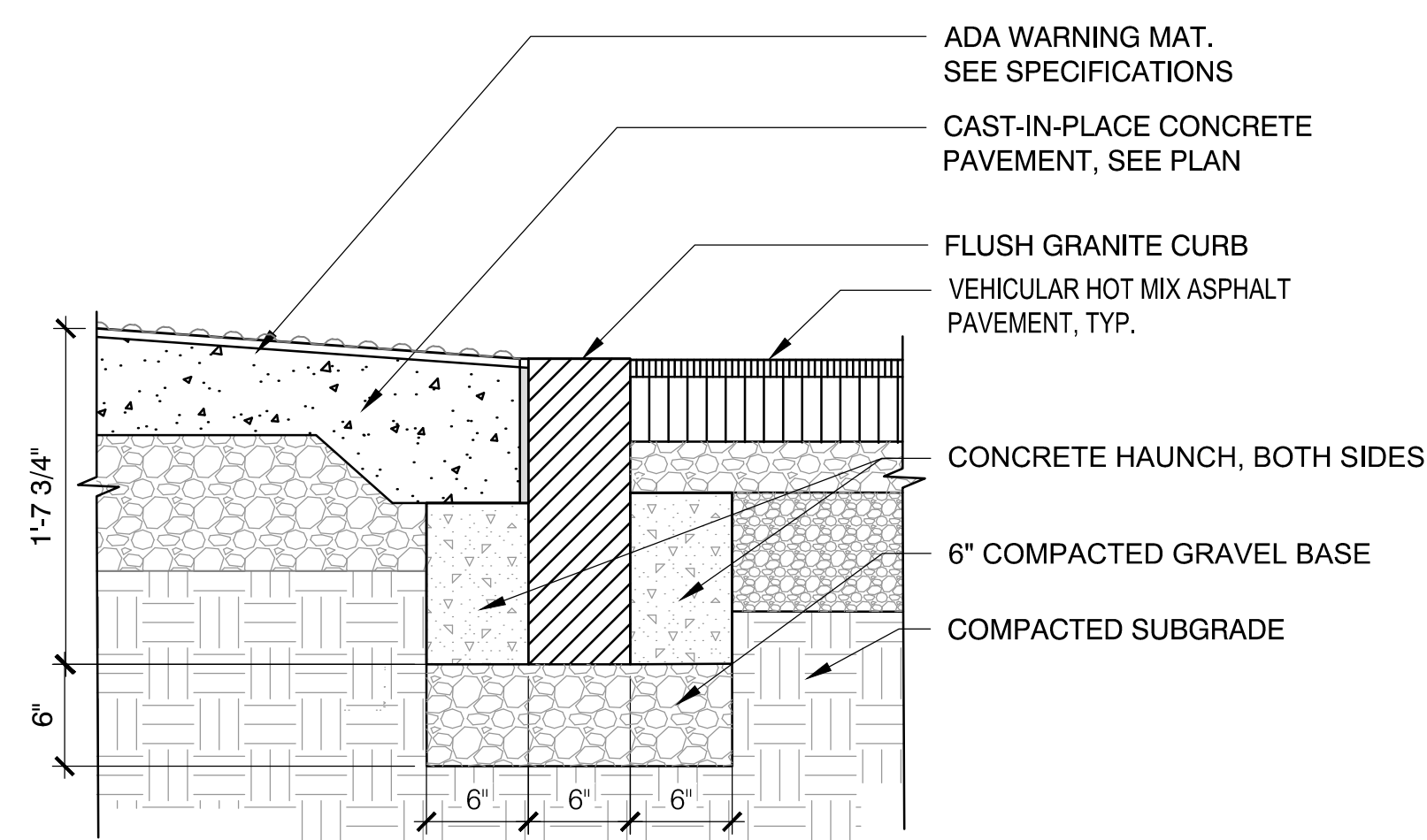
SCALE: N.T.S.



- NOTES:
1. PROVIDE PRE MOLDED EXPANSION JOINTS AT MIN. 30' O.C.
 2. PROVIDE TOOLED DUMMY JOINTS AT 4' O.C. (MIN. 1" DEPTH)
 3. BROOM FINISH PATTERN

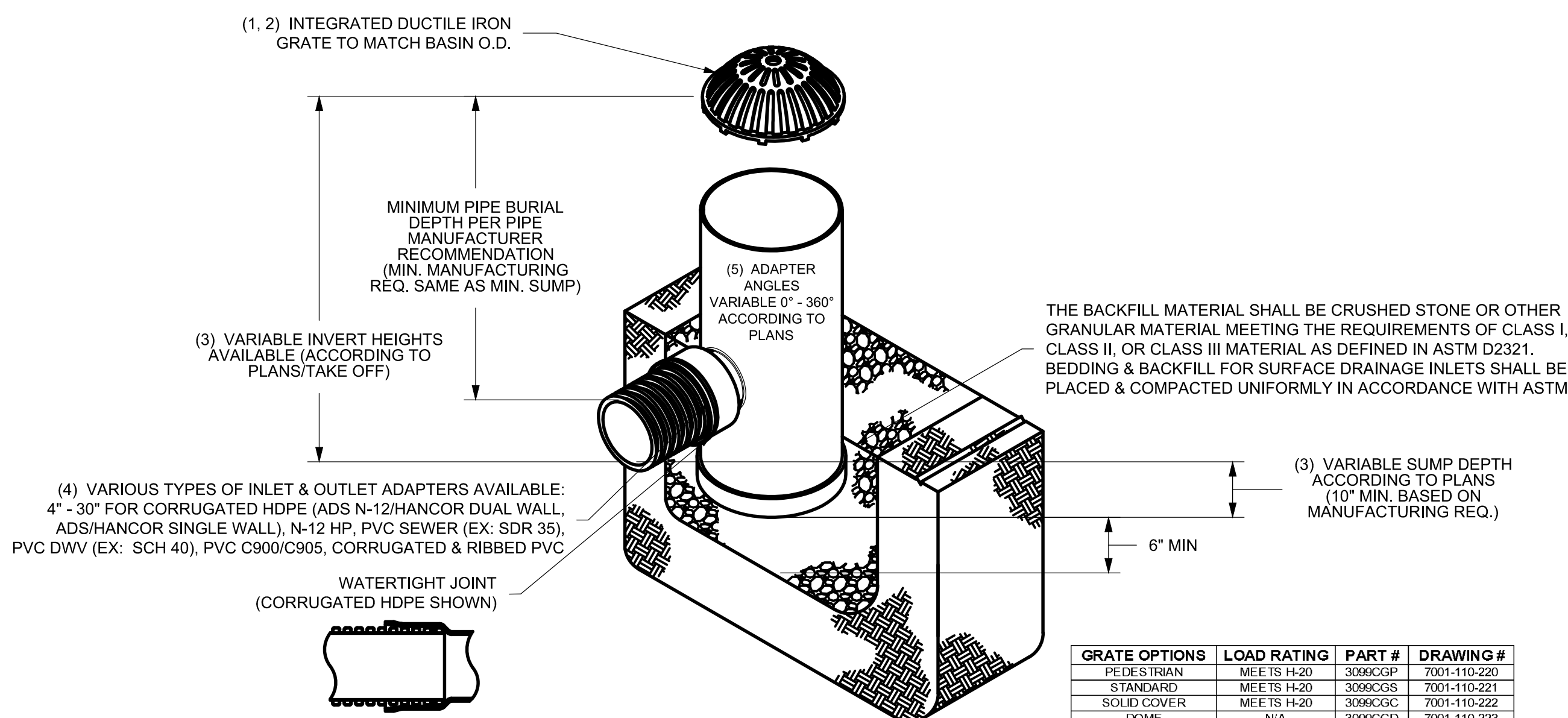
4 MONOLITHIC CEMENT CONCRETE SIDEWALK/CURB

SCALE: N.T.S.



6 FLUSH GRANITE CURB

SCALE: N.T.S.



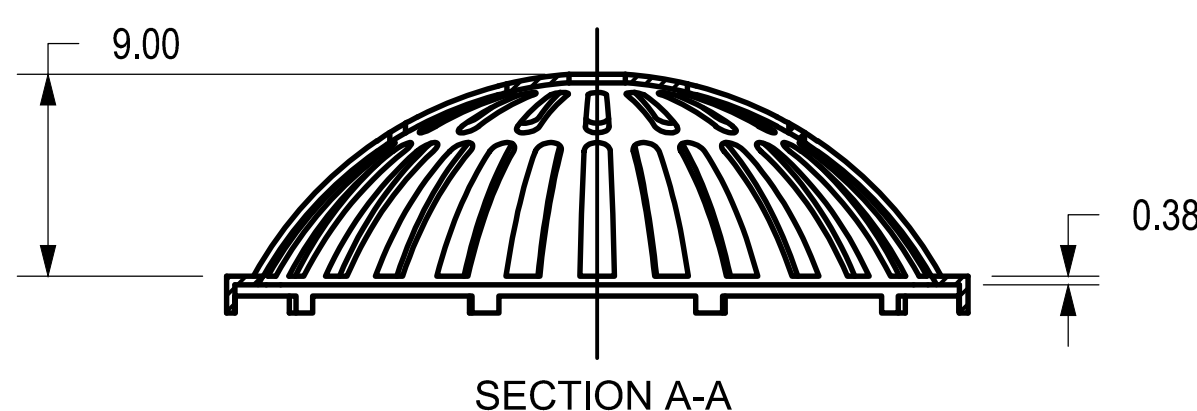
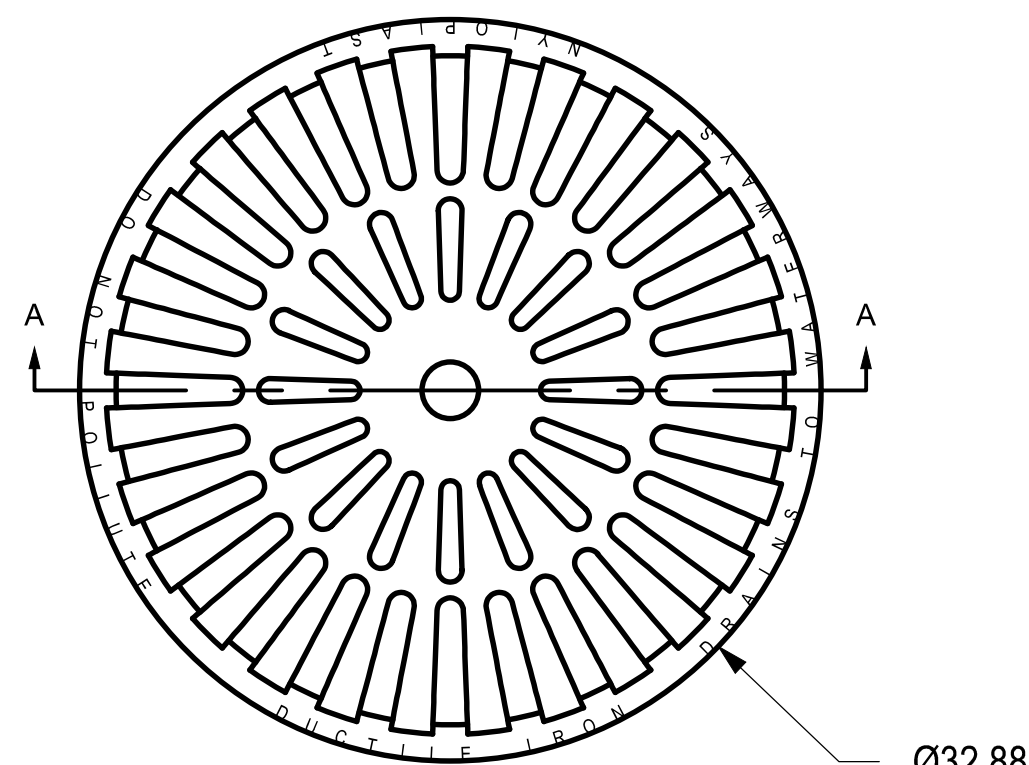
- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").
- 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

NOTE: AREA DRAINS 1-4 SHALL BE 30" DIAMETER WITH DOME GRATE INLETS. AREA DRAIN 5 SHALL BE 12" DIAMETER WITH A DUCTILE IRON PEDESTRIAN GRATE INLET.

2 AREA DRAIN

SCALE: N.T.S.

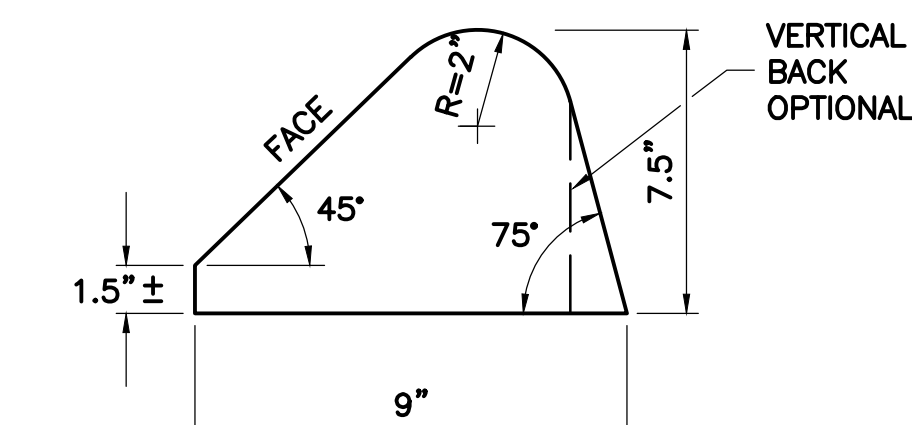
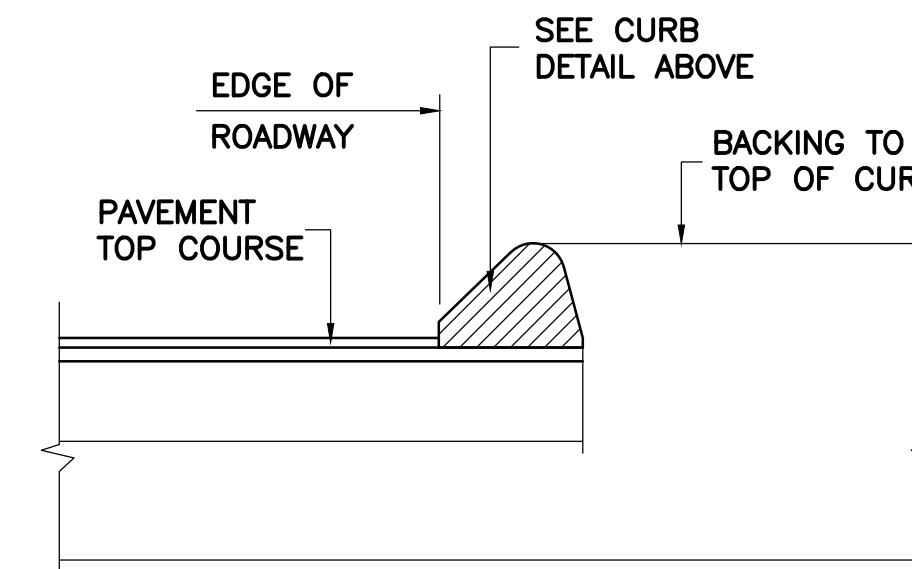
APPROX. DRAIN AREA = 409.94 SQ IN
APPROX. WEIGHT WITH FRAME = 93.00 LBS



DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOCKING DEVICE AVAILABLE UPON REQUEST

7 30 INCH DOME GRATE INLET

SCALE: N.T.S.

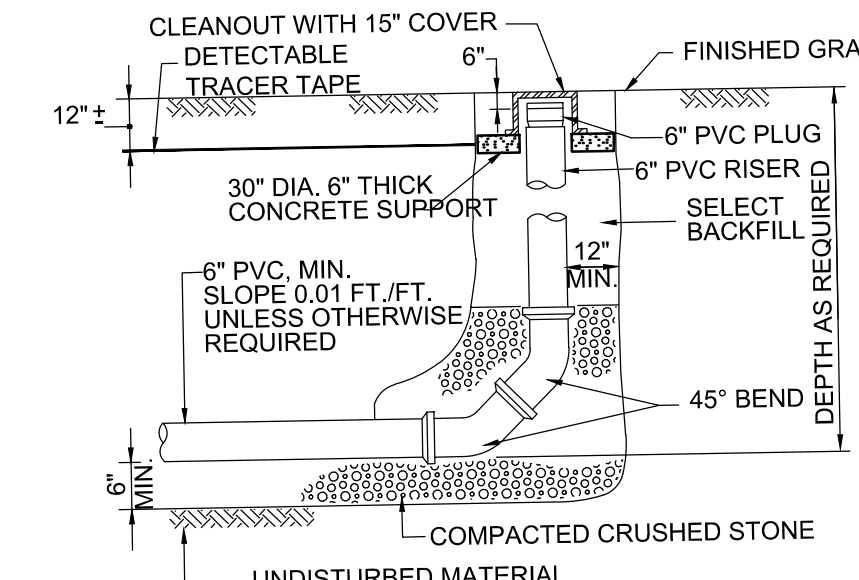


CURB DETAIL

CURB IS TYPE-2 PER MASS.
DPW CONSTRUCTION STANDARDS

3 HOT MIX ASPHALT CURB (TYPE 2)

SCALE: N.T.S.



5 CLEANOUT

SCALE: N.T.S.

PAVEMENT NOTES

PROPOSED FULL DEPTH PAVEMENT:

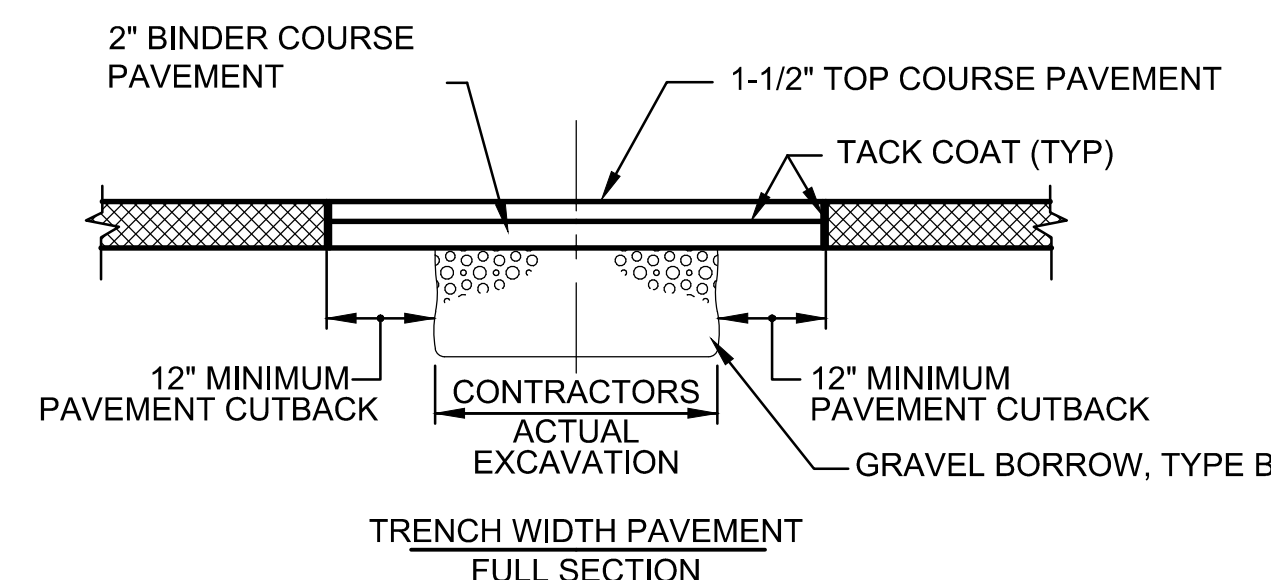
SURFACE: 3-1/2" HOT MIX ASPHALT PAVEMENT (1-1/2" TOP COURSE MATERIAL OVER 2" BINDER COURSE MATERIAL)

SUBBASE: 4" DENSE GRADED CRUSHED STONE OVER 8" GRAVEL BORROW, TYPE B

PROPOSED CEMENT CONCRETE WALK:

SURFACE: 4" CEMENT CONCRETE OVER

SUBBASE: 8" GRAVEL BORROW, TYPE B



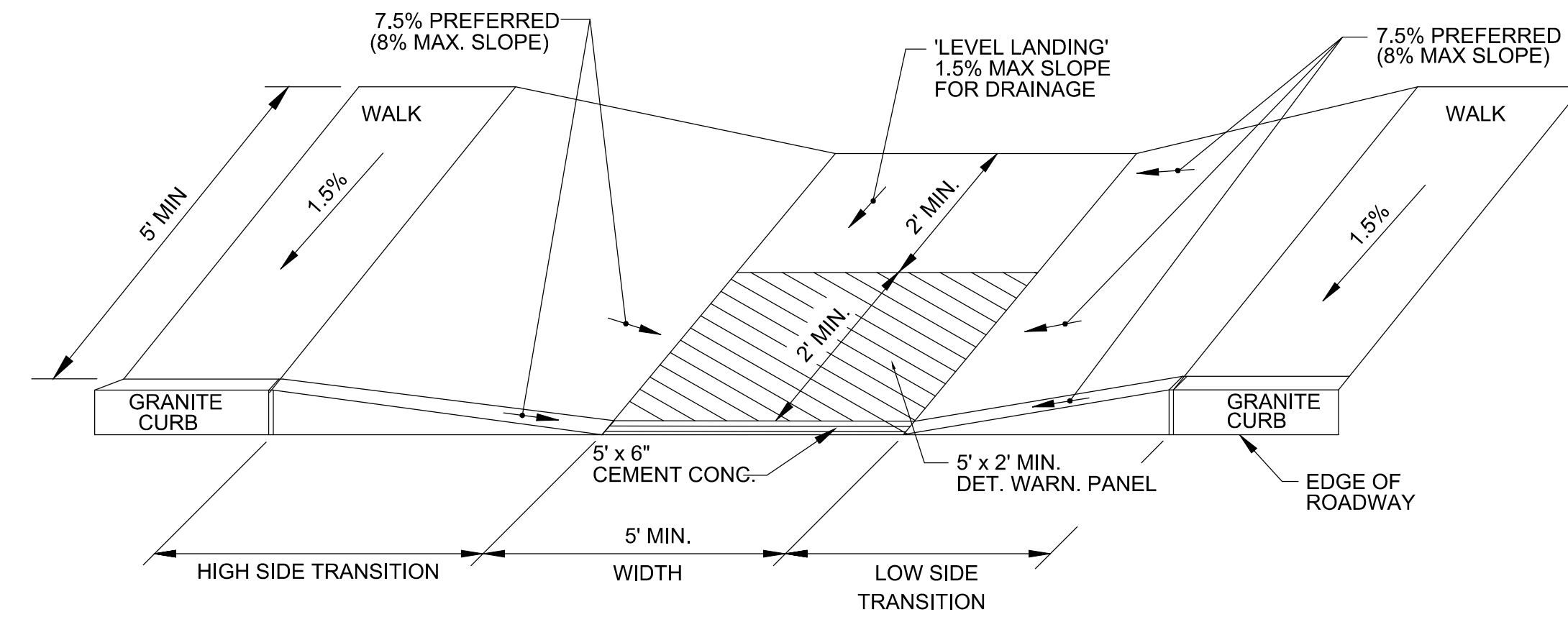
NOTE:

CONTRACTOR SHALL REPLACE PAVEMENT ASSOCIATED WITH WORK ON ALLEN STREET. WORK SHALL INCLUDE BINDER AND TOP COURSE PAVEMENT.

8 PAVEMENT REPLACEMENT DETAIL

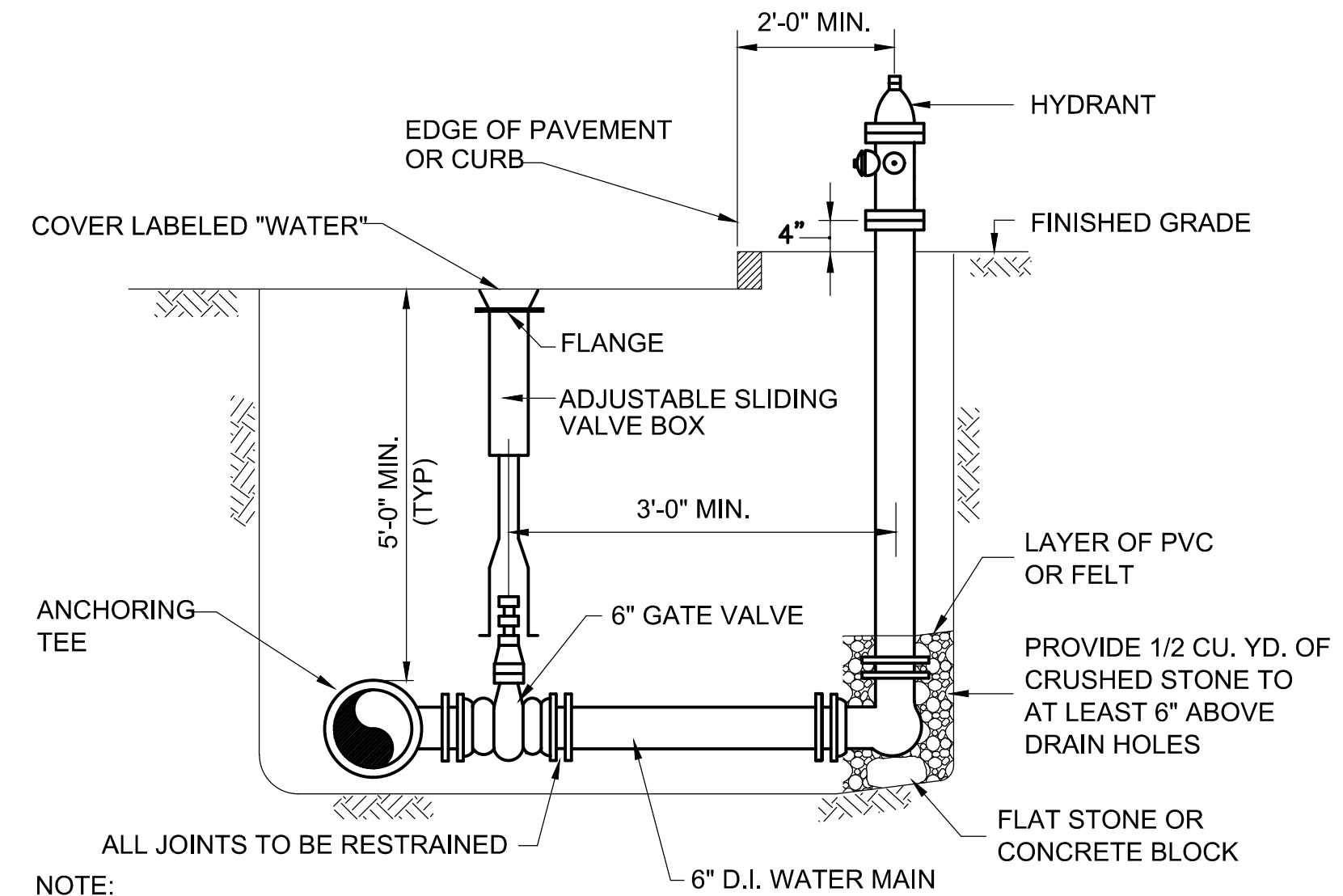
SCALE: N.T.S.

IDENTIFICATION NUMBER	TEXT	PANEL SIZE			NUMERALS & LETTERS				COLOR COMB.	NUMBER OF SIGNS REQUIRED	TOTAL AREA SQ. FT.	POST SIZE AND NUMBER REQUIRED
		WIDTH	HEIGHT	CORNER RADII	BORDER WIDTH	MARGIN WIDTH	NUM. IN.	UPPER CASE				
R1-1		30"	30"									
R6-1		36"	12"	SEE MUTCD, INCLUDING STANDARD HIGHWAY SIGNS, LATEST EDITION								
R5-1		30"	30"									

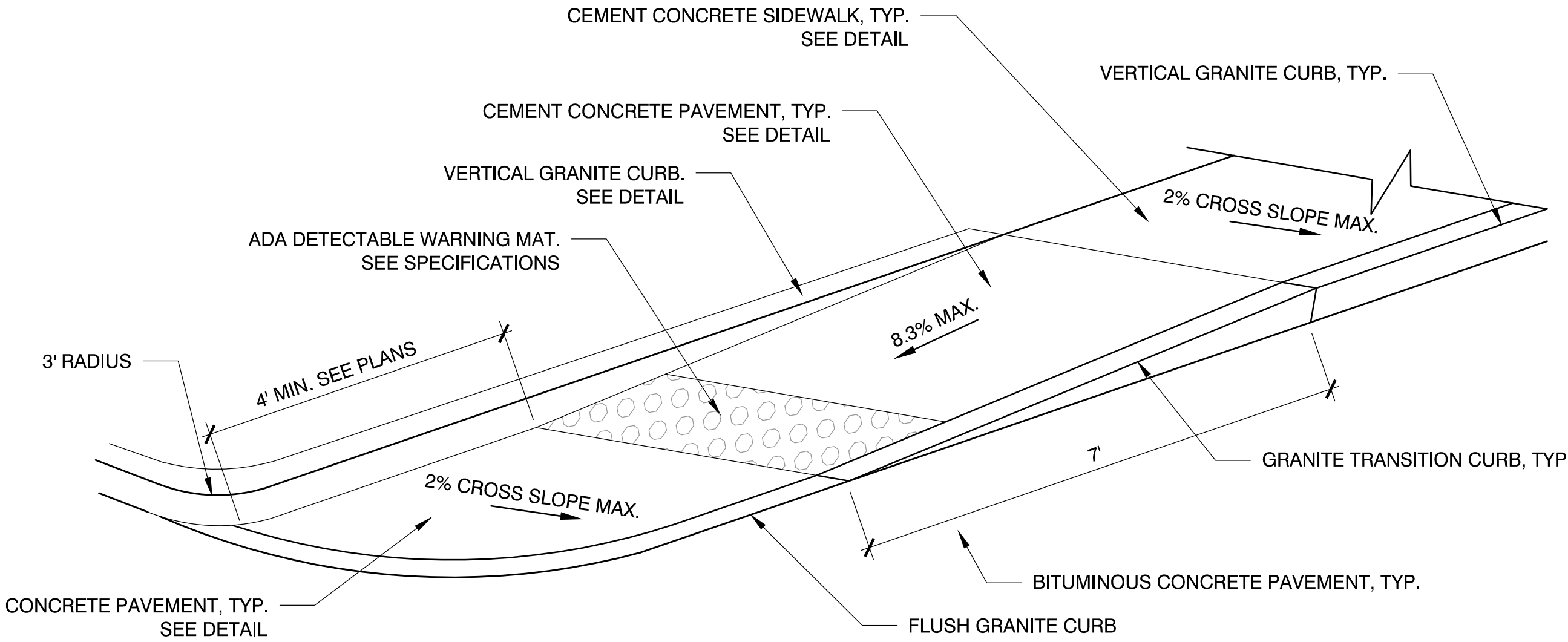


1 PERMANENT TRAFFIC SIGN SUMMARY
SCALE: N.T.S.

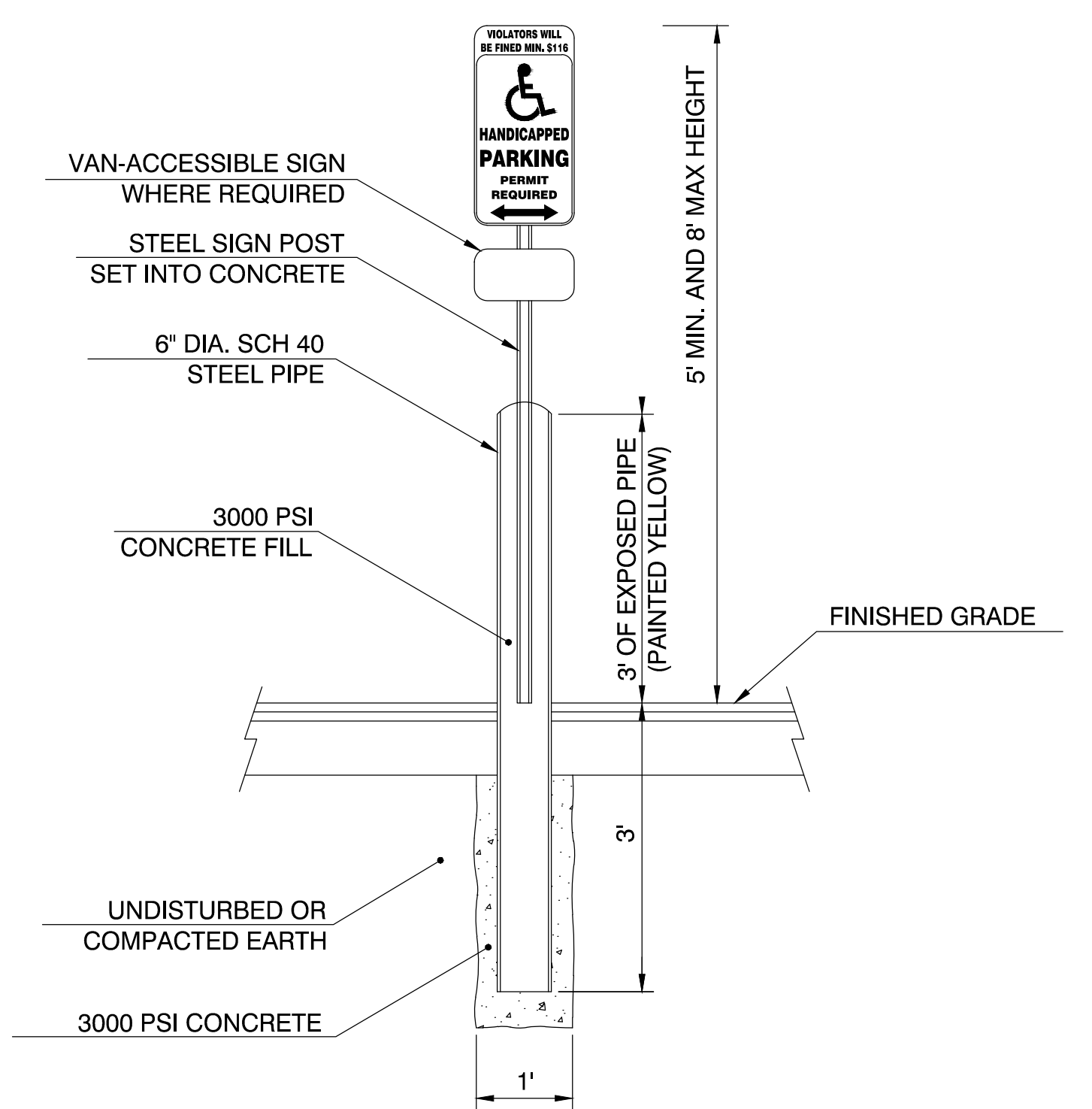
2 ADA ACCESSIBLE CURB RAMP - TYPE A
SCALE: N.T.S.



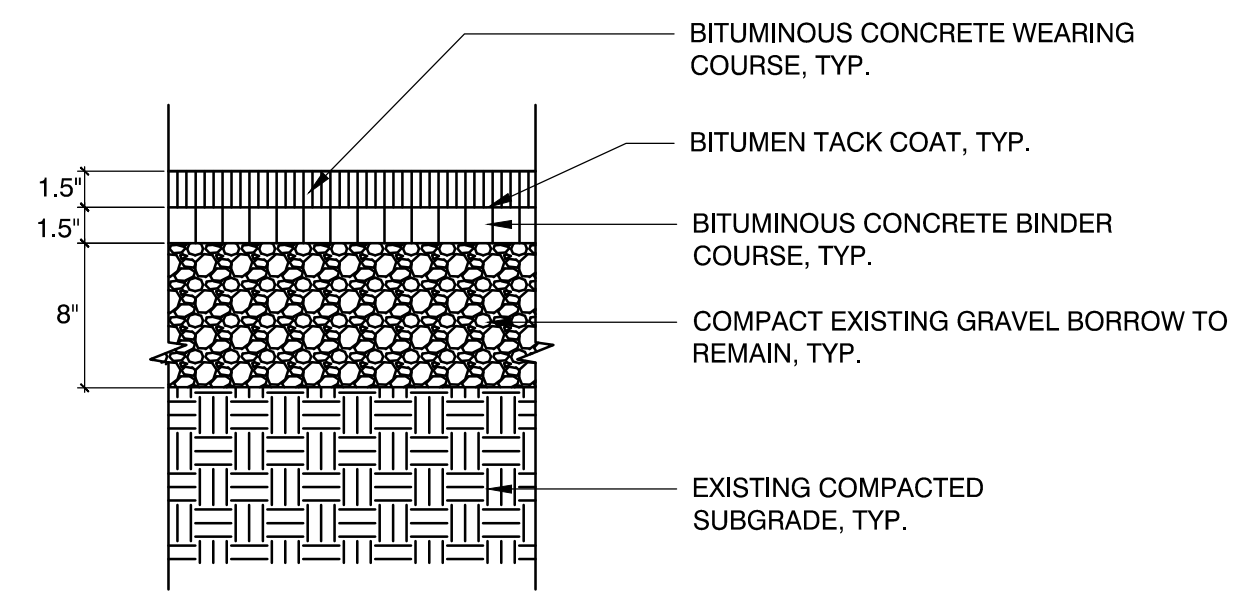
3 HYDRANT AND VALVE DETAIL
SCALE: N.T.S.



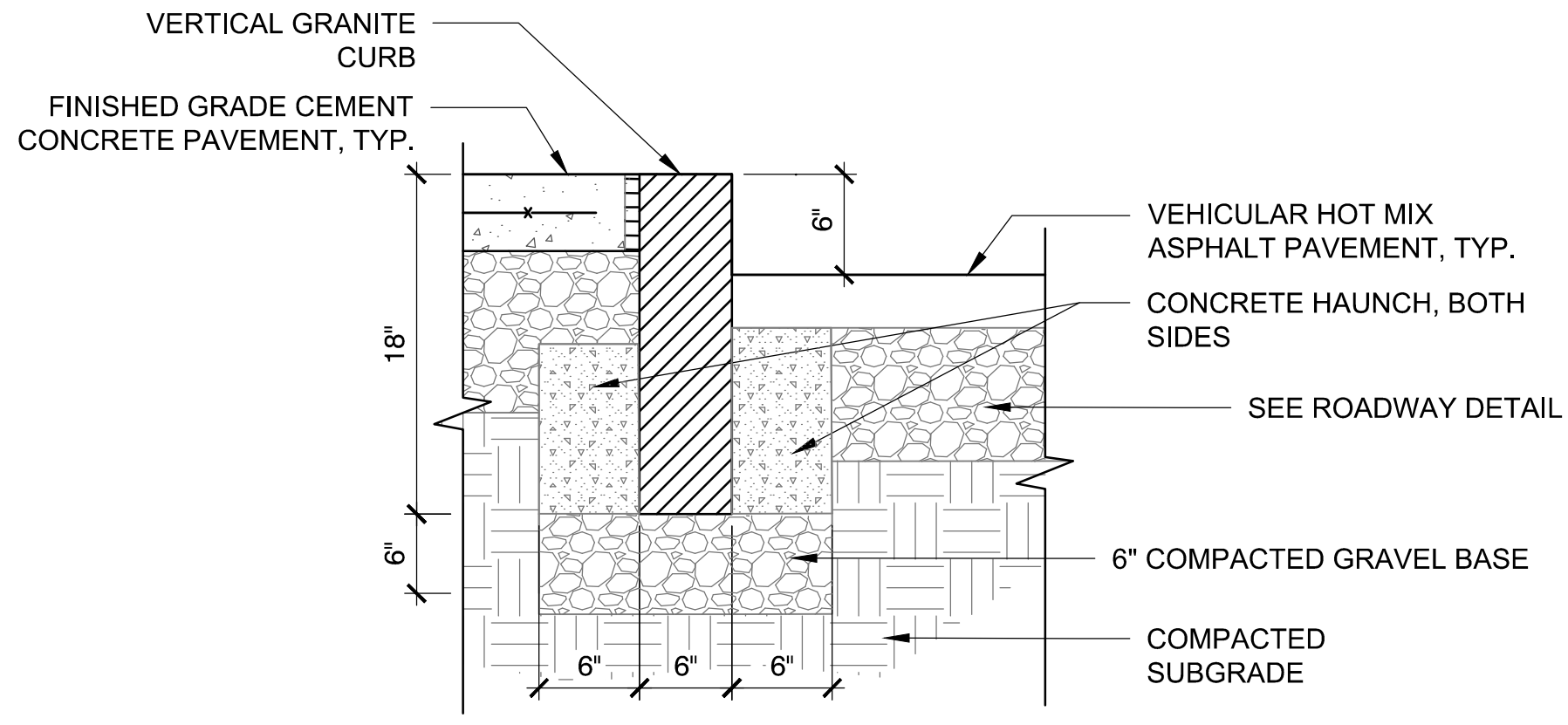
4 ADA ACCESSIBLE CURB RAMP - TYPE B
SCALE: N.T.S.



5 ACCESSIBLE SIGN AND POST DETAIL
SCALE: N.T.S.



6 BITUMINOUS CONCRETE SIDEWALK DETAIL
SCALE: N.T.S.



7 VERTICAL GRANITE CURB
SCALE: N.T.S.

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P 617 964 5477 SPECIFICATIONS

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P 617 926 9300 STRUCTURAL



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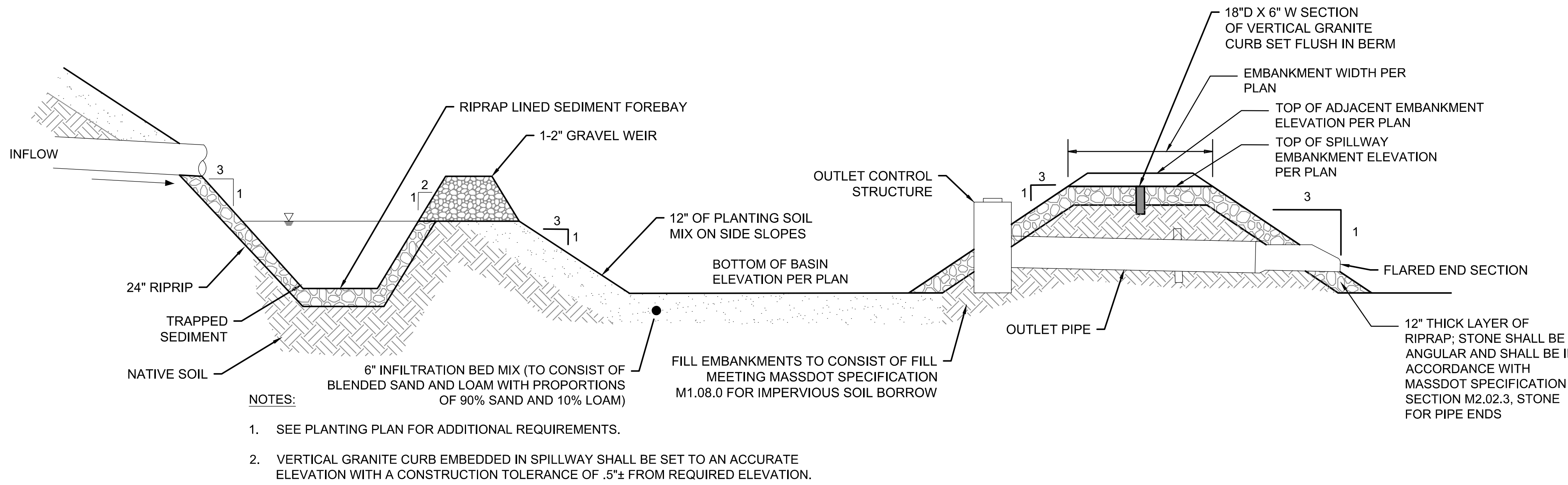
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SCALE UTILITE PROJECT NUMBER 2212

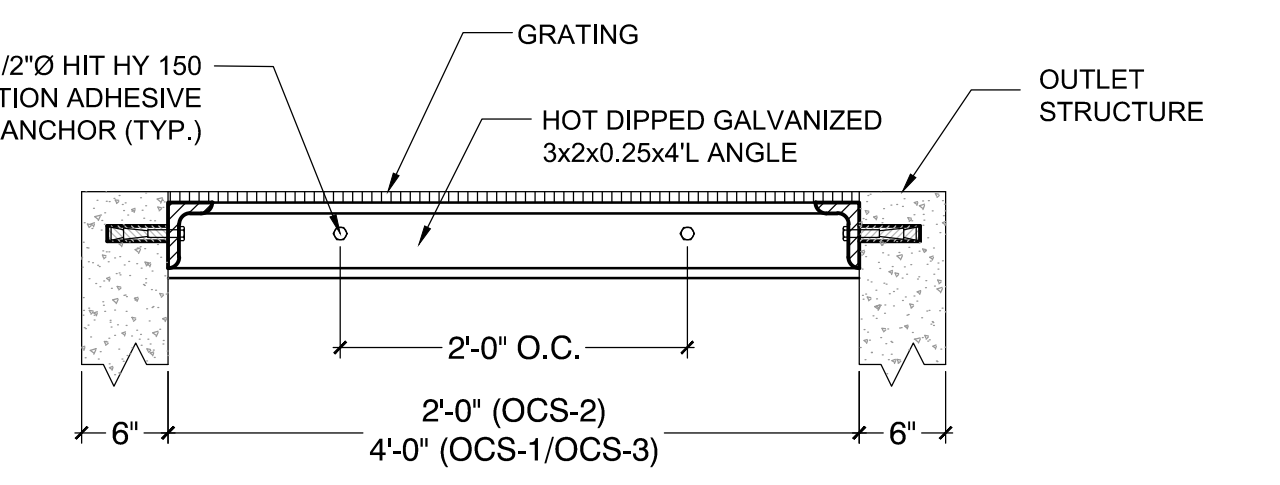
DETAILS

C504

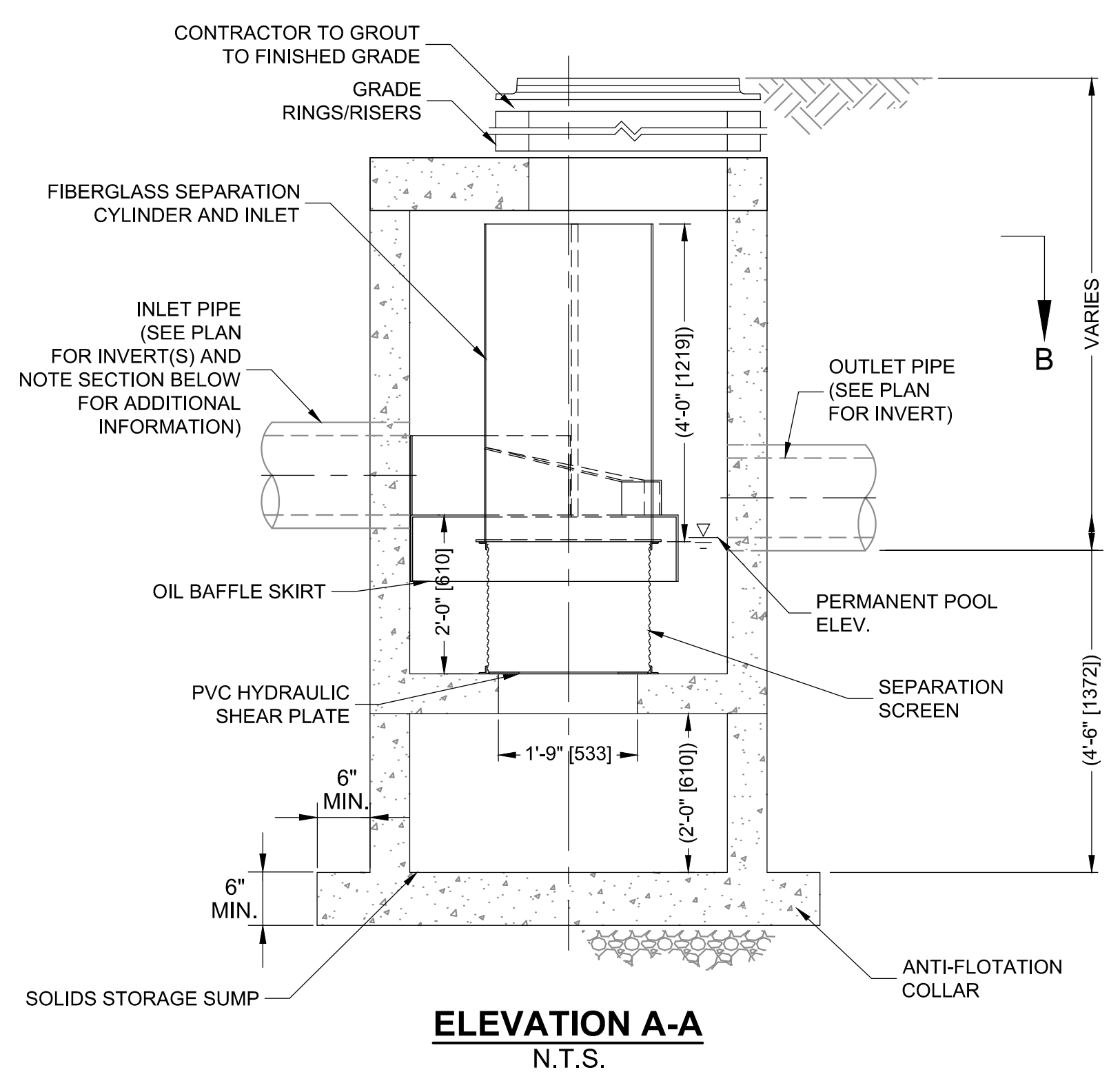


- NOTES:
- SEE PLANTING PLAN FOR ADDITIONAL REQUIREMENTS.
 - VERTICAL GRANITE CURB EMBEDDED IN SPILLWAY SHALL BE SET TO AN ACCURATE ELEVATION WITH A CONSTRUCTION TOLERANCE OF .5"± FROM REQUIRED ELEVATION.

- NOTES:
- OUTLET STRUCTURE TO BE 2'X2' OR 4'X4' (INTERIOR DIMENSIONS - SEE SPECIFICATIONS BELOW) WIDE WITH A 4' SUMP PRECAST CONCRETE STRUCTURE.
 - SEE CATCH BASIN DETAIL FOR MATERIAL AND CONSTRUCTION SPECIFICATIONS.
 - TRASH RACK BAR GRATE TO BE GALVANIZED OR PAINTED (2 COATS W/ RUST INHIBITOR BLACK PAINT).
 - IF MORE THAN 2 TRASH RACK GRATE PANELS ARE USED, PANELS ARE TO BE BOLTED TO ANGLES W/ GALV. BOLTS AT EACH CORNER.

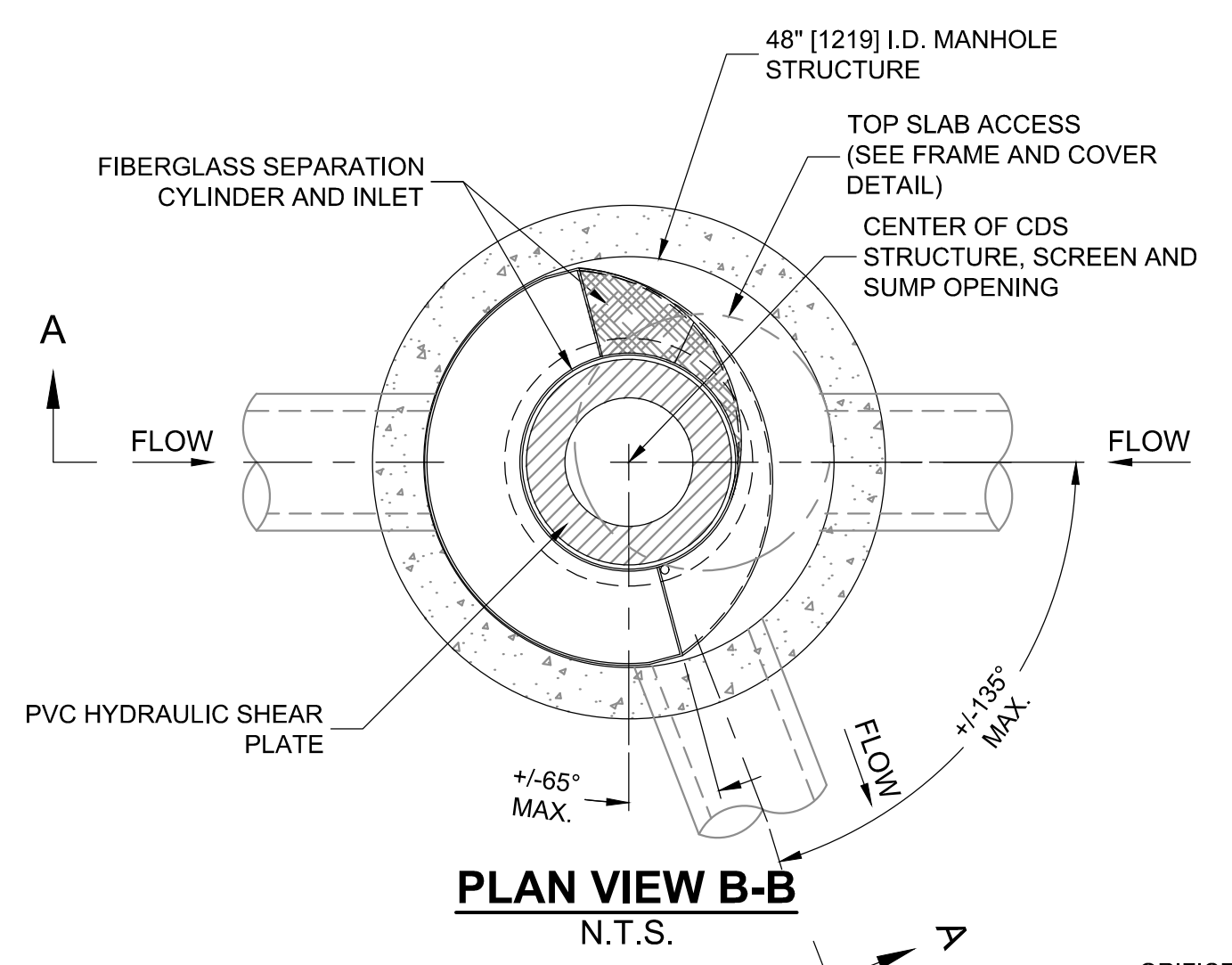


1 INFILTRATION BASIN
SCALE: N.T.S.

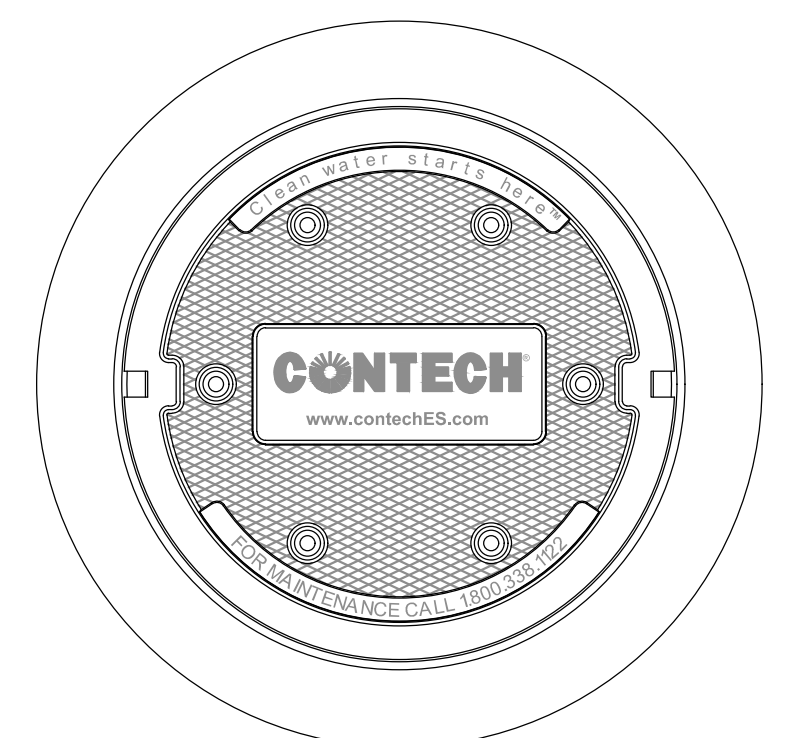


- NOTE:
- MULTIPLE INLET PIPES MAY BE ACCOMMODATED. CONTRACTOR TO VERIFY FEASIBILITY OF CONNECTION TO CDS UNIT IN ORDER TO INSTALL

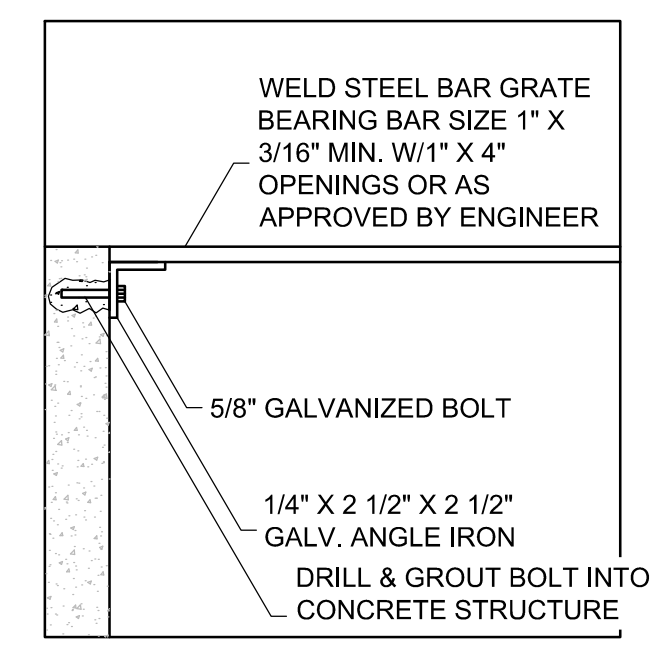
2 CONTECH CDS-2015-4-C INLINE UNIT DETAIL
SCALE: N.T.S.



PLAN VIEW B-B
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

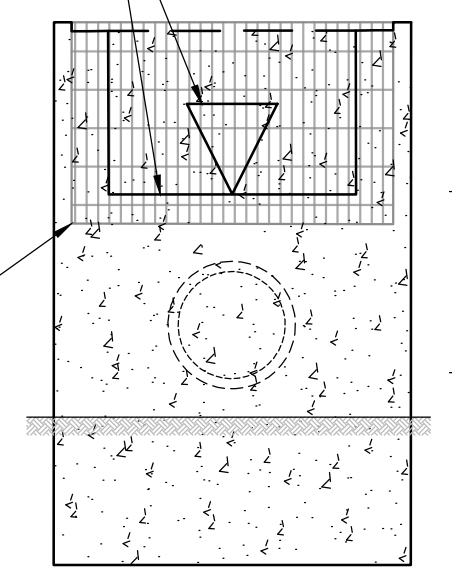


OUTLET STRUCTURE CONFIGURATION SUMMARY

	A	B	C*	D
OCS-1	241.38	24" HDPE	245.20	246.20
OCS-2	238.25	12" HDPE	241.60	244.30
OCS-3	241.28	24" HDPE	242.00	243.50

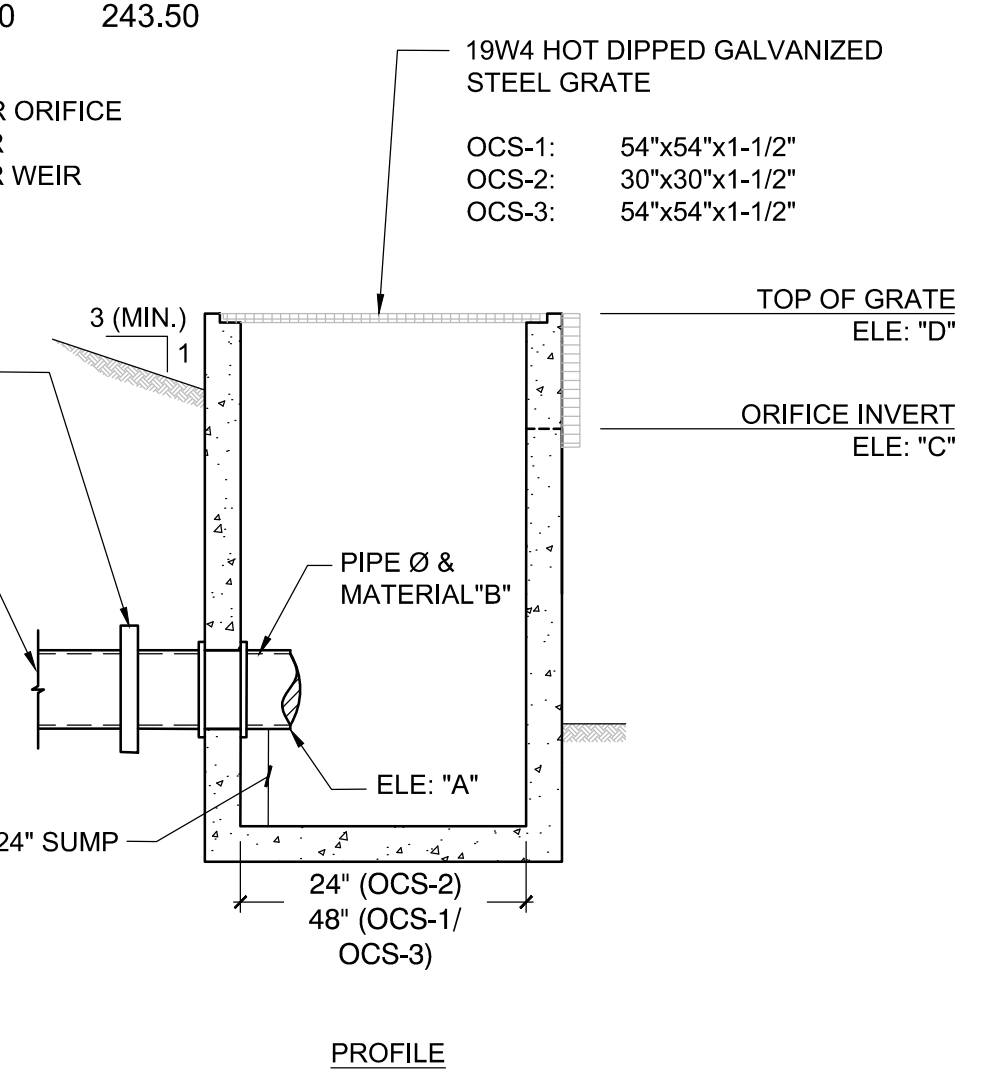
- * OCS-1 TO HAVE (1) 36"W x 12"H RECTANGULAR ORIFICE
OCS-2 TO HAVE (1) 18"W x 18"H V NOTCH WEIR
OCS-3 TO HAVE (1) 48"W x 18"H RECTANGULAR WEIR

ORIFICE (STYLE VARIES - SEE NOTE FOR DESCRIPTION)



FRONT VIEW

- NOTE:
- ALL MISC. PARTS AND FASTENERS MUST BE STAINLESS STEEL.



PROFILE

3 OUTLET CONTROL STRUCTURE (OCS) - TYPE 2
SCALE: N.T.S.

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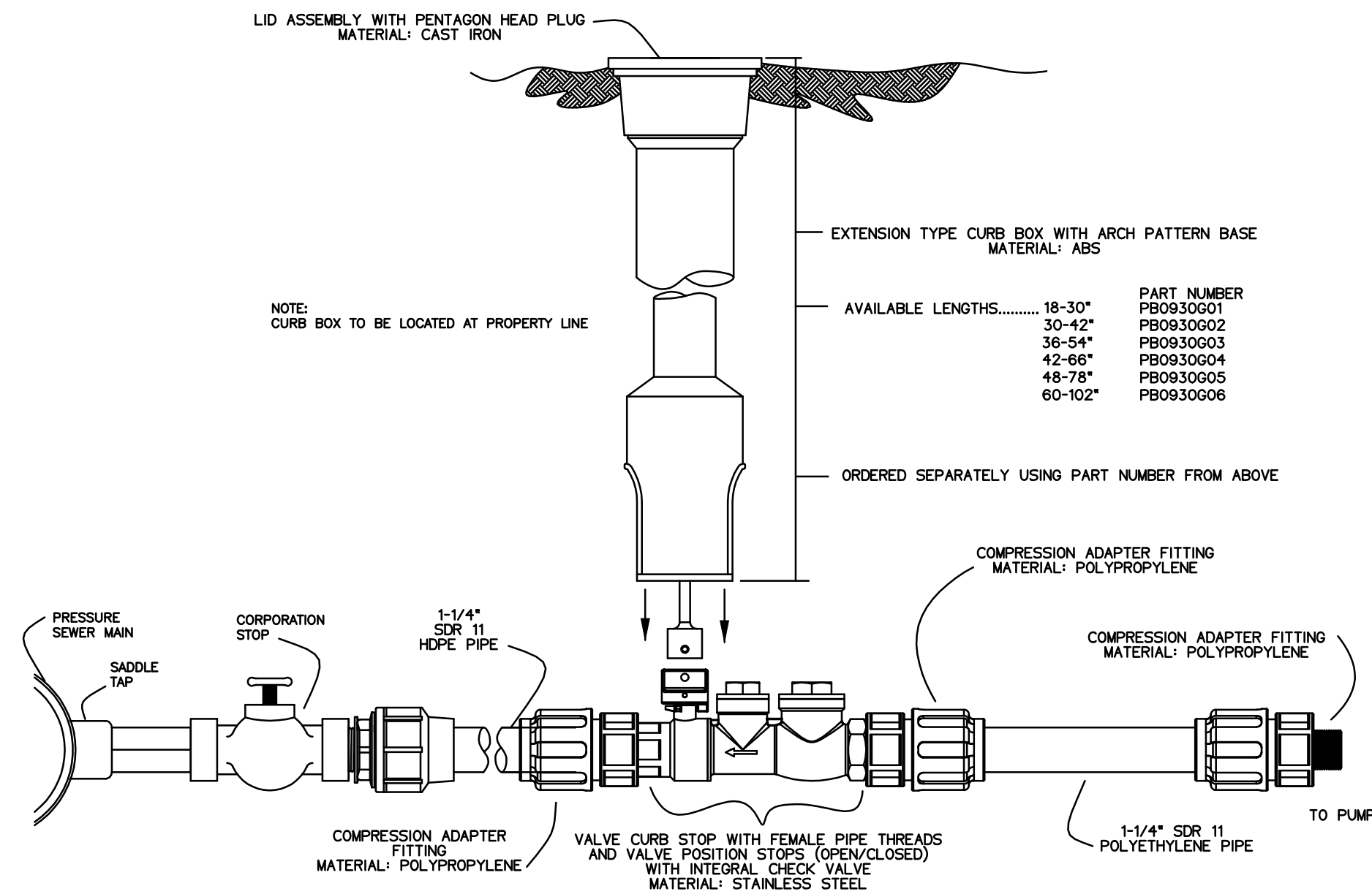
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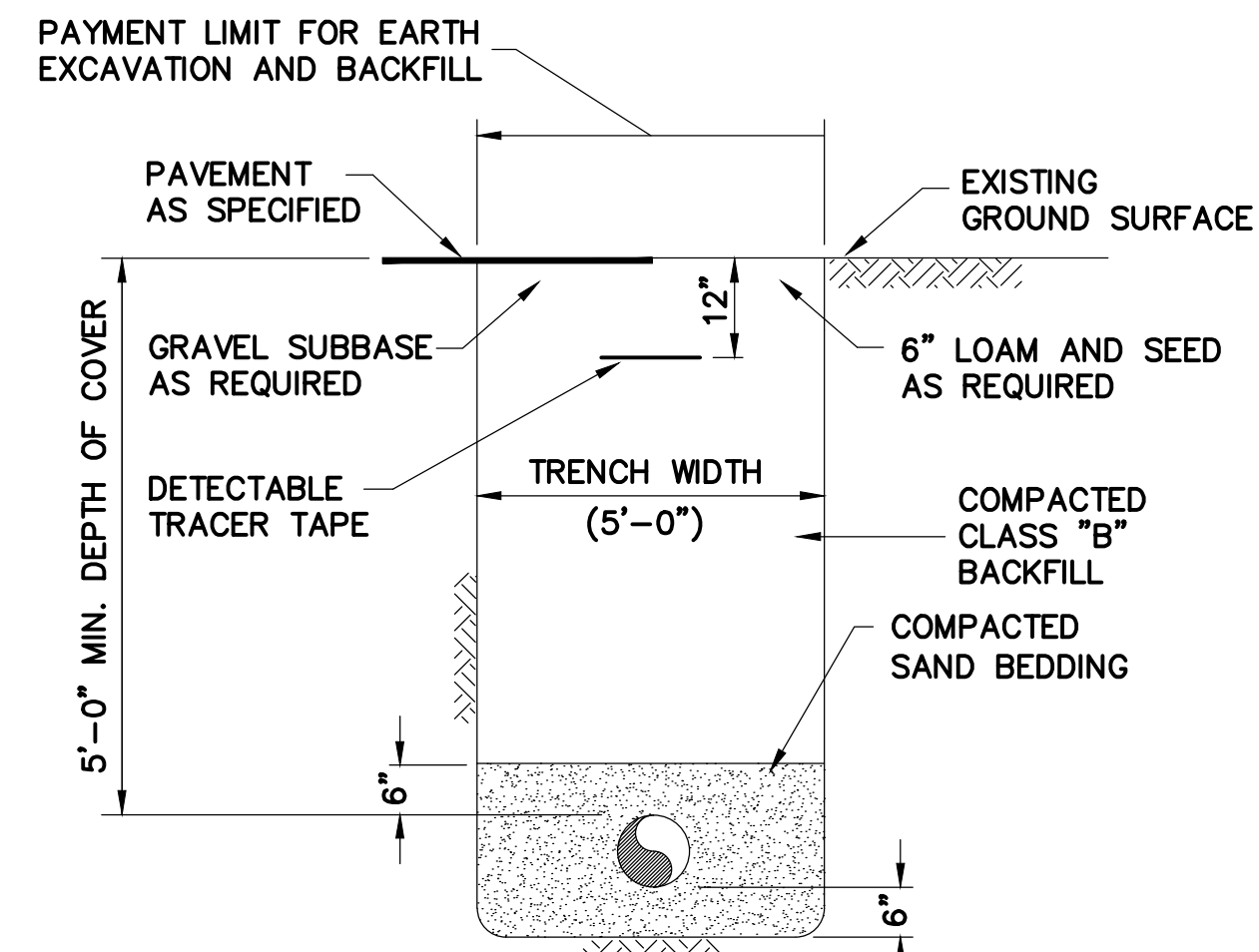
SCALE UTILITE PROJECT NUMBER 2212

DETAILS

C505

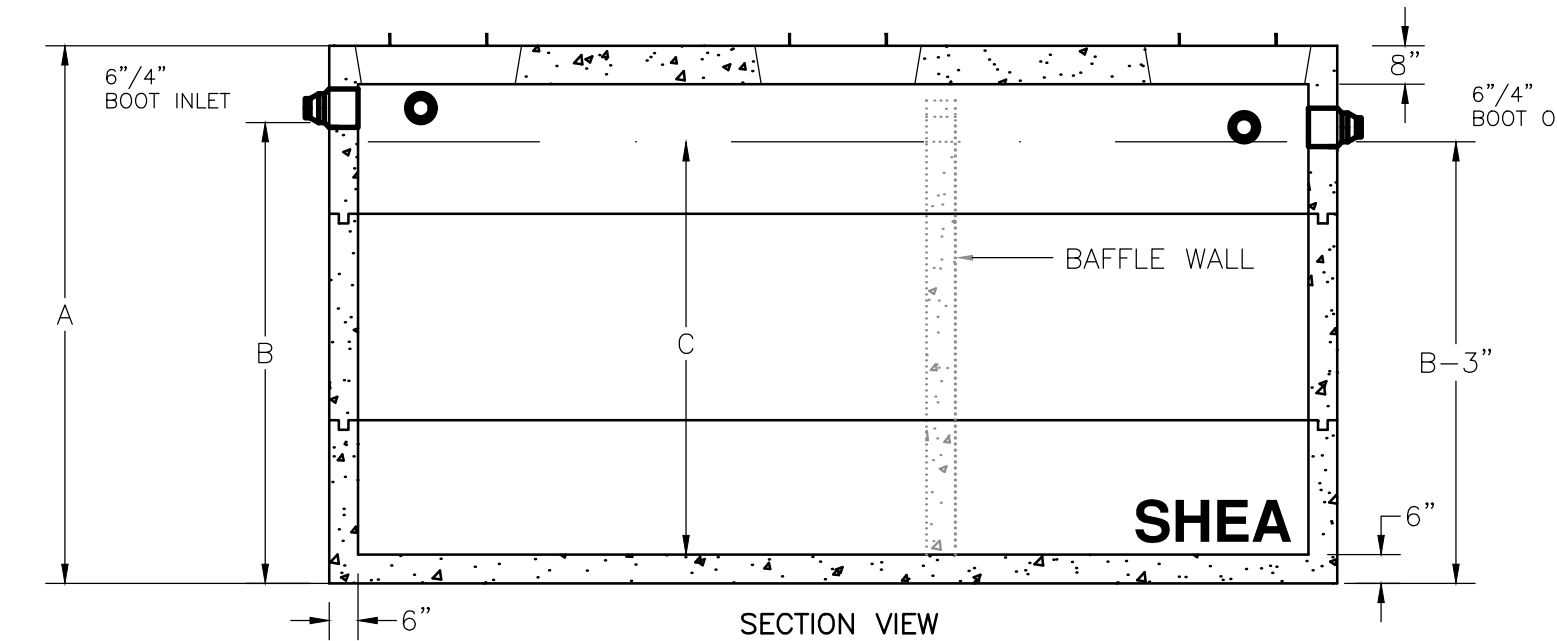
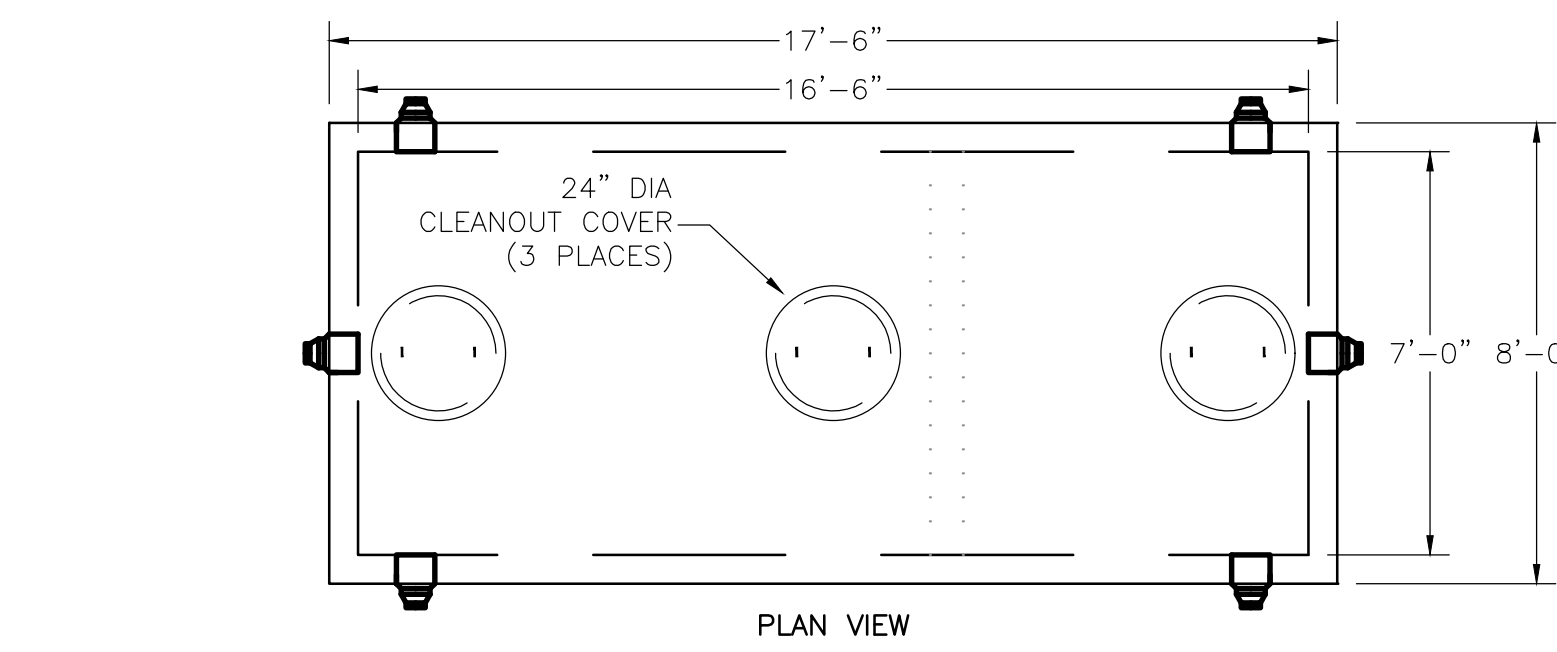


1 STAINLESS STEEL LATERAL INSTALLATION AND KIT (1-1/4" HDPE)
SCALE: N.T.S.



NOTE:
1. BELOW THE 'LINE OF NARROW TRENCH LIMIT' THE TRENCH SHOULD NOT BE EXCAVATED BEYOND THE TRENCH WIDTH 'W'. IF MATERIAL IS LOOSENEED OR REMOVED BEYOND THE ABOVE MENTIONED LIMITS, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE CRUSHED STONE FOR THE FULL WIDTH OF THE TRENCH AT NO ADDITIONAL COST TO THE OWNER.

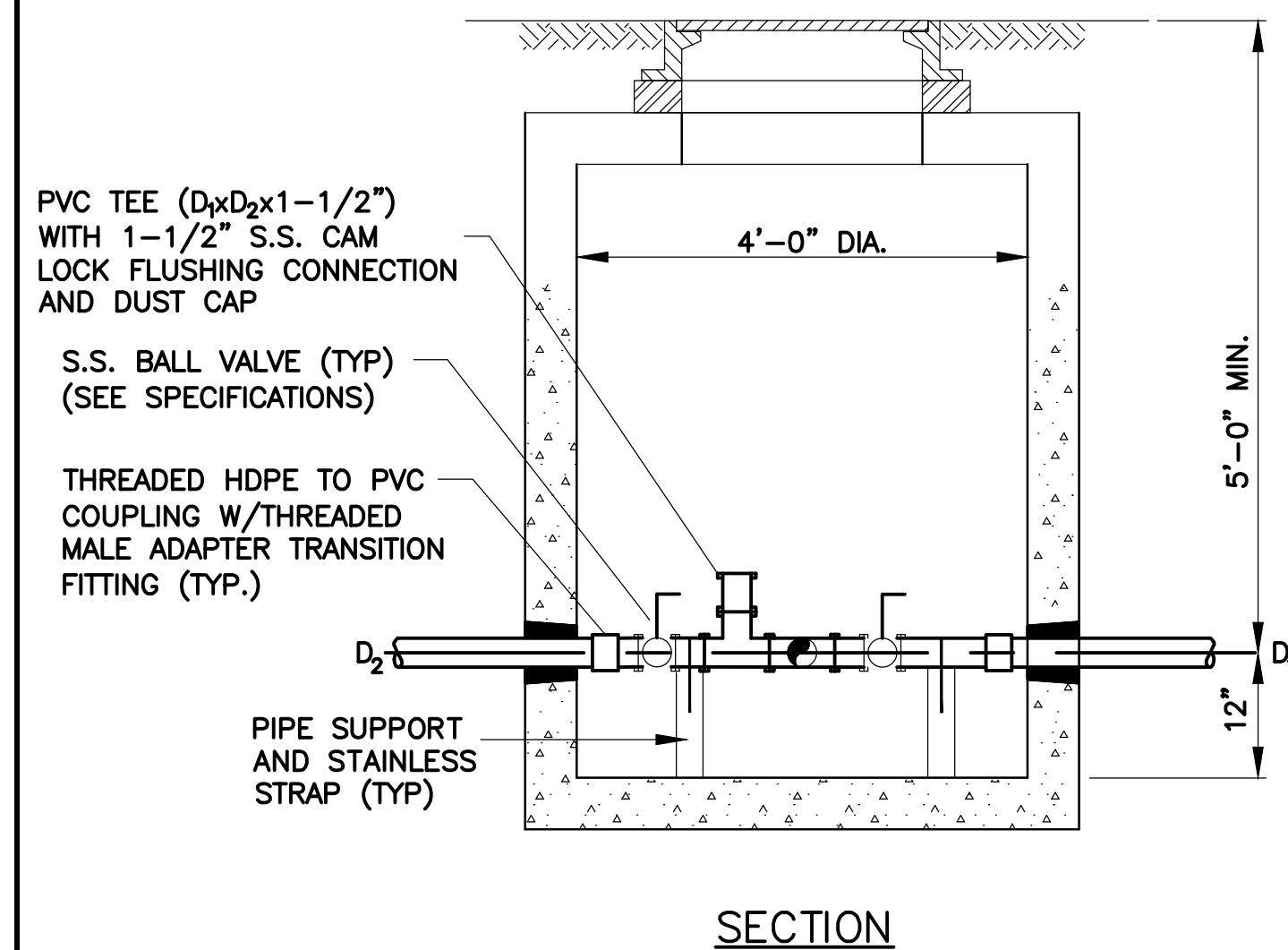
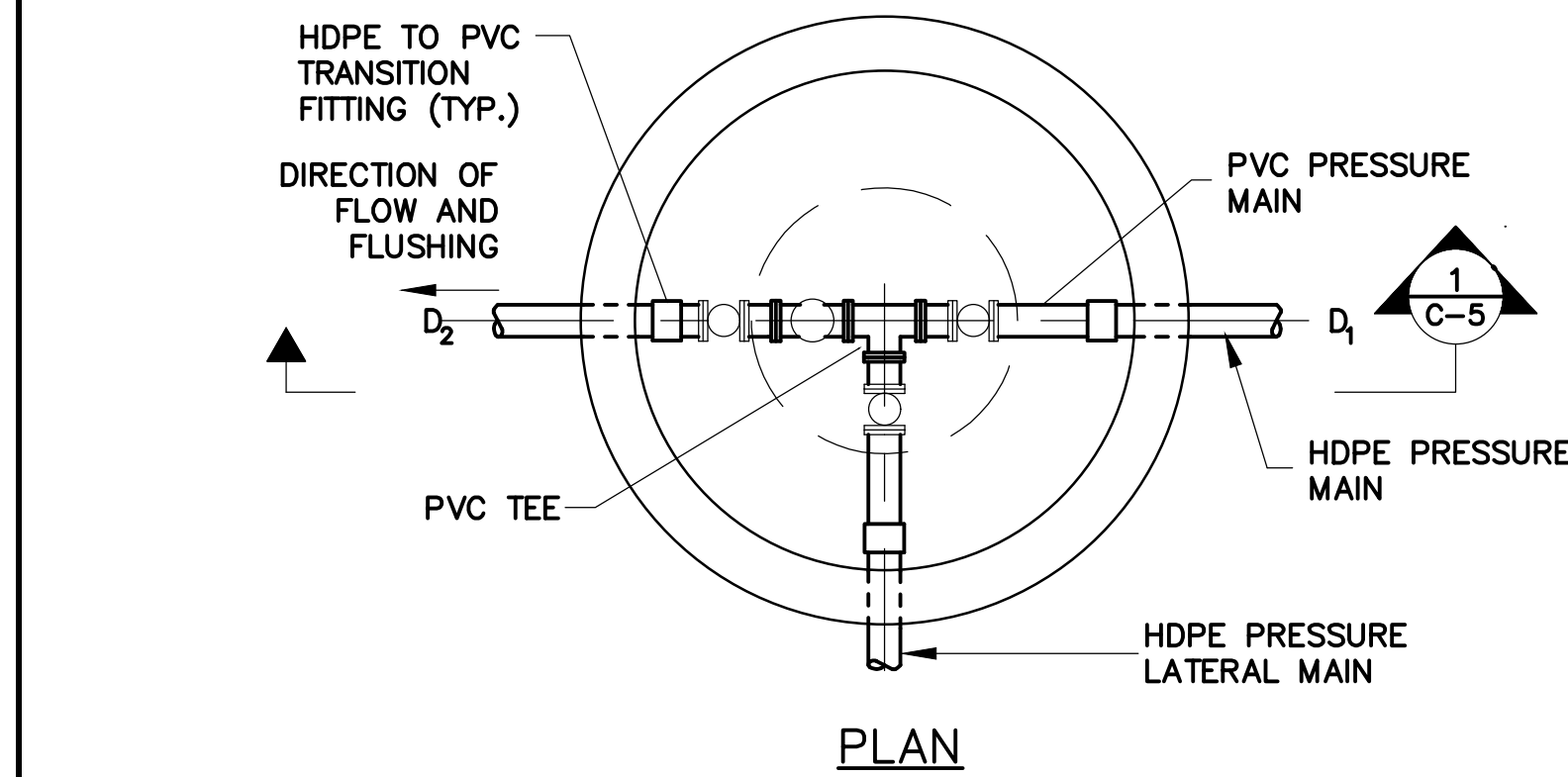
2 PRESSURE SEWER TRENCH DETAIL
SCALE: N.T.S.



NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.00 DEP TITLE 5 REGS FOR SEPTIC TANKS.
3. ALL REINFORCEMENT PER ASTM C1227
4. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1-5 FT.
5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN, INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.
6. TEES AND BAFFLES SOLD SEPARATELY.

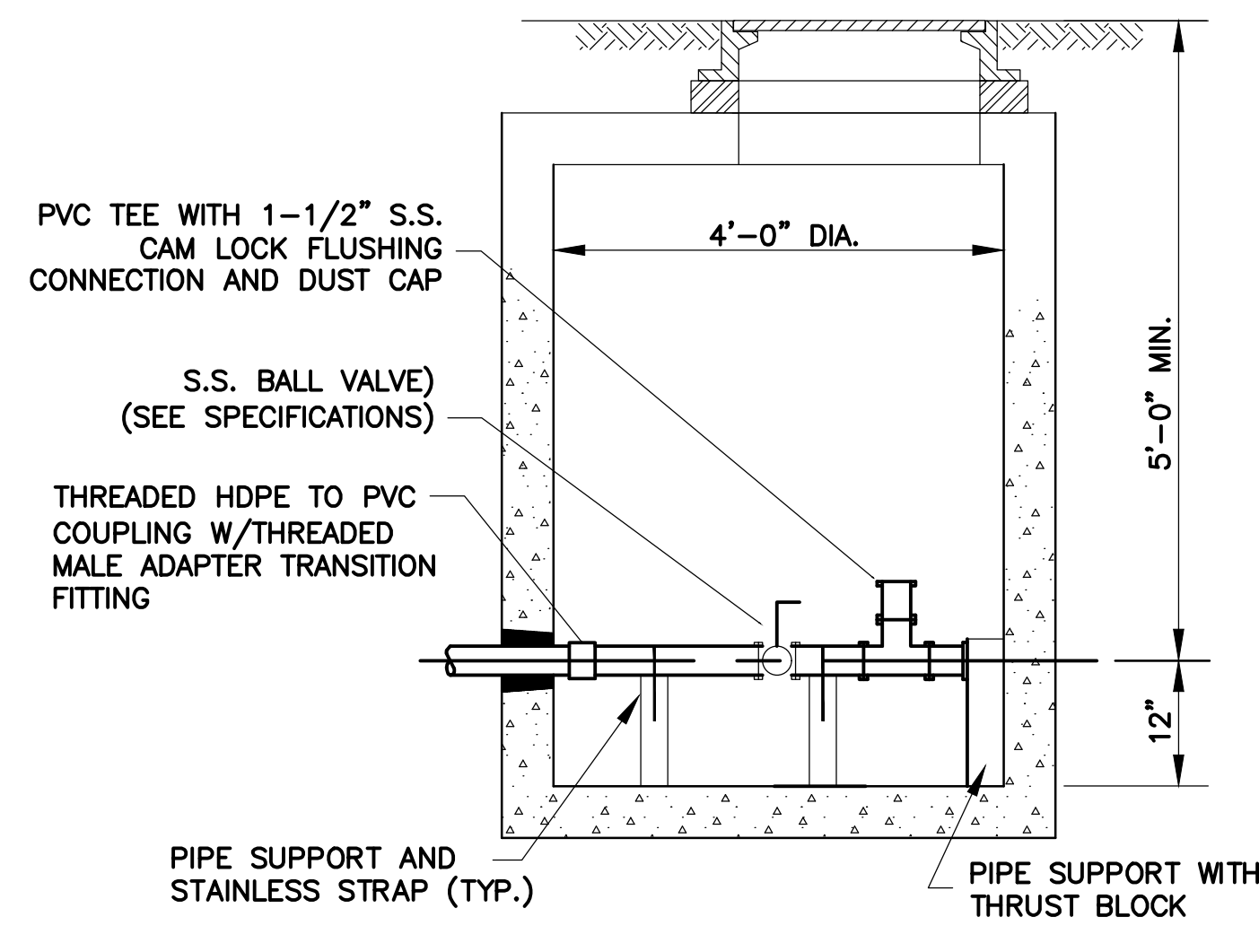
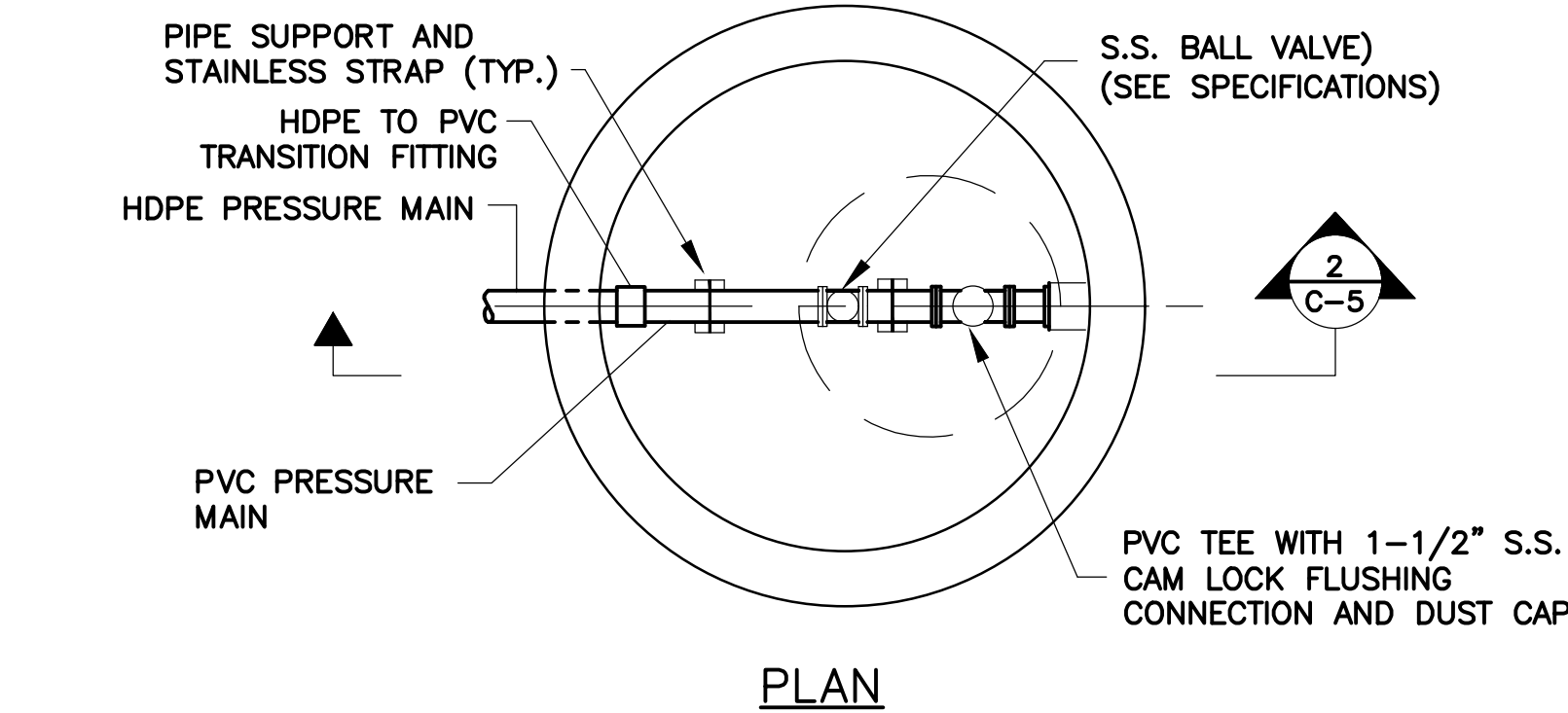
SECTION	WEIGHT	GALLONS	ITEM NO.	A (HEIGHT)	B* (INLET 6\"/>						
28\"/>											
35\"/>											
34\"/>											
49\"/>											
30\"/>											
4.3\"/>											
3,500	19,885#	8X17-352C	77"	61"	62"	52"	49,505	28"	49"	0"	0"
4,000	24,300#	8X17-402C	84"	68"	69"	60"	51,365	35"	49"	0"	0"
4,500	20,029#	8X17-452C	92"	75"	76"	66"	53,709	28"	34"	30"	0"
5,000	27,065#	8X17-502C	99"	82"	83"	73"	55,569	35"	34"	30"	0"
5,500	11,240#	8X17-552C	105"	89"	90"	80"	59,174	28"	34"	43"	0"
6,000	11,240#	8X17-602C	112"	96"	97"	88"	61,034	35"	34"	43"	0"
6,500	11,240#	8X17-652C	120"	104"	105"	95"	66,210	28"	49"	43"	0"
7,000	11,240#	8X17-702C	127"	111"	112"	102"	68,070	35"	49"	43"	0"
7,500	11,240#	8X17-752C	135"	118"	119"	109"	70,414	28"	34"	43"	30"
8,000	11,240#	8X17-802C	142"	125"	126"	116"	72,274	35"	34"	43"	30"

3 5,000 GALLON (TWO COMPARTMENT) SEPTIC TANK
SCALE: N.T.S.



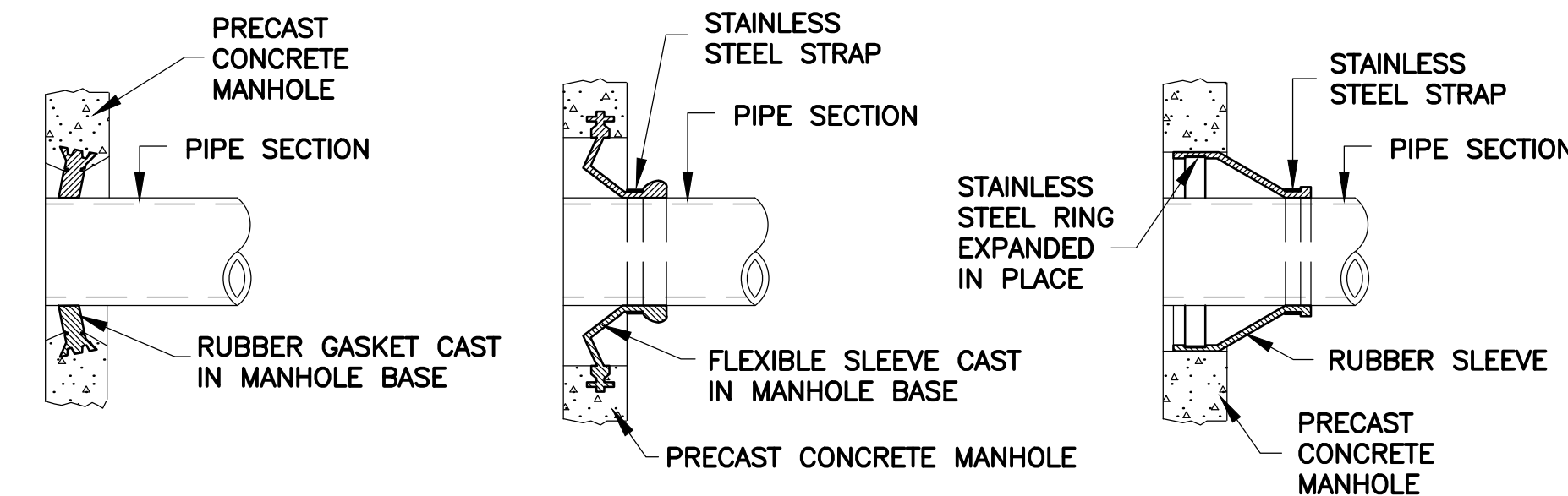
NOTES:
1. ALL MANHOLE COMPONENTS TO BE AS SHOWN ON TYPICAL PRECAST MANHOLE DETAIL.
2. PROVIDE ADAPTING FITTINGS AS REQUIRED.

4 MAIN CONNECTION DETAIL
SCALE: N.T.S.

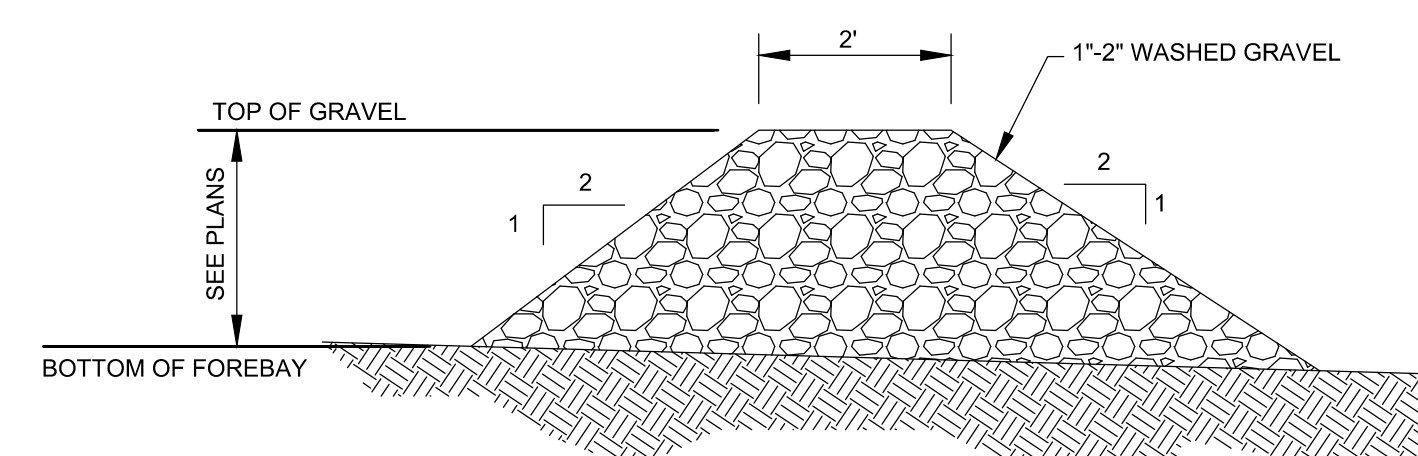


NOTES:
1. ALL MANHOLE COMPONENTS TO BE AS SHOWN ON TYPICAL PRECAST MANHOLE DETAIL.
2. PROVIDE ADAPTING FITTINGS AS REQUIRED.

5 PRESSURE SEWER TERMINAL FLUSHING CONNECTION (TFC)
SCALE: N.T.S.



6 MANHOLE SEAL DETAILS
SCALE: N.T.S.



7 FOREBAY CHECK DAM DETAIL
SCALE: N.T.S.

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SCALE: UTILE PROJECT NUMBER 2212

DETAILS

C506



Jesse Johnson

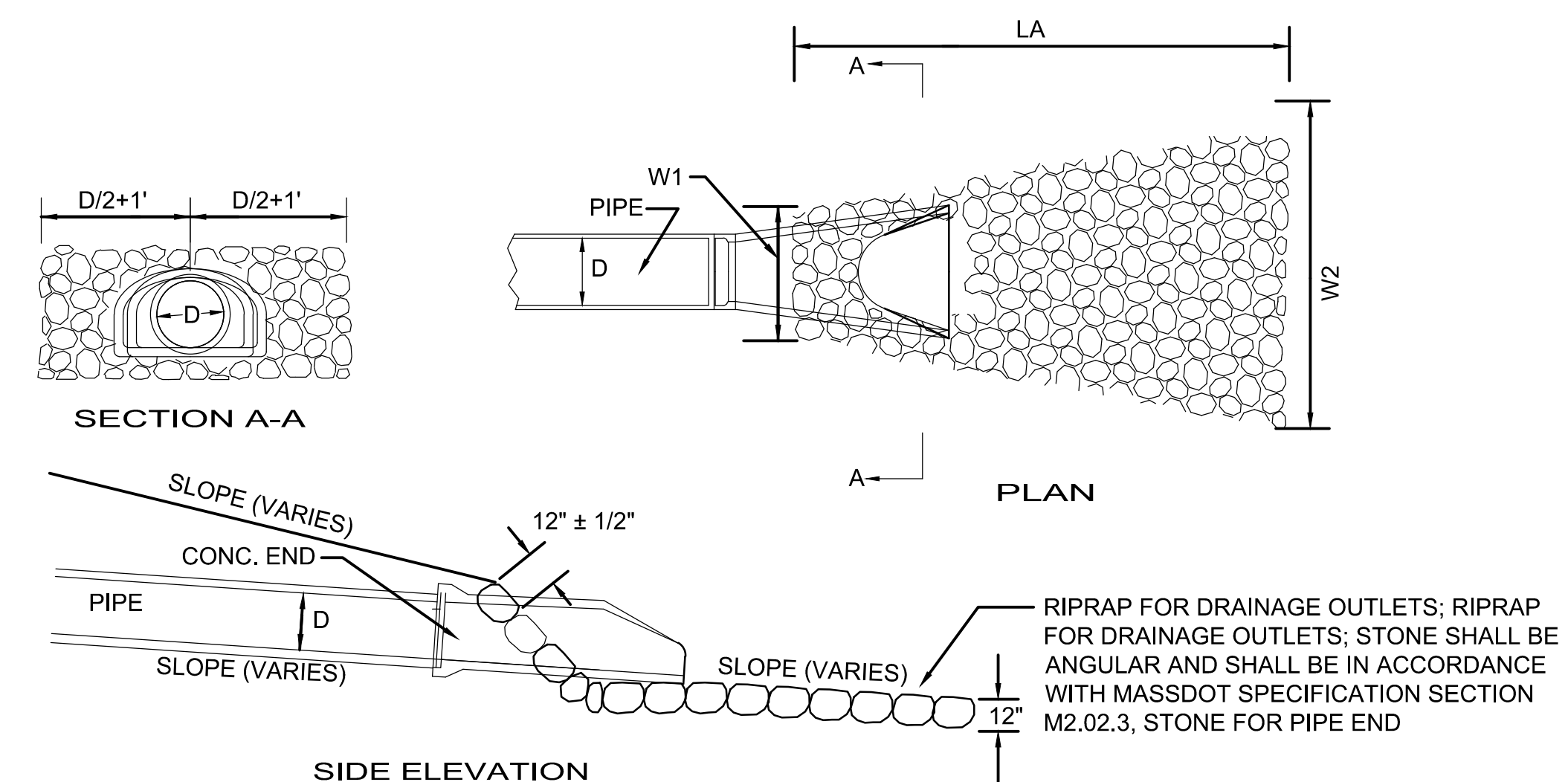
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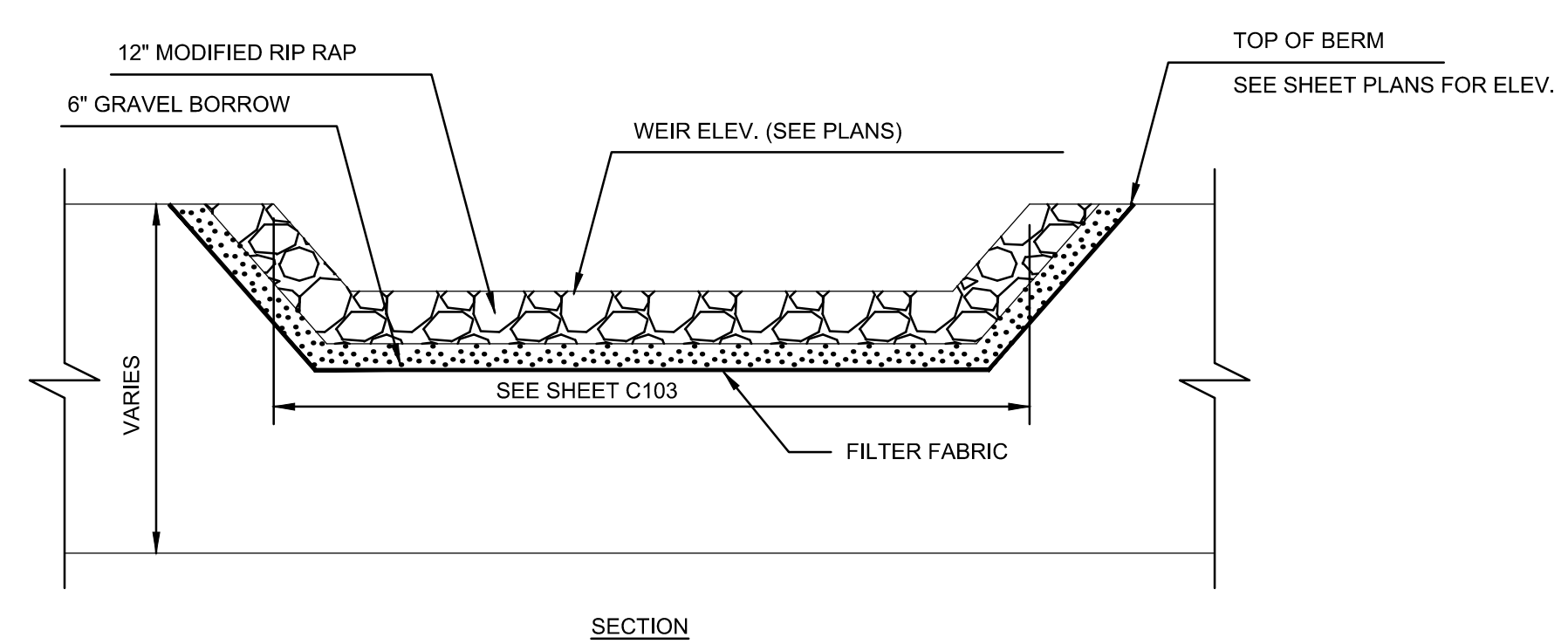
SCALE	UTILITE PROJECT NUMBER
	2212

DETAILS

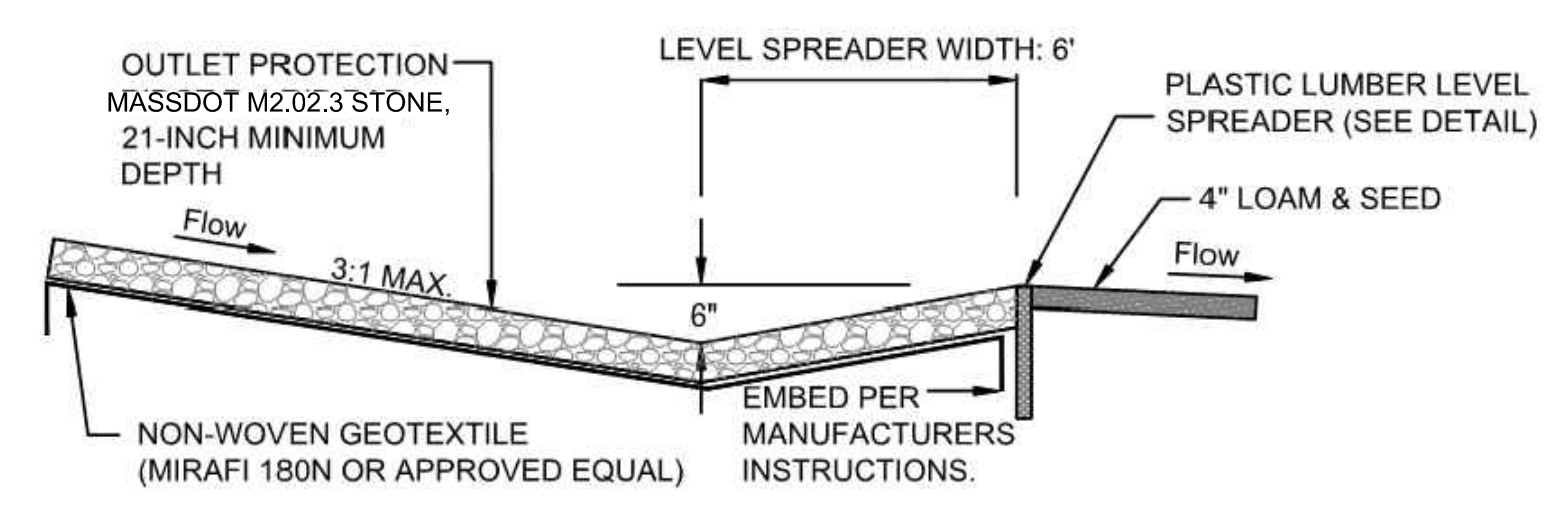
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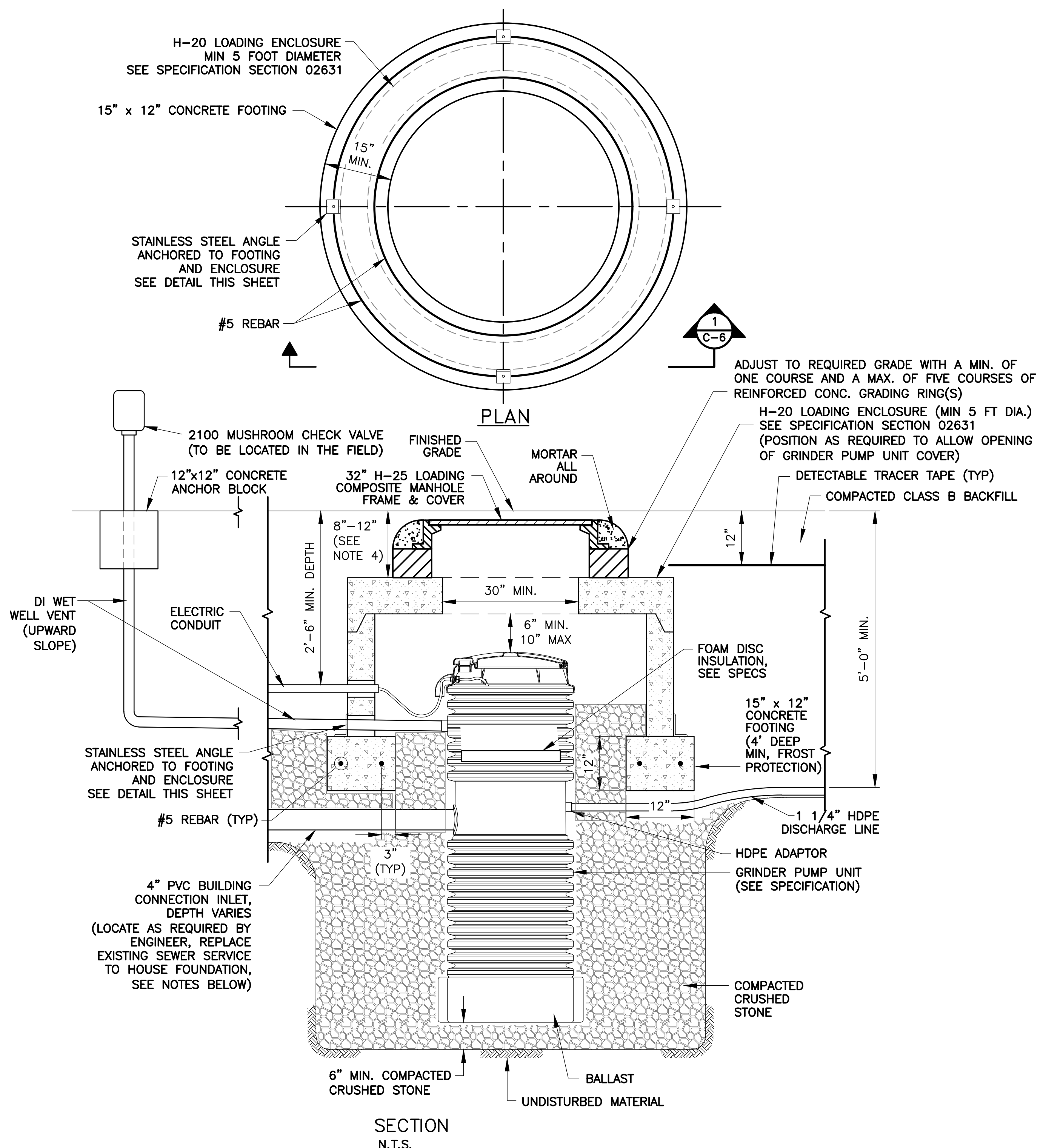
2 FLARED END PIPE DETAIL
SCALE: N.T.S.



3 EMERGENCY SPILLWAY FOR INFILTRATION BASIN
SCALE: N.T.S.

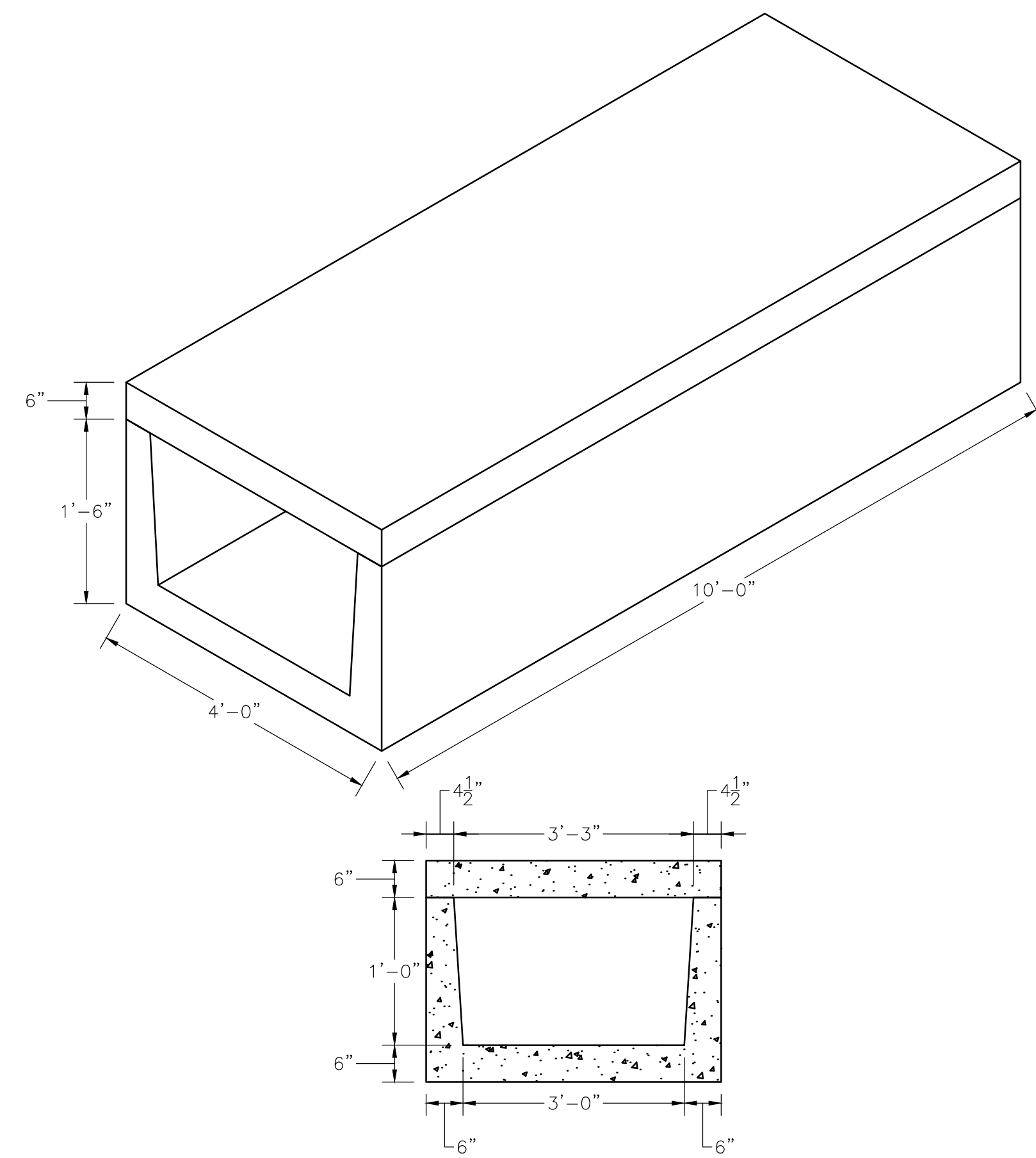


4 LEVEL SPREADER DETAIL
SCALE: N.T.S.



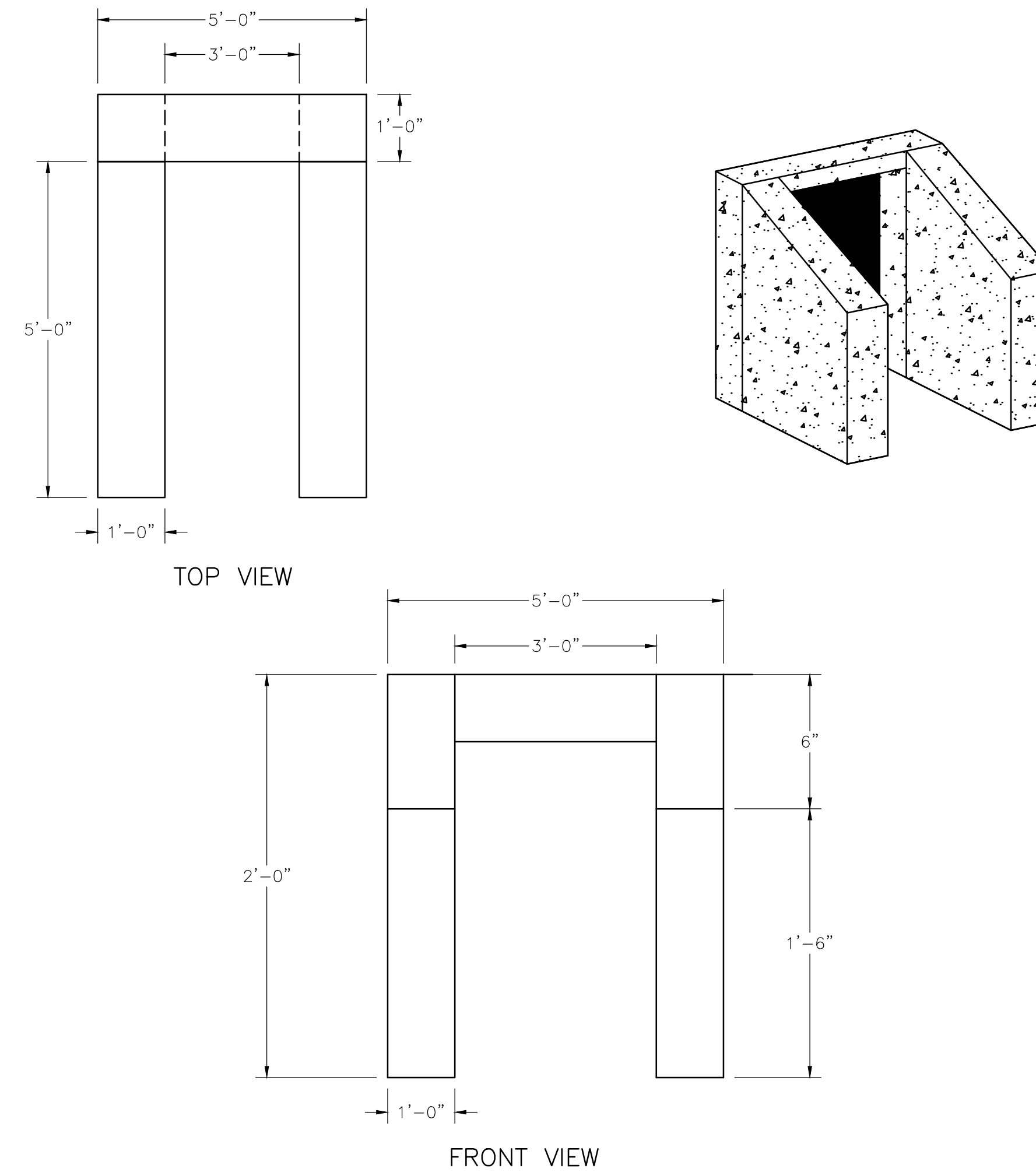
- NOTES:**
1. ACTUAL INDIVIDUAL GRINDER PUMP UNIT LOCATION ON EACH PROPERTY TO BE DETERMINED PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL REPLACE EXISTING SEWER SERVICE ON EACH PROPERTY FROM NEW GRINDER PUMP UNIT TO JUST OUTSIDE OF EXISTING HOUSE FOUNDATION
 3. PLACE CRUSHED STONE 6" RADIUS AROUND 1 1/4 HDPE DISCHARGE LINE, ELECTRIC CONDUIT, AND WET WELL VENT.
 4. FRAME AND COVER TO BE BURIED 8-12" IN LAWN/UNPAVED AREAS, OTHERWISE AT GRADE.

1 GRINDER PUMP INSTALLATION DETAIL
SCALE: N.T.S.



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN FOR AASHTO HS-20 LOADING, 1 TO 5 FEET COVER.

1 1' x 3' BOX CULVERT WITH TOP SLAB
SCALE: N.T.S.



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.

2 BOX CULVERT HEADWALL AND WINGWALLS
SCALE: N.T.S.

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DETAILS

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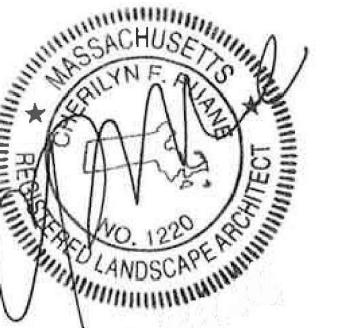
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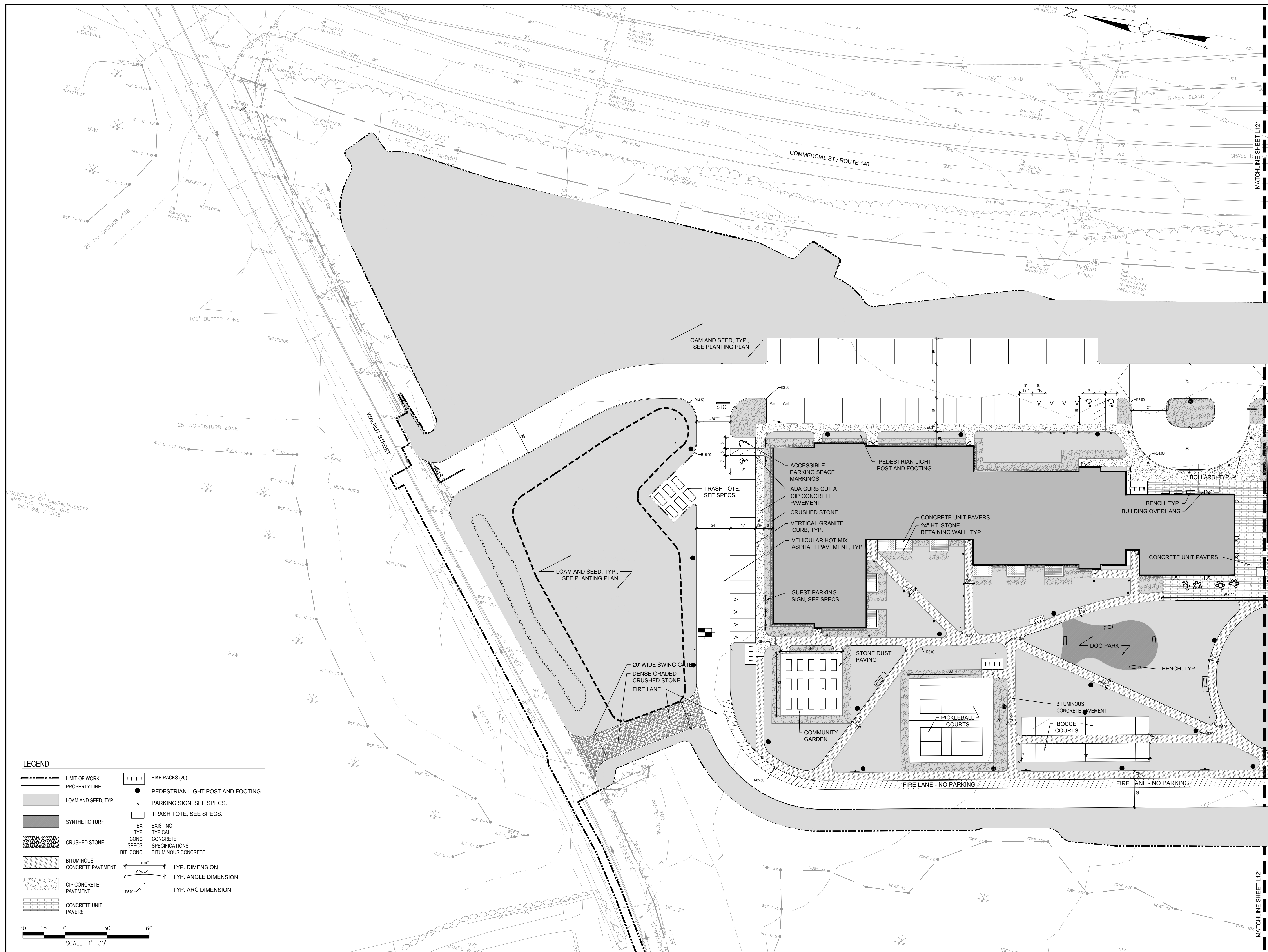
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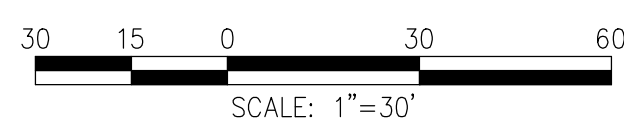
MATERIALS
PLAN
(NORTH)

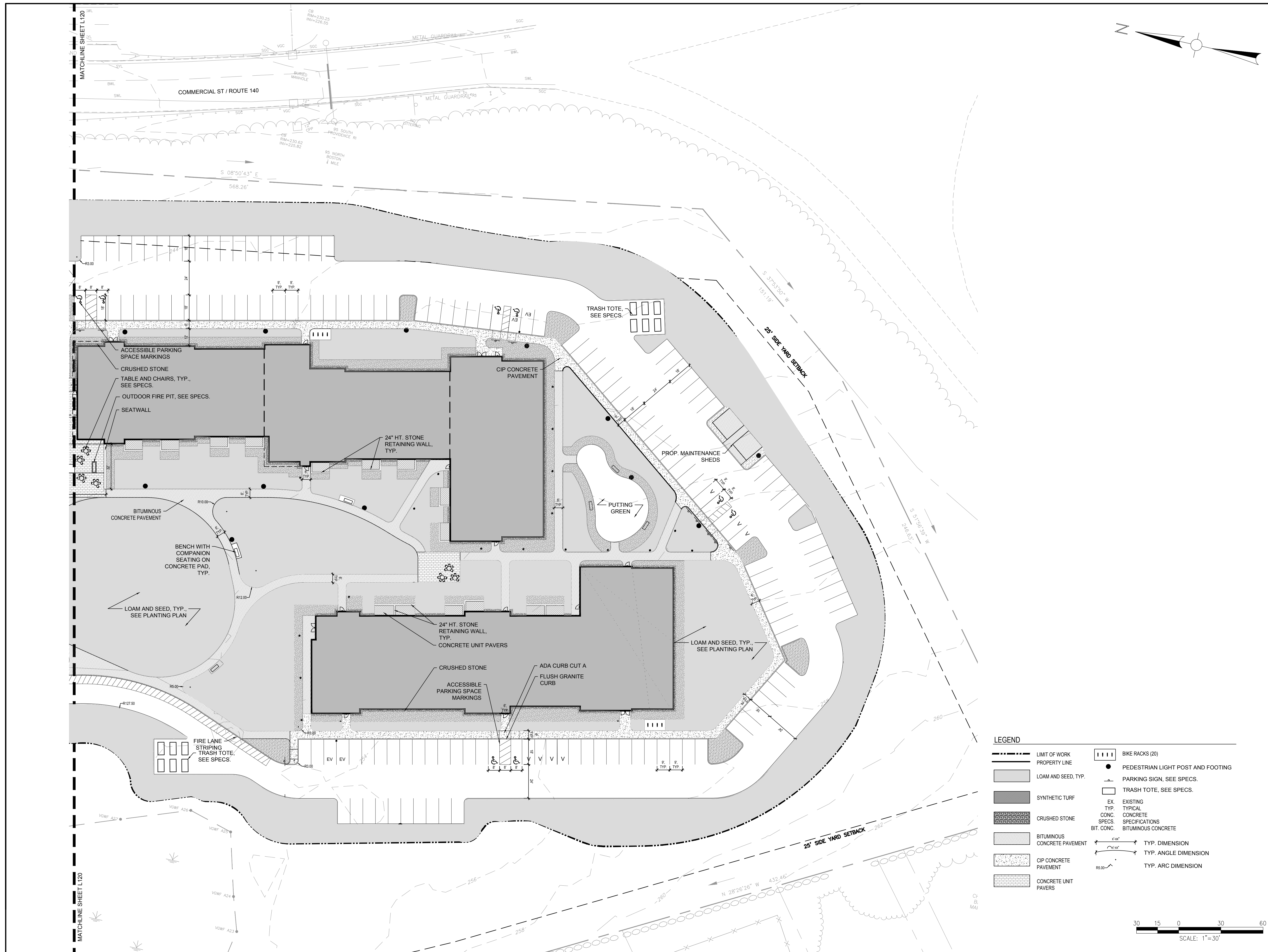
L120



LEGEND

	LIMIT OF WORK		BIKE RACKS (20)
	PROPERTY LINE		PEDESTRIAN LIGHT POST AND FOOTING
	LOAM AND SEED, TYP.		PARKING SIGN, SEE SPECS.
	SYNTHETIC TURF		TRASH TOTE, SEE SPECS.
	CRUSHED STONE		EXISTING TYPICAL CONCRETE SPECIFICATIONS
	BITUMINOUS CONCRETE PAVEMENT		CONCRETE SPECIFICATIONS
	CIP CONCRETE PAVEMENT		BITUMINOUS CONCRETE
	CONCRETE UNIT PAVERS		TYP. DIMENSION
			TYP. ANGLE DIMENSION
			TYP. ARC DIMENSION





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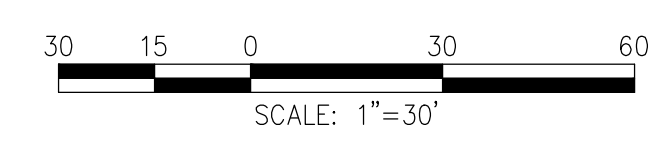
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**MATERIALS
PLAN
(SOUTH)**

L121

LEGEND

	LIMIT OF WORK PROPERTY LINE		BIKE RACKS (20)
	LOAM AND SEED, TYP.		PEDESTRIAN LIGHT POST AND FOOTING
	SYNTHETIC TURF		PARKING SIGN, SEE SPECS.
	CRUSHED STONE		TRASH TOTE, SEE SPECS.
	BITUMINOUS CONCRETE PAVEMENT		EXISTING TYPICAL CONCRETE SPECIFICATIONS
	CIP CONCRETE PAVEMENT		TYPICAL CONCRETE SPECIFICATIONS
	CONCRETE UNIT PAVERS		BITUMINOUS CONCRETE
	TYP. DIMENSION		TYP. ARC DIMENSION
	TYP. ANGLE DIMENSION		



Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

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SPECIFICATIONS

RSE ASSOCIATES

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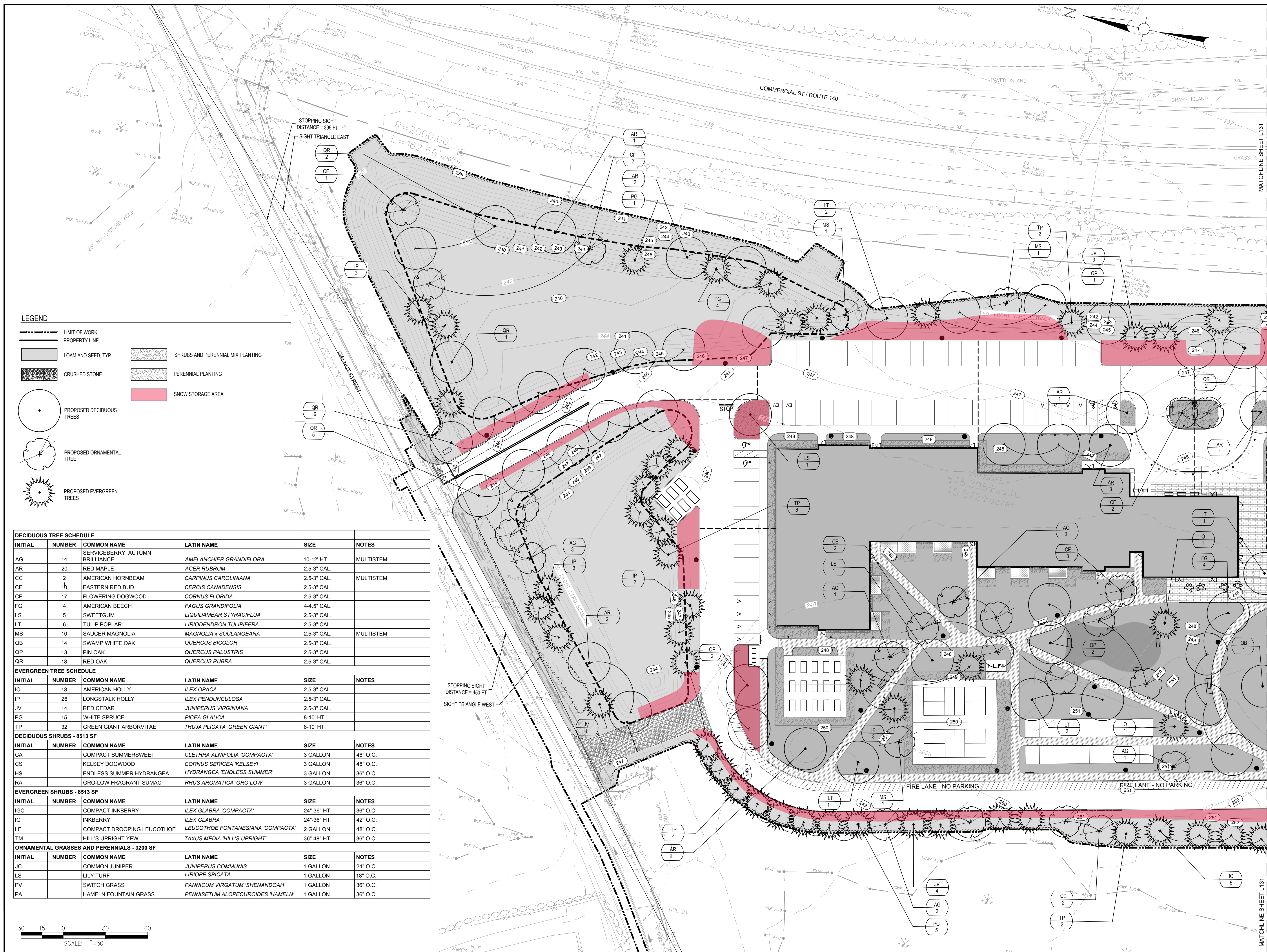
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SCALE UTILITE PROJECT NUMBER
Z212

PLANTING
PLAN
(NORTH)

L130



LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- LOAM AND SEED, TYP.
- CRUSHED STONE
- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREES
- SHRUBS AND PERENNIAL MIX PLANTING
- PERENNIAL PLANTING
- SNOW STORAGE AREA

DECIDUOUS TREE SCHEDULE

INITIAL	NUMBER	COMMON NAME	LATIN NAME	SIZE	NOTES
AG	14	SERVICEBERRY, AUTUMN BRILLIANCE	AMELANCHIER GRANDIFLORA	10-12' HT.	MULTISTEM
AR	20	RED MAPLE	ACER RUBRUM	2.5-3" CAL.	
CC	2	AMERICAN HORNBEAM	CARPINUS CAROLINIANA	2.5-3" CAL.	MULTISTEM
CE	10	EASTERN RED BUD	CERCIS CANADENSIS	2.5-3" CAL.	
CF	17	FLOWERING DOGWOOD	CORNUS FLORIDA	2.5-3" CAL.	
FG	4	AMERICAN BEECH	FAGUS GRANDIFOLIA	4.4-5" CAL.	
LS	5	SWEETGUM	LIQUIDAMBAR STYRACIFLUA	2.5-3" CAL.	
LT	6	TULIP POPLAR	LIRIODENDRON TULIPIFERA	2.5-3" CAL.	
MS	10	SAUCER MAGNOLIA	MAGNOLIA x SOULANGEANA	2.5-3" CAL.	MULTISTEM
QB	14	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5-3" CAL.	
QP	13	PIN OAK	QUERCUS PALUSTRIS	2.5-3" CAL.	
QR	18	RED OAK	QUERCUS RUBRA	2.5-3" CAL.	

EVERGREEN TREE SCHEDULE

INITIAL	NUMBER	COMMON NAME	LATIN NAME	SIZE	NOTES
IO	18	AMERICAN HOLLY	ILEX OPACA	2.5-3" CAL.	
IP	26	LONGSTALK HOLLY	ILEX PENDUNCULOSA	2.5-3" CAL.	
JV	14	RED CEDAR	JUNIPERUS VIRGINIANA	2.5-3" CAL.	
PG	15	WHITE SPRUCE	PICEA GLAUCA	8-10' HT.	
TP	32	GREEN GIANT ARBORVITAE	THUJA PLICATA 'GREEN GIANT'	8-10' HT.	

DECIDUOUS SHRUBS - 8513 SF

INITIAL	NUMBER	COMMON NAME	LATIN NAME	SIZE	NOTES
CA		COMPACT SUMMERSWEET	CLETHRA ALNIFOLIA 'COMPACTA'	3 GALLON	48" O.C.
CS		KELSEY DOGWOOD	CORNUS SERICEA 'KELSEY'	3 GALLON	48" O.C.
HS		ENDLESS SUMMER HYDRANGEA	HYDRANGEA 'ENDLESS SUMMER'	3 GALLON	36" O.C.
RA		GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO LOW'	3 GALLON	36" O.C.

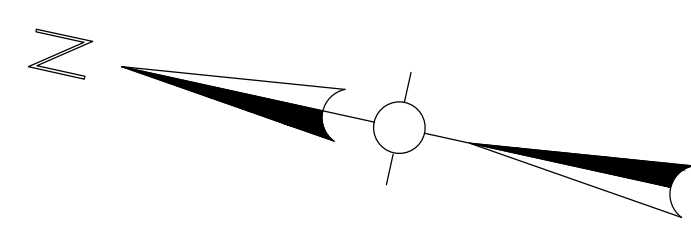
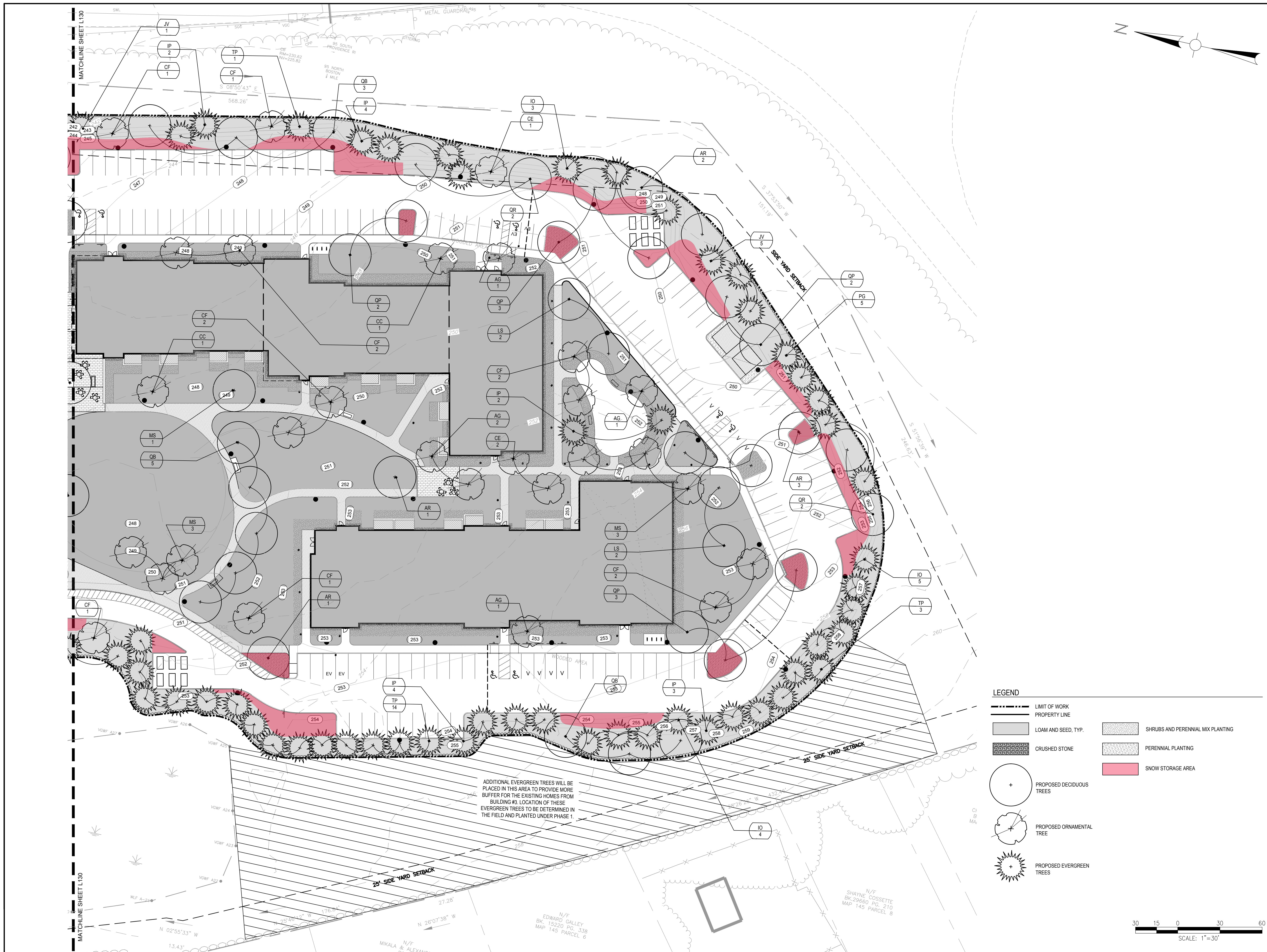
EVERGREEN SHRUBS - 8513 SF

INITIAL	NUMBER	COMMON NAME	LATIN NAME	SIZE	NOTES
IGC		COMPACT INKBERRY	ILEX GLABRA 'COMPACTA'	24"-36" HT.	36" O.C.
IG		INKBERRY	ILEX GLABRA	24"-36" HT.	42" O.C.
LF		COMPACT DROOPING LEUCOTHOE	LEUCOTHOE FONTANESIANA 'COMPACTA'	2 GALLON	48" O.C.
TM		HILL'S UPRIGHT YEW	TAXUS MEDIA 'HILL'S UPRIGHT'	36"-48" HT.	36" O.C.

ORNAMENTAL GRASSES AND PERENNIALS - 3200 SF

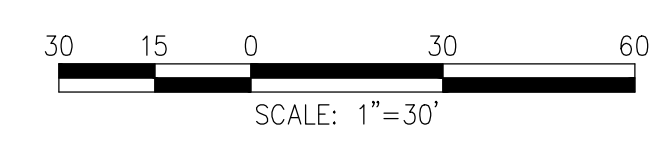
INITIAL	NUMBER	COMMON NAME	LATIN NAME	SIZE	NOTES
JC		COMMON JUNIPER	JUNIPERUS COMMUNIS	1 GALLON	24" O.C.
LS		LILY TURF	LIRIOPE SPICATA	1 GALLON	18" O.C.
PV		SWITCH GRASS	PANNICUM VIRGATUM 'SHENANDOAH'	1 GALLON	36" O.C.
PA		HAMELN FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	1 GALLON	36" O.C.

30 15 0 30 60
SCALE: 1"=30'



LEGEND

	LIMIT OF WORK		SHRUBS AND PERENNIAL MIX PLANTING
	PROPERTY LINE		PERENNIAL PLANTING
	LOAM AND SEED, TYP.		SNOW STORAGE AREA
	CRUSHED STONE		
	PROPOSED DECIDUOUS TREES		
	PROPOSED ORNAMENTAL TREE		
	PROPOSED EVERGREEN TREES		



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P 617 964 5477 SPECIFICATIONS

RSE ASSOCIATES

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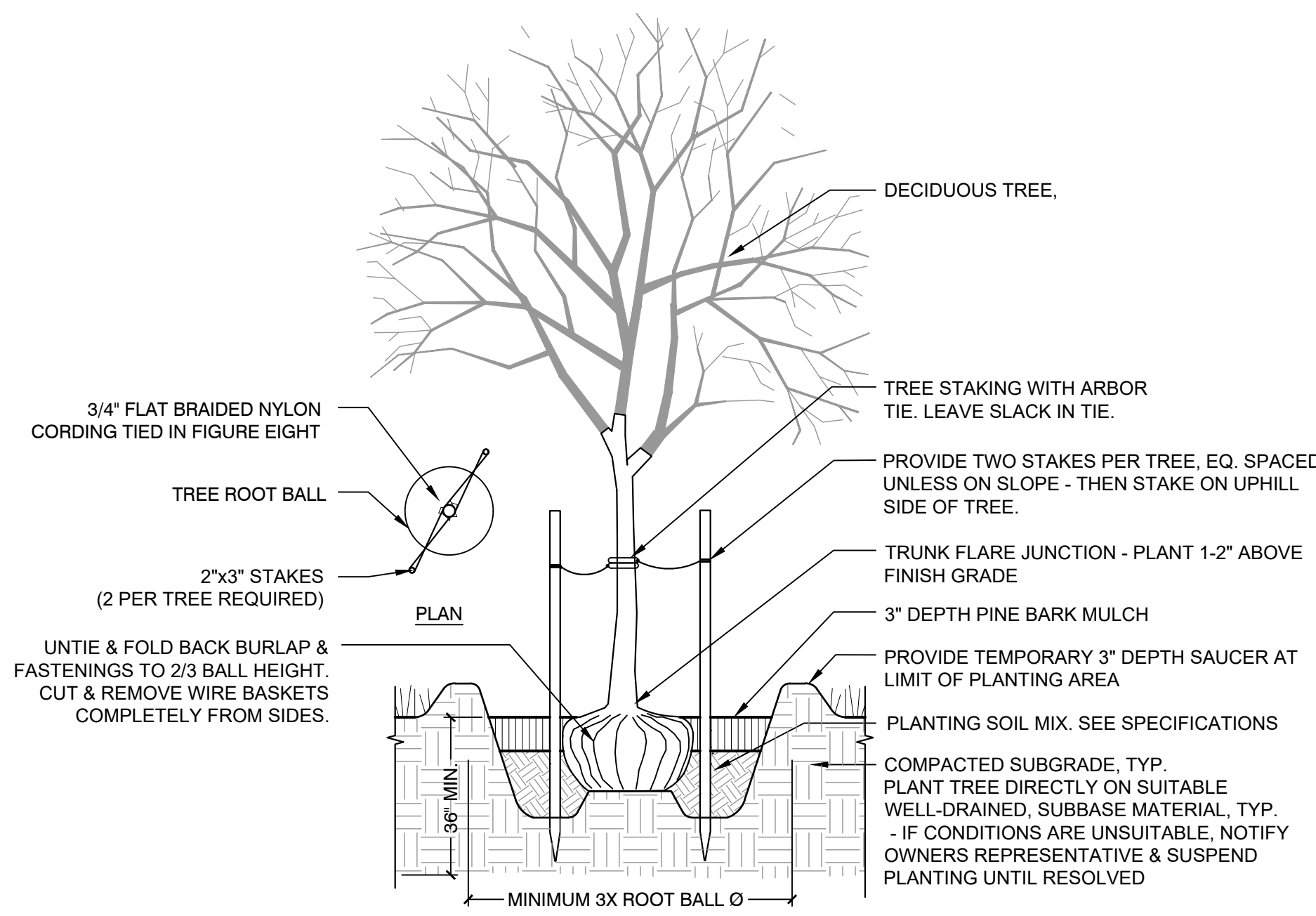
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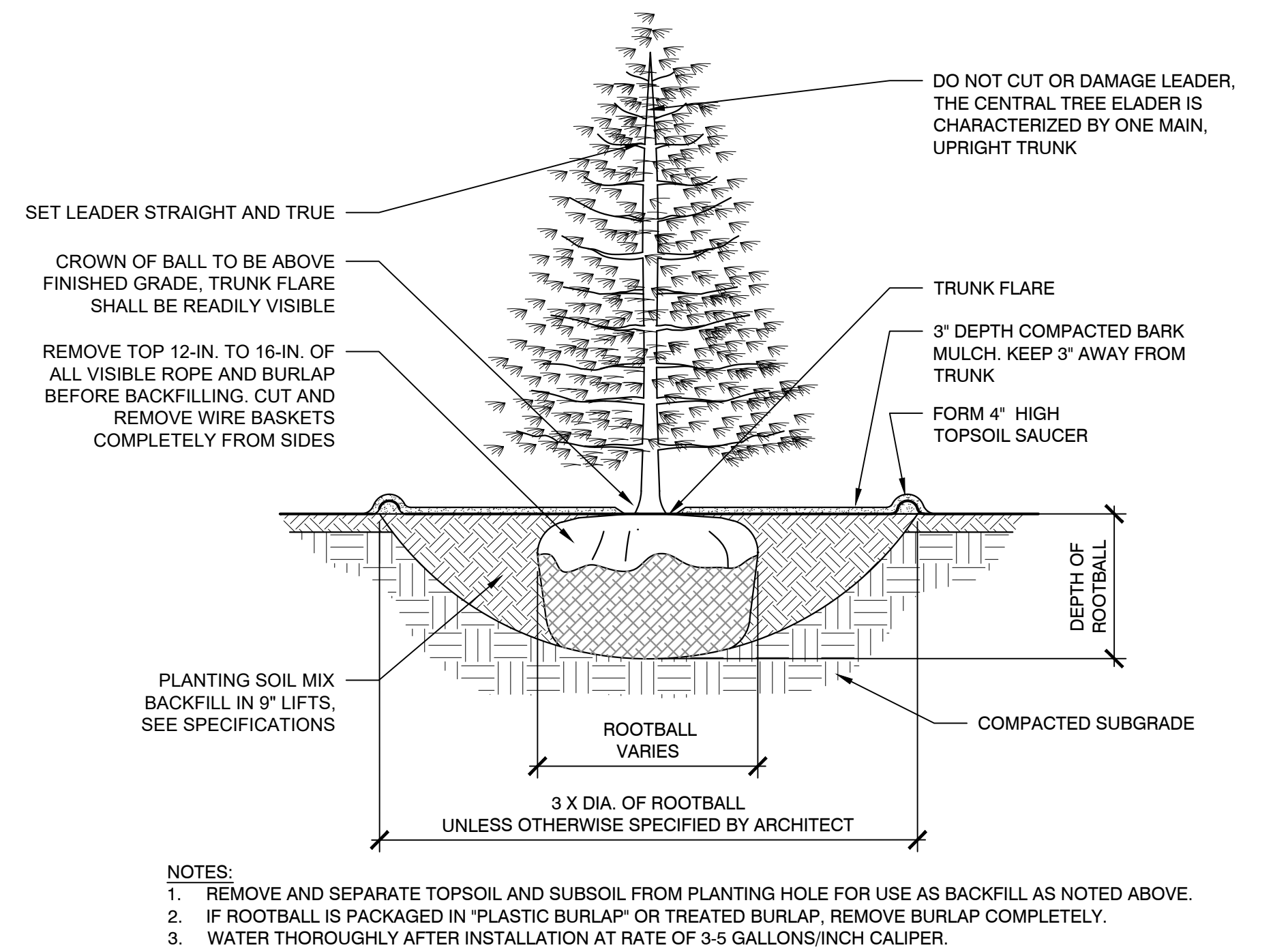
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PLANTING PLAN (SOUTH)

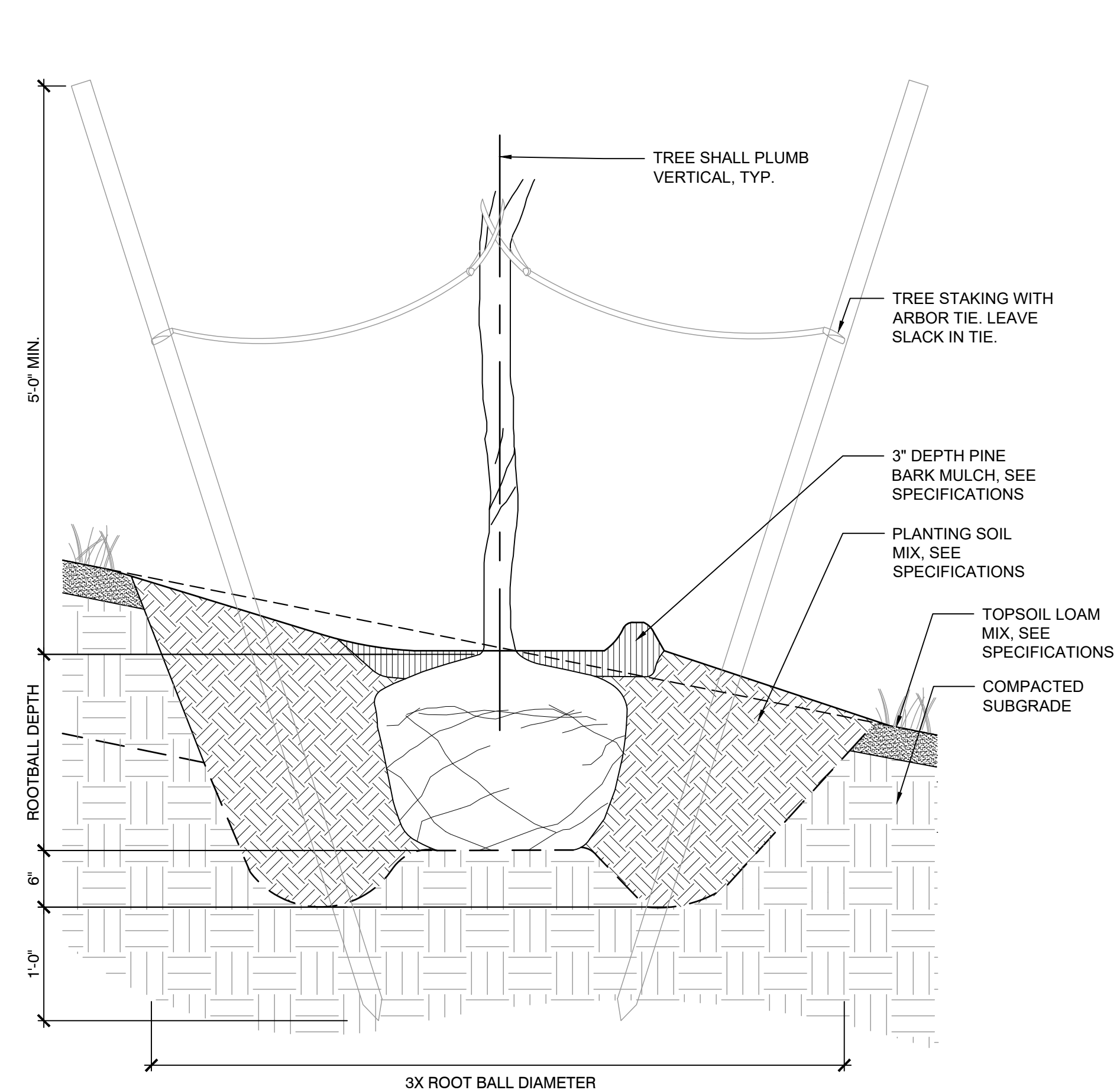
L131



1 TREE PLANTING - DECIDUOUS
SCALE: N.T.S.

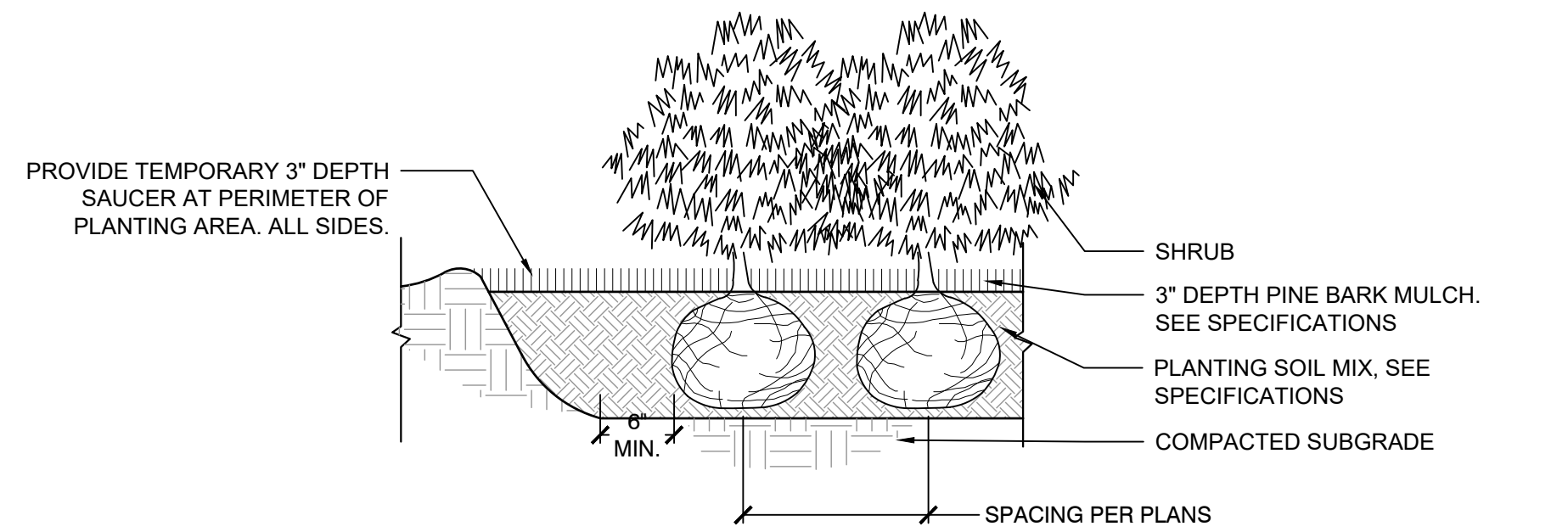


2 TREE PLANTING - EVERGREEN
SCALE: N.T.S.

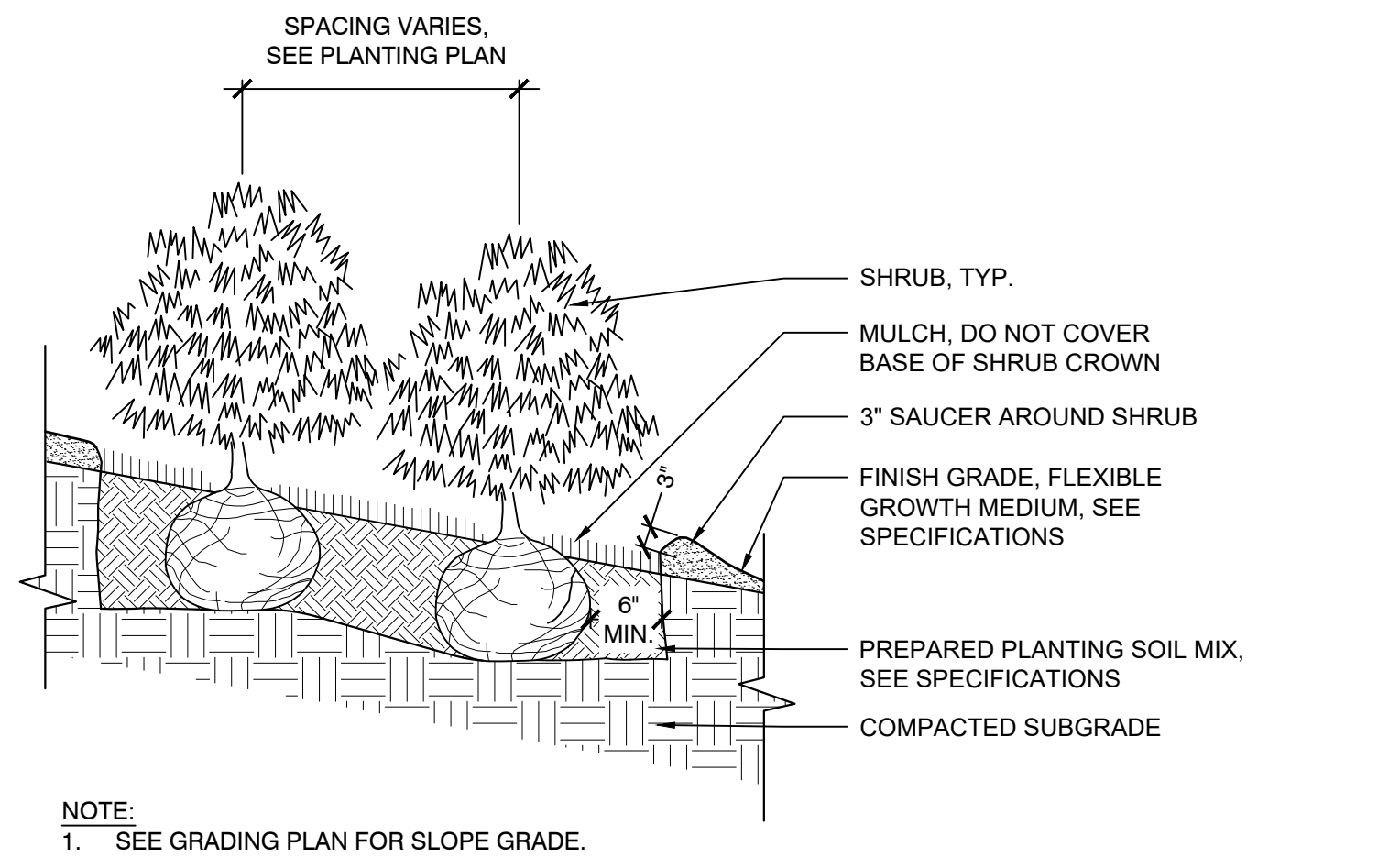


NOTES:
1. SCOPE VARIES, SEE GRADING PLANS. 3:1 MAX. SLOPE PLANTING. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IF SLOPES ARE GREATER THAN 3:1.
2. OWNER'S REPRESENTATIVE AND CONTRACTOR SHALL MARK NORTH SIDE OF TREE AT NURSERY AND LOCATE TREE AT SAME ORIENTATION WHEN INSTALLING.
3. REMOVE 2/3 OF BURLAP WRAP AND WIRE BASKET OR TO THE GREATEST EXTENT POSSIBLE WITHOUT COMPROMISING THE STRUCTURAL INTEGRITY OF ROOTBALL.

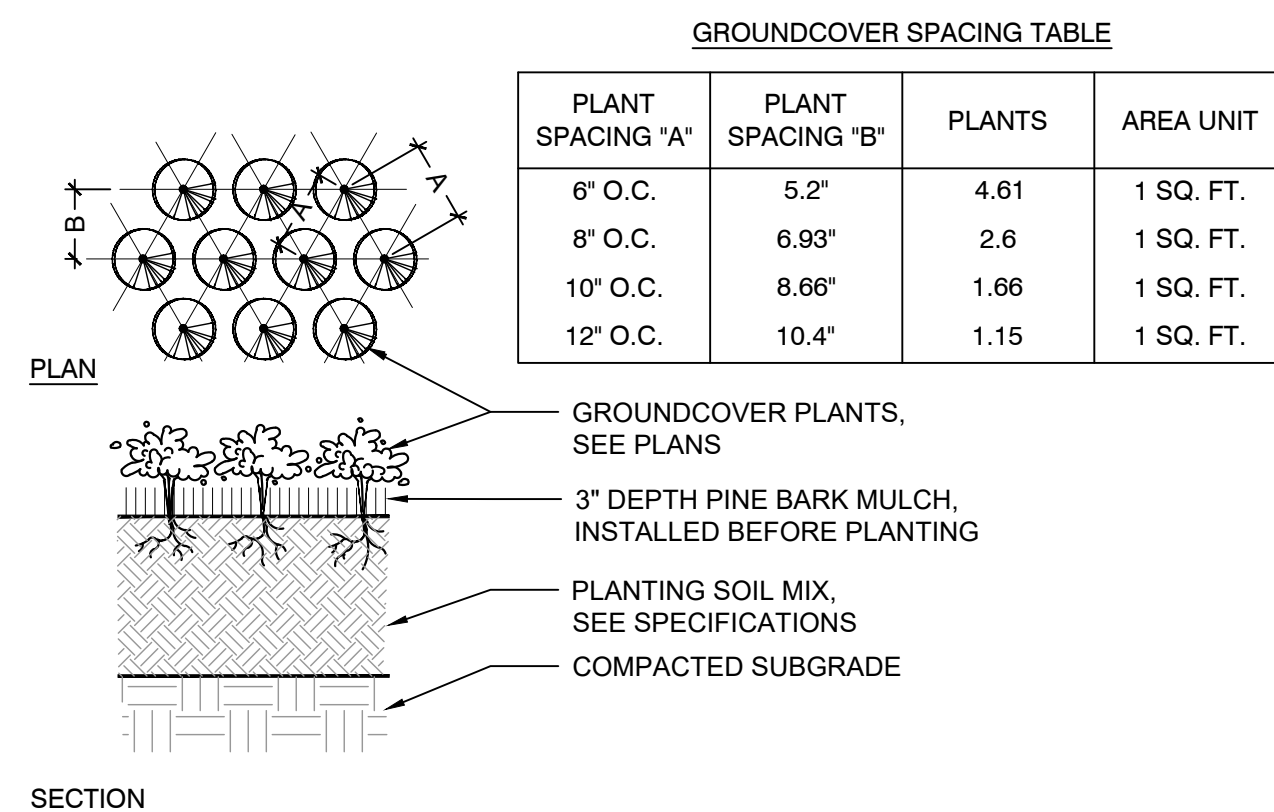
3 TREE PLANTING ON SLOPE
SCALE: N.T.S.



4 SHRUB PLANTING
SCALE: N.T.S.

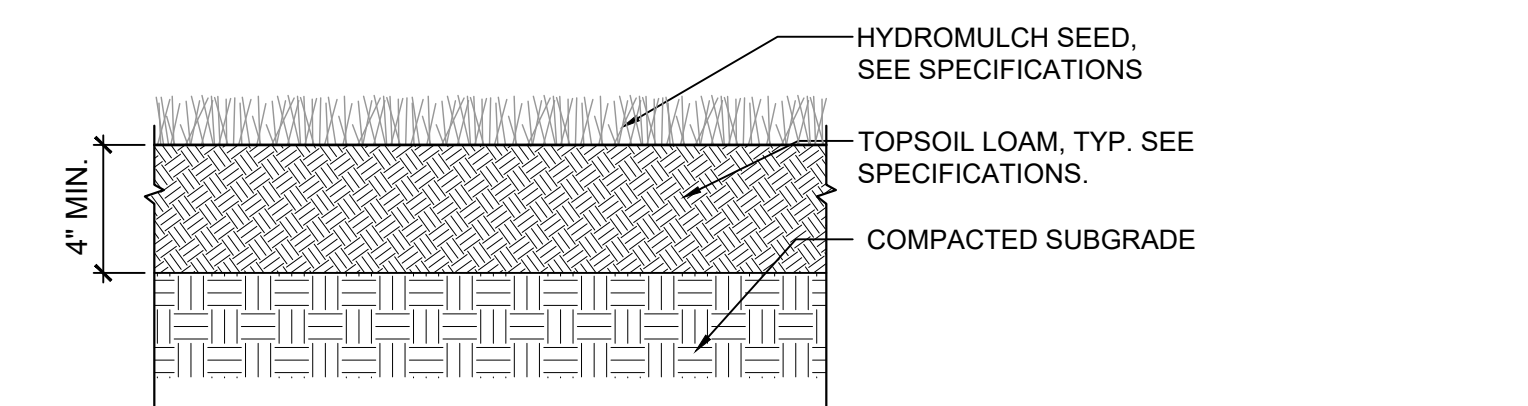


5 SHRUB PLANTING ON SLOPE
SCALE: N.T.S.



NOTES:
1. ALL GROUNDCOVERS TO BE PLANTED IN TRIANGULAR PATTERN. SEE PLANTING SCHEDULE FOR SPACING.
2. EROSION CONTROL MAT TO BE USED ON ALL SLOPES 3:1 OR GREATER. SEE SPECIFICATIONS

6 GROUNDCOVER PLANTING
SCALE: N.T.S.



7 LOAM AND SEED
SCALE: N.T.S.

Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

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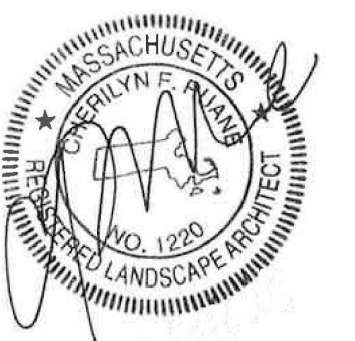
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SPECIFICATIONS

RSE ASSOCIATES

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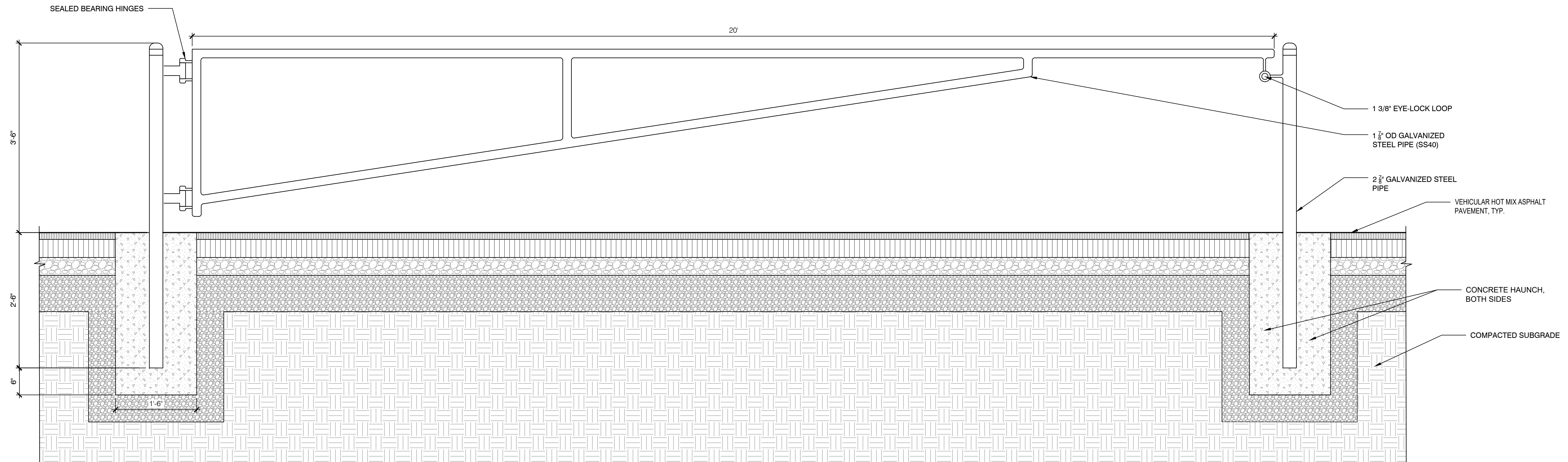
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CONSTRUCTION DETAILS

SCALE UTILITE PROJECT NUMBER 2212

L500



NOTES:
 1. INCLUDE HOLD-OPEN POST FOR GATE, SEE LOCATION ON PLANS.

1 20' WIDE SWING GATE
 SCALE: N.T.S.

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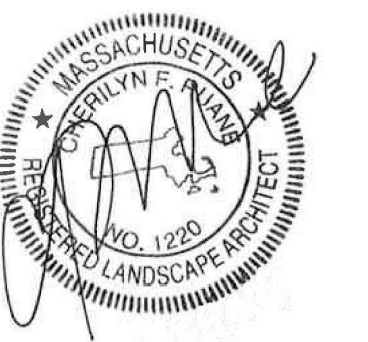
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CONSTRUCTION
DETAILS

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L501

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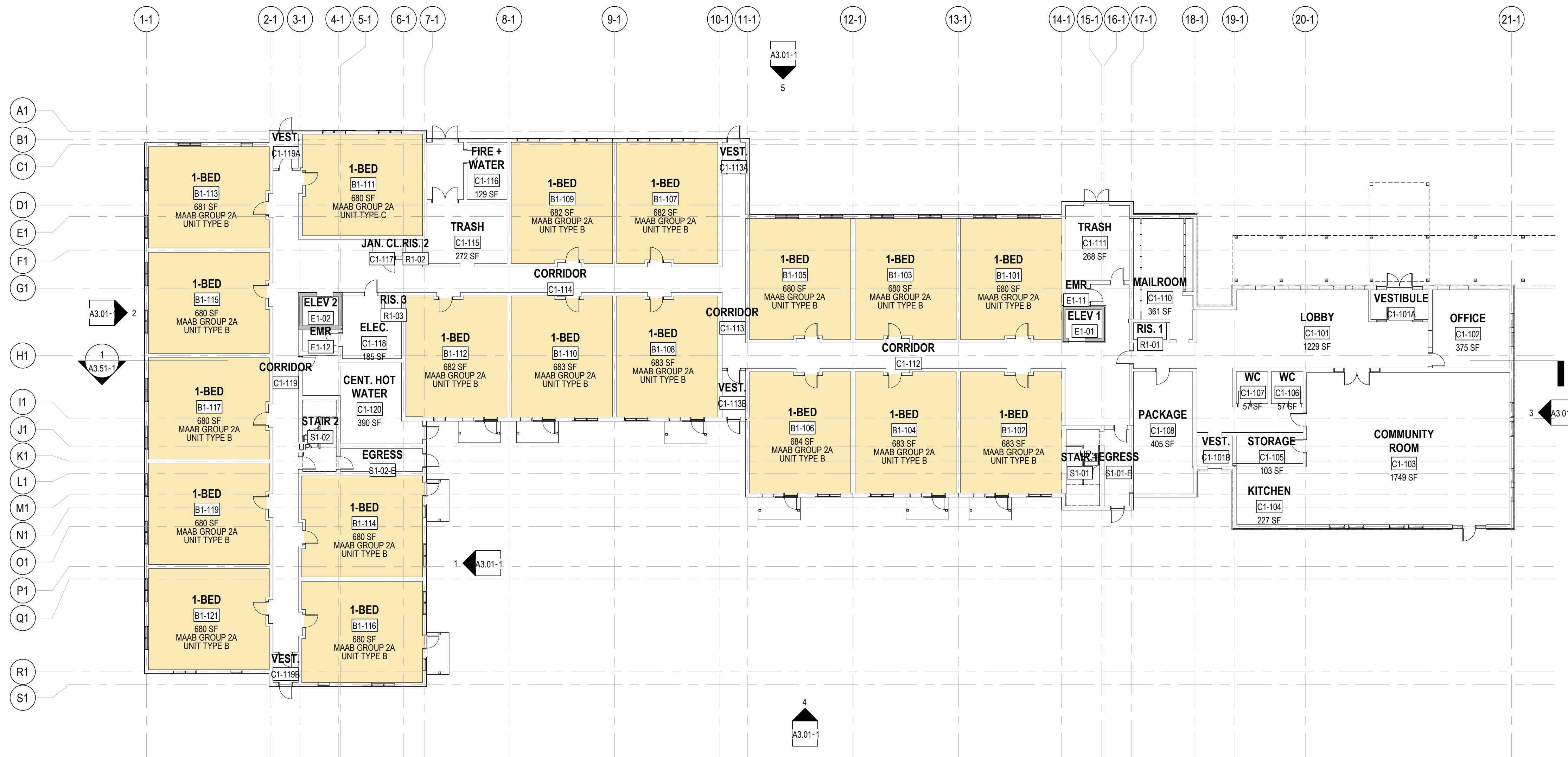
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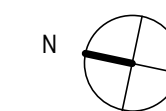
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As indicated 2212

BUILDING 1 - FLOOR PLAN -
LEVEL ONE

A1.01-1



1 BUILDING 1 - LEVEL ONE
1/16" = 1'-0"



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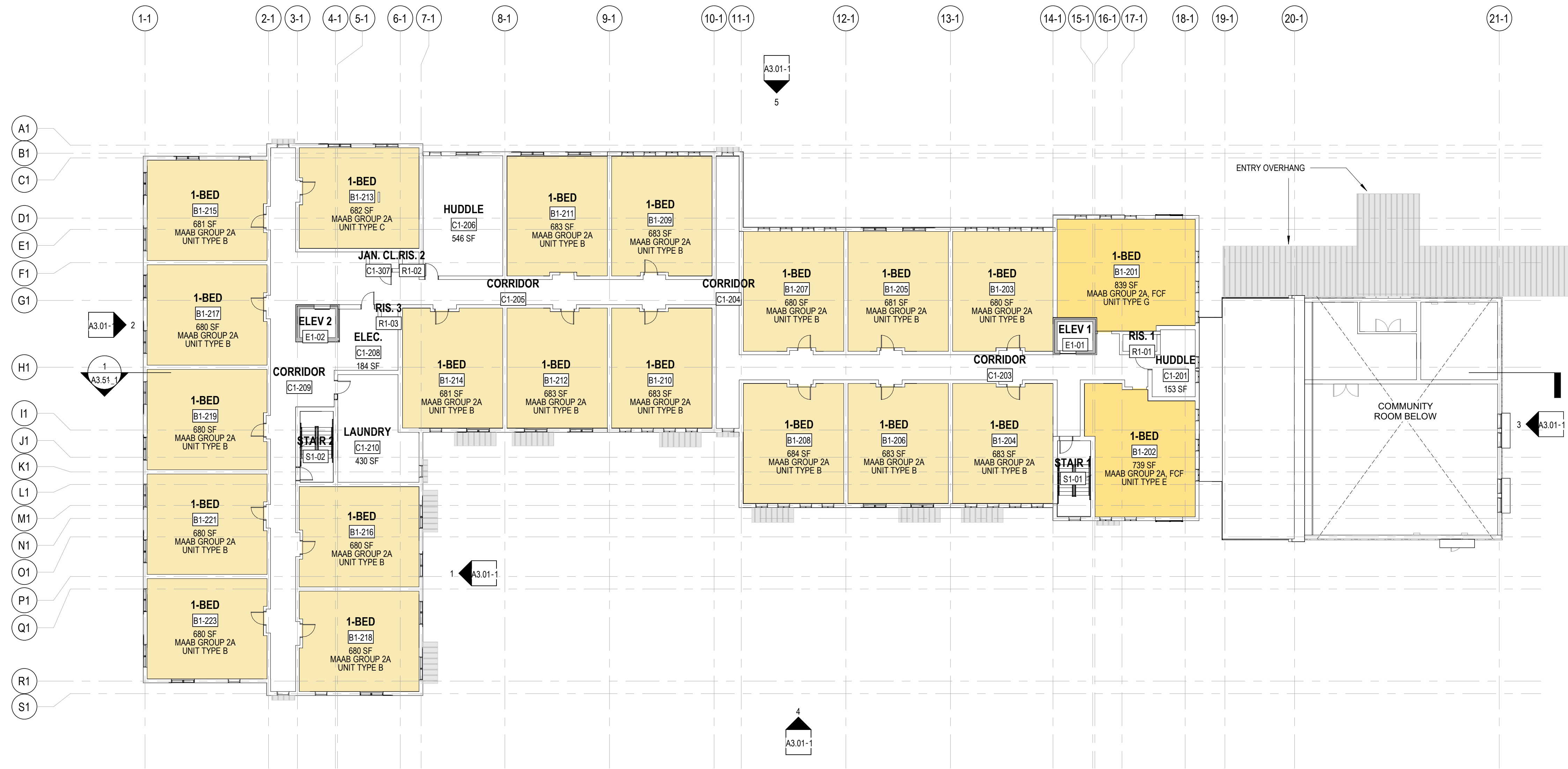
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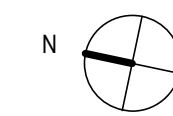
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BUILDING 1 - FLOOR PLAN -
LEVEL TWO

A1.02-1



1 BUILDING 1 - LEVEL TWO
1/16" = 1'-0"



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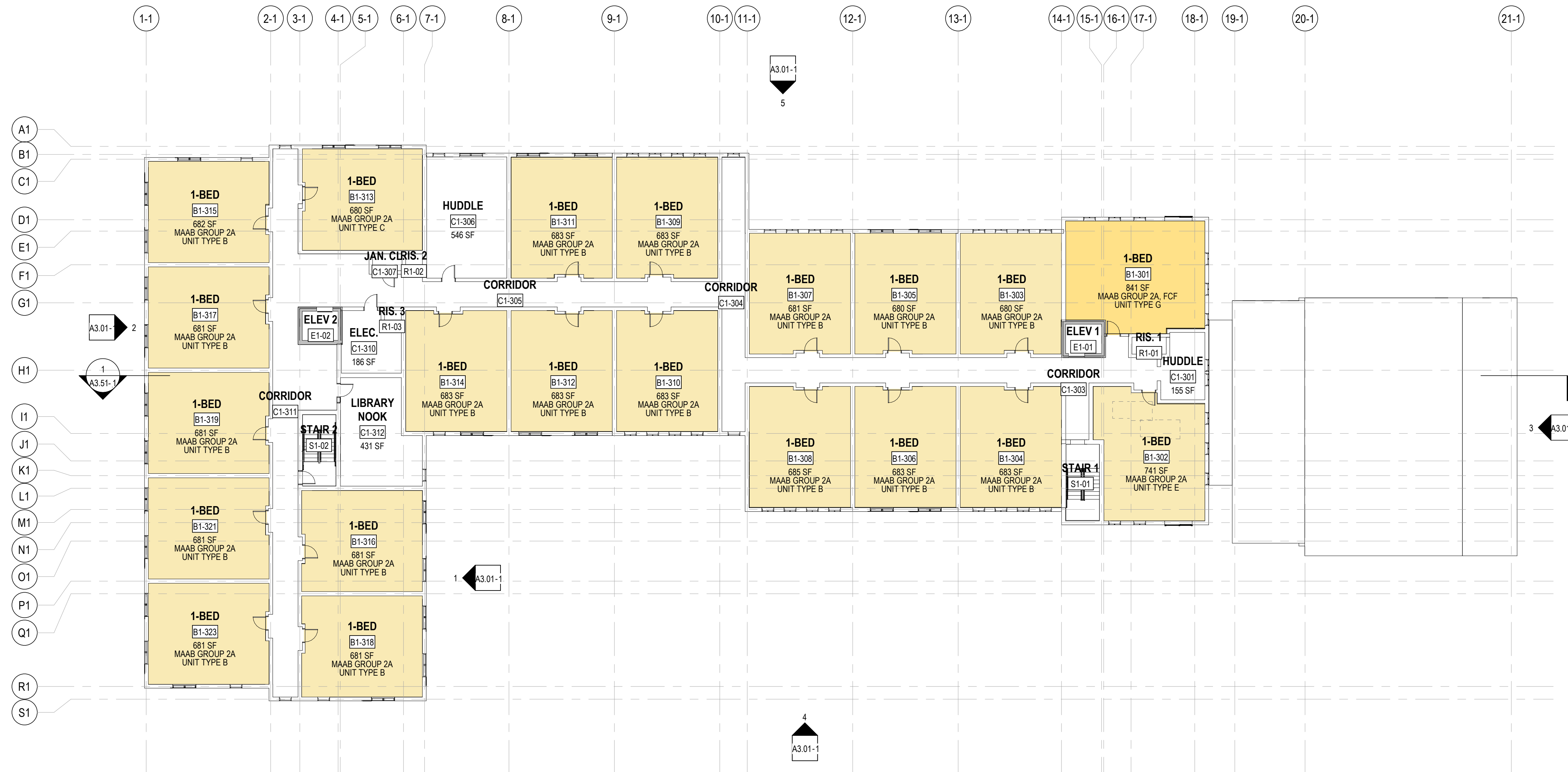
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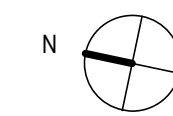
BUILDING 1 - FLOOR PLAN -
LEVEL THREE

A1.03-1

12/15/2022 1:28:45 AM



1 BUILDING 1 - LEVEL THREE
1/16" = 1'-0"



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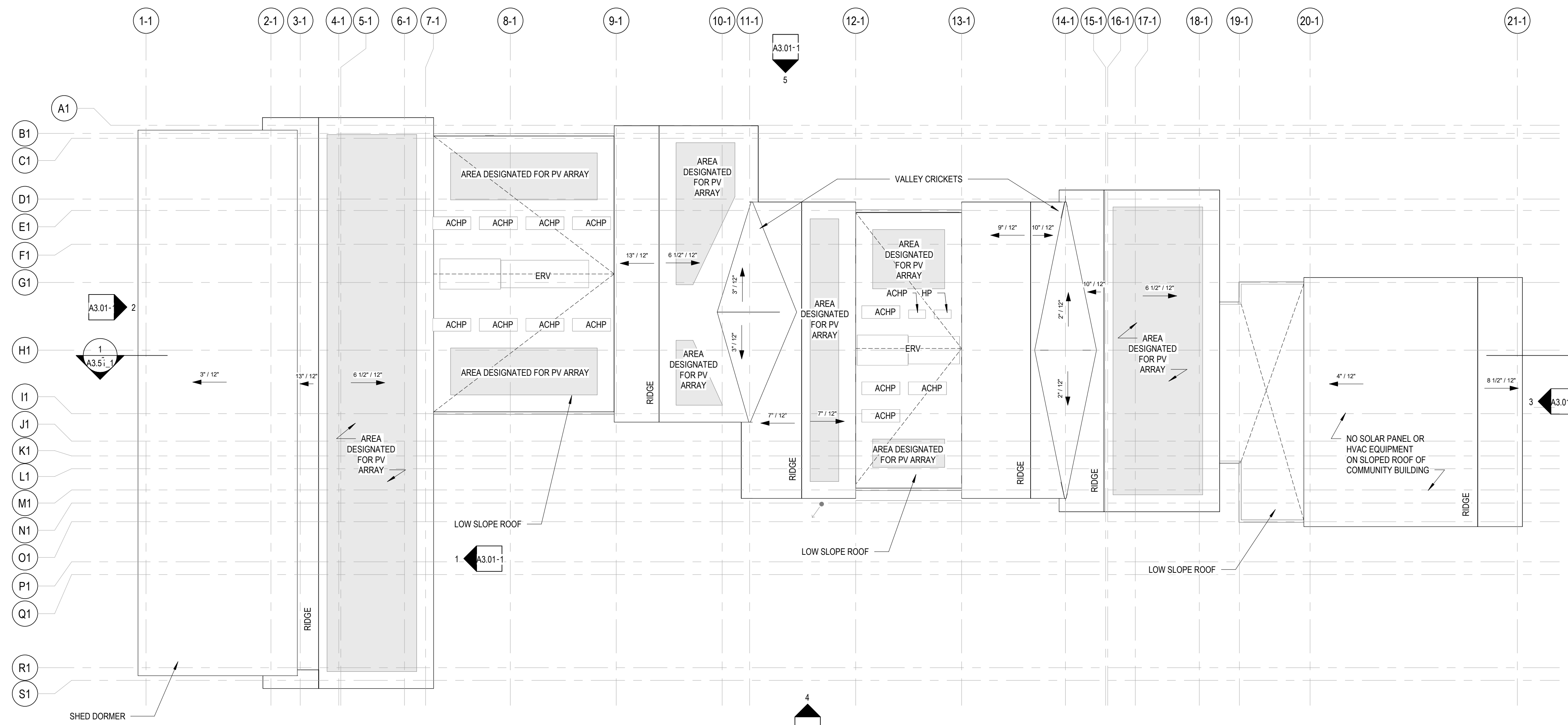
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BUILDING 1 - FLOOR PLAN -
ROOF

A1.04-1



BUILDING 1 - ROOF
1/16" = 1'-0"



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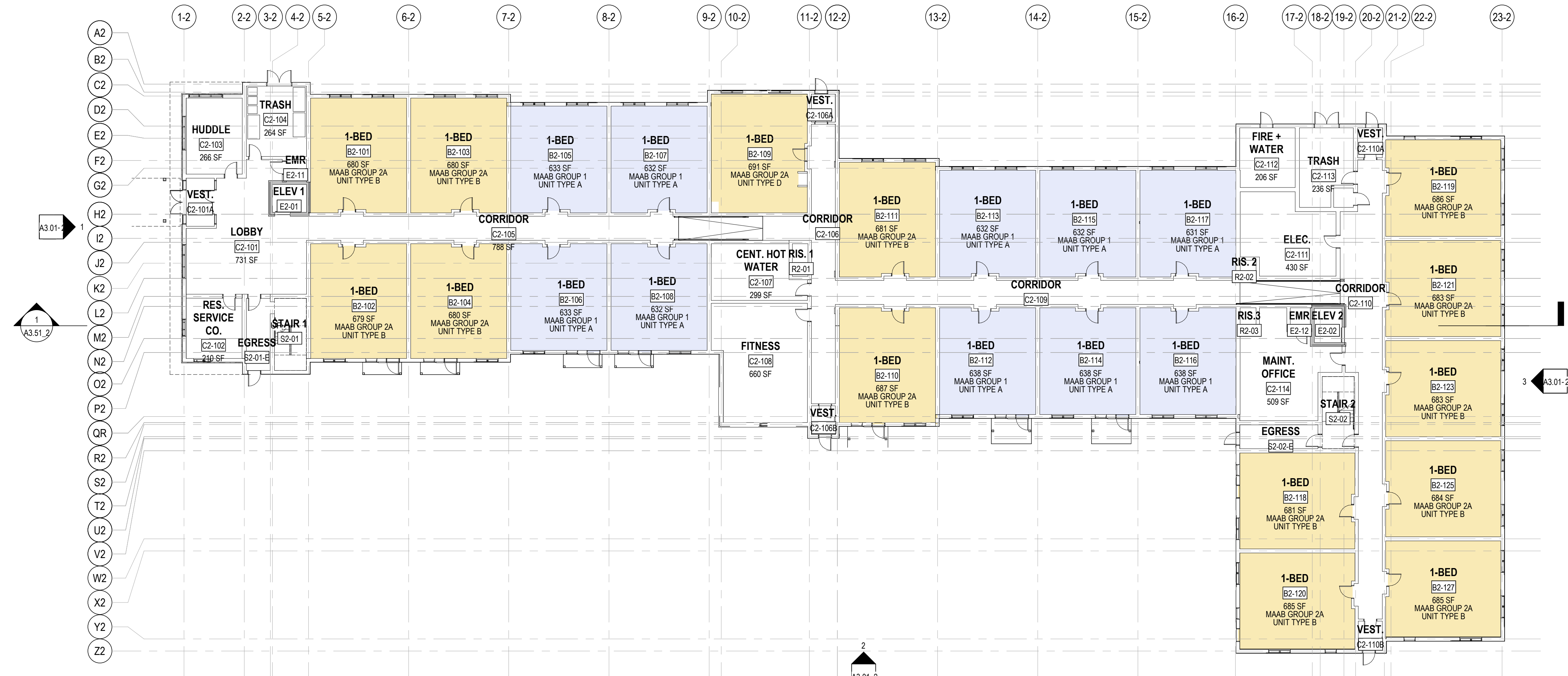
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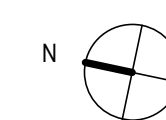
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BUILDING 2 - FLOOR PLAN -
LEVEL ONE

A1.01-2



BUILDING 2 - LEVEL ONE - NORTH
1/16" = 1'-0"



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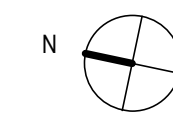
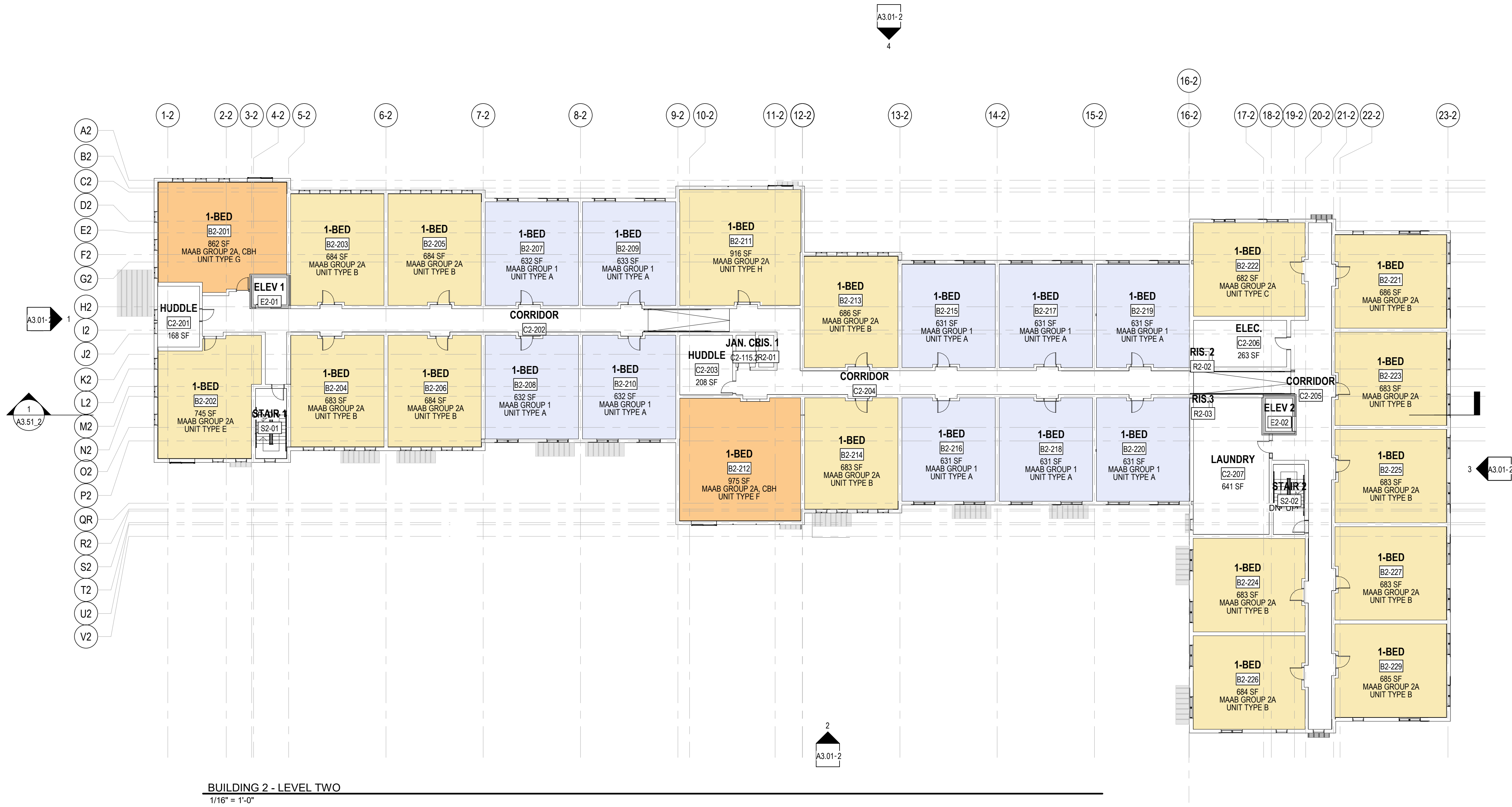
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SCALE UTILITE PROJECT NUMBER
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BUILDING 2 - FLOOR PLAN -
LEVEL TWO

A1.02-2



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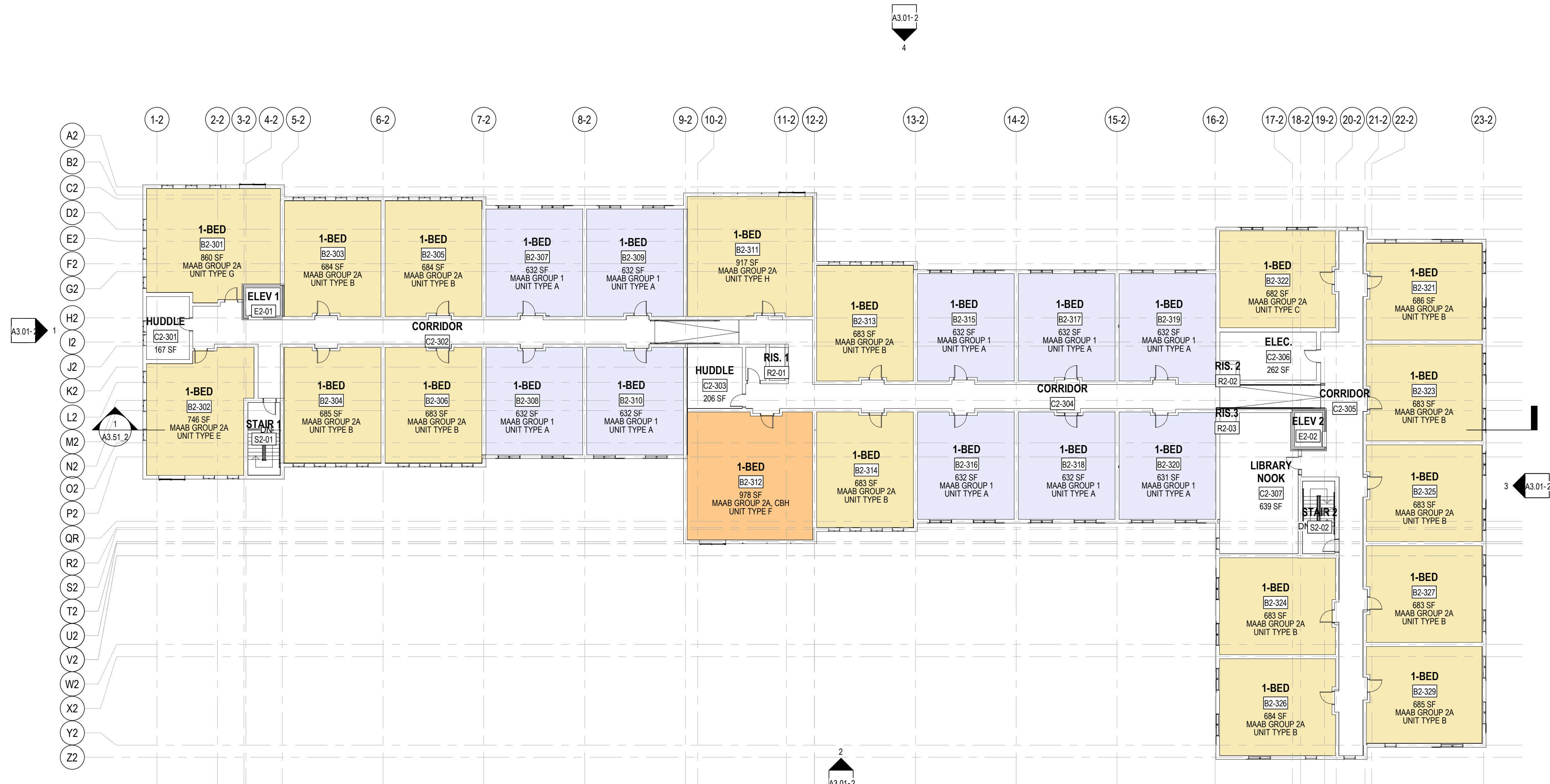
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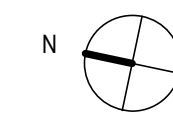
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BUILDING 2 - FLOOR PLAN -
LEVEL THREE

A1.03-2



BUILDING 2 - LEVEL THREE
1/16" = 1'-0"



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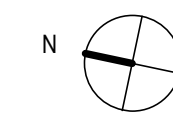
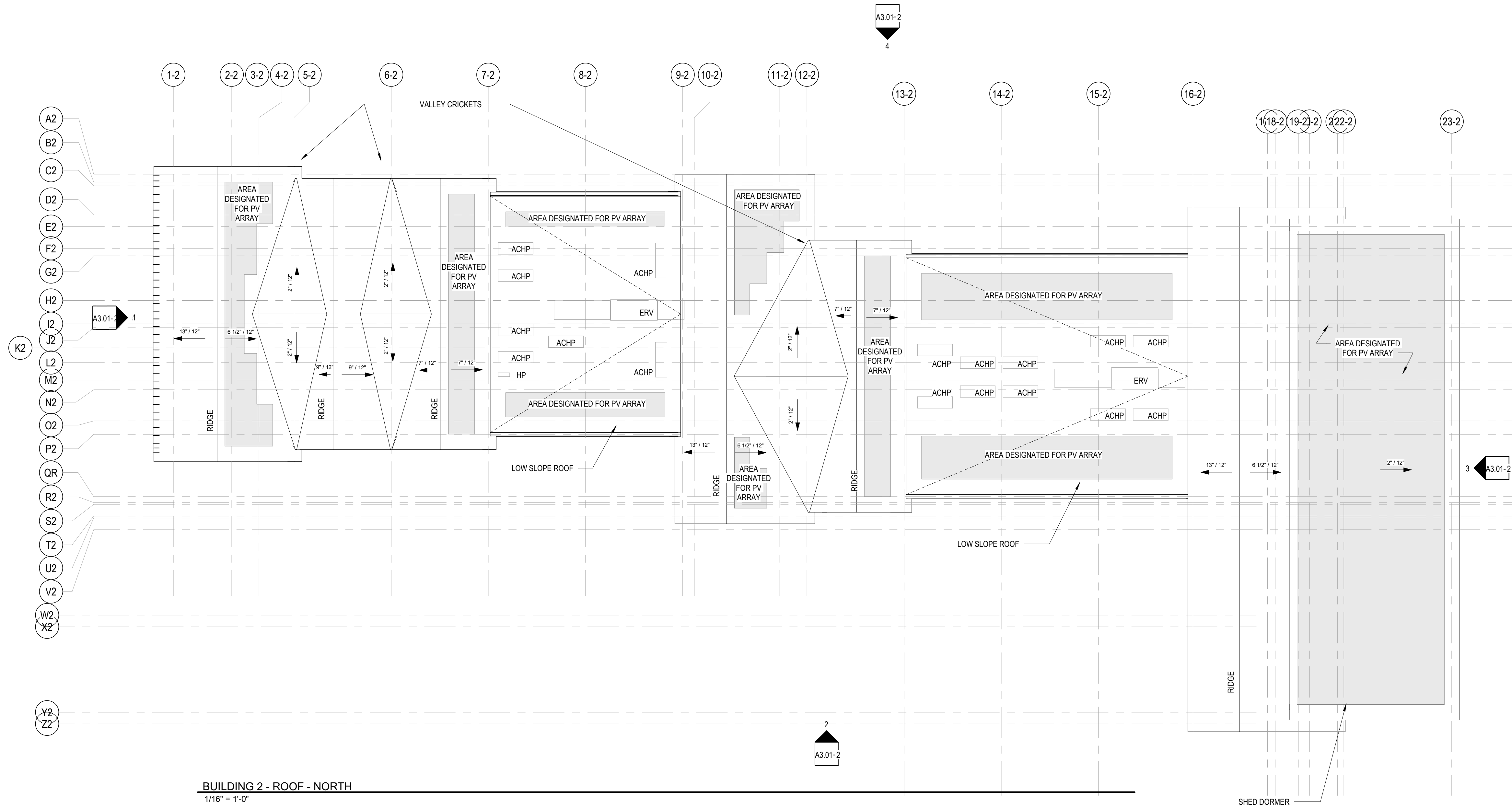
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BUILDING 2 - FLOOR PLAN -
ROOF

A1.04-2

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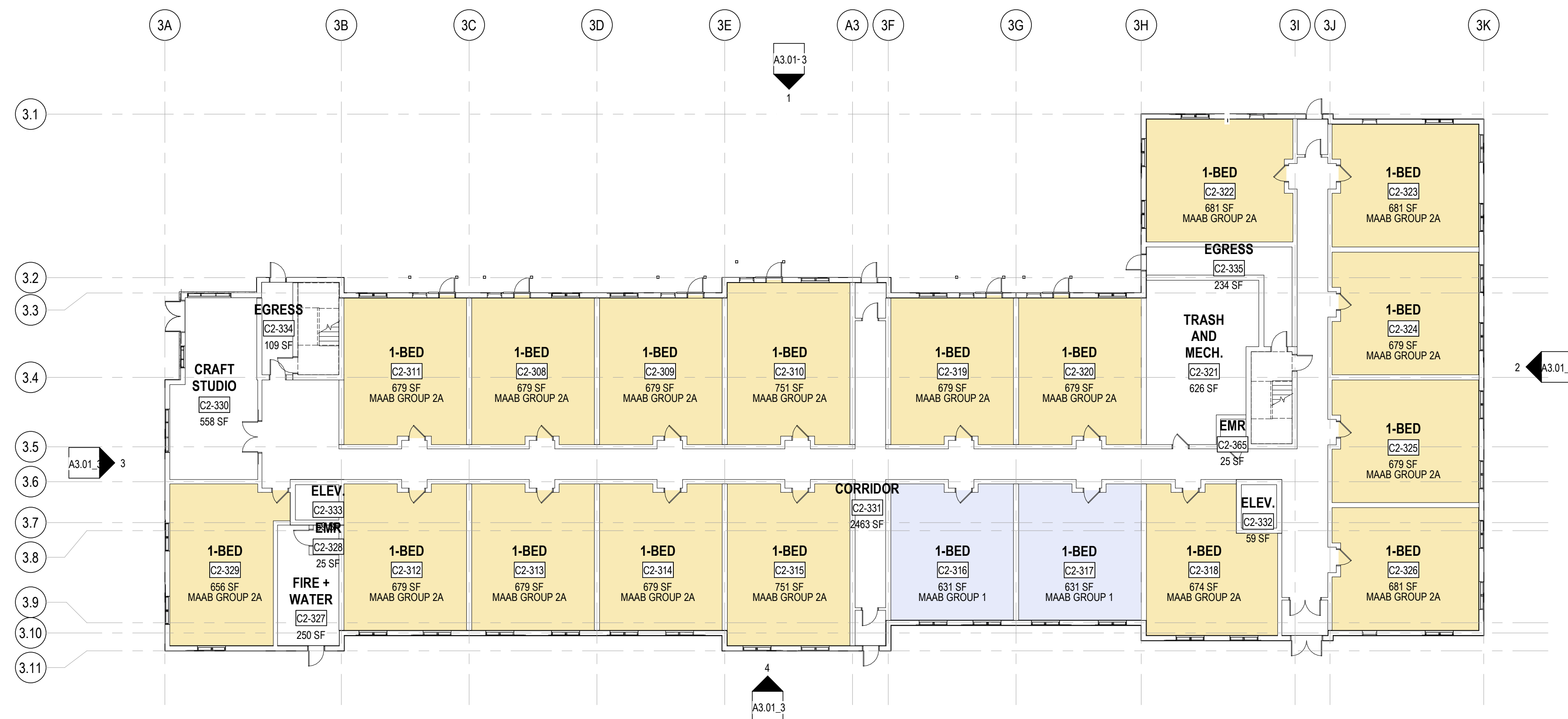
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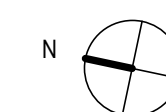
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BUILDING 3 - FLOOR PLAN -
LEVEL 1

A1.01-3



1 BUILDING 3 - LEVEL 1 - 1/16"
1/16" = 1'-0"



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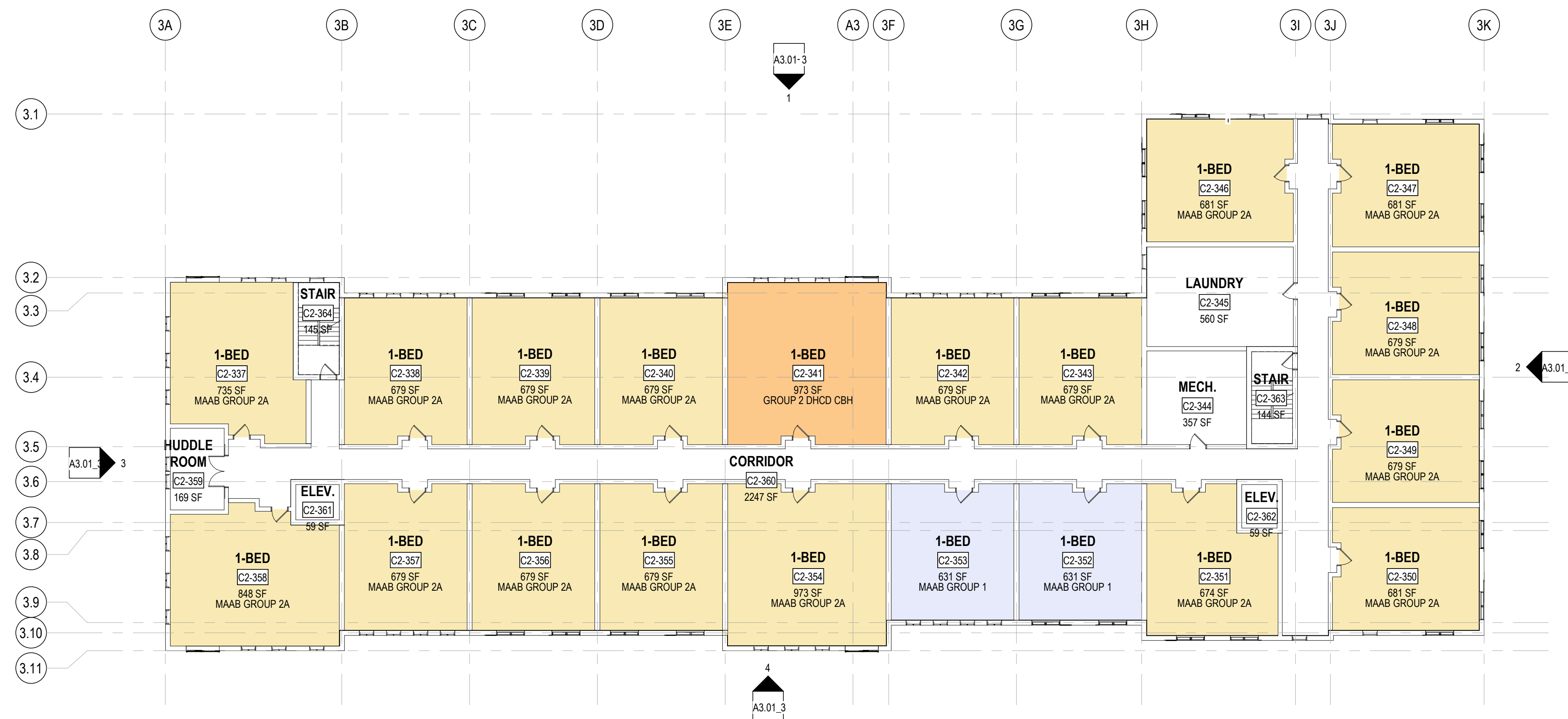
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BUILDING 3 - FLOOR PLAN -
LEVEL 2

A1.02-3



1 BUILDING 3 - LEVEL 2 - 1/16"
1/16" = 1'-0"



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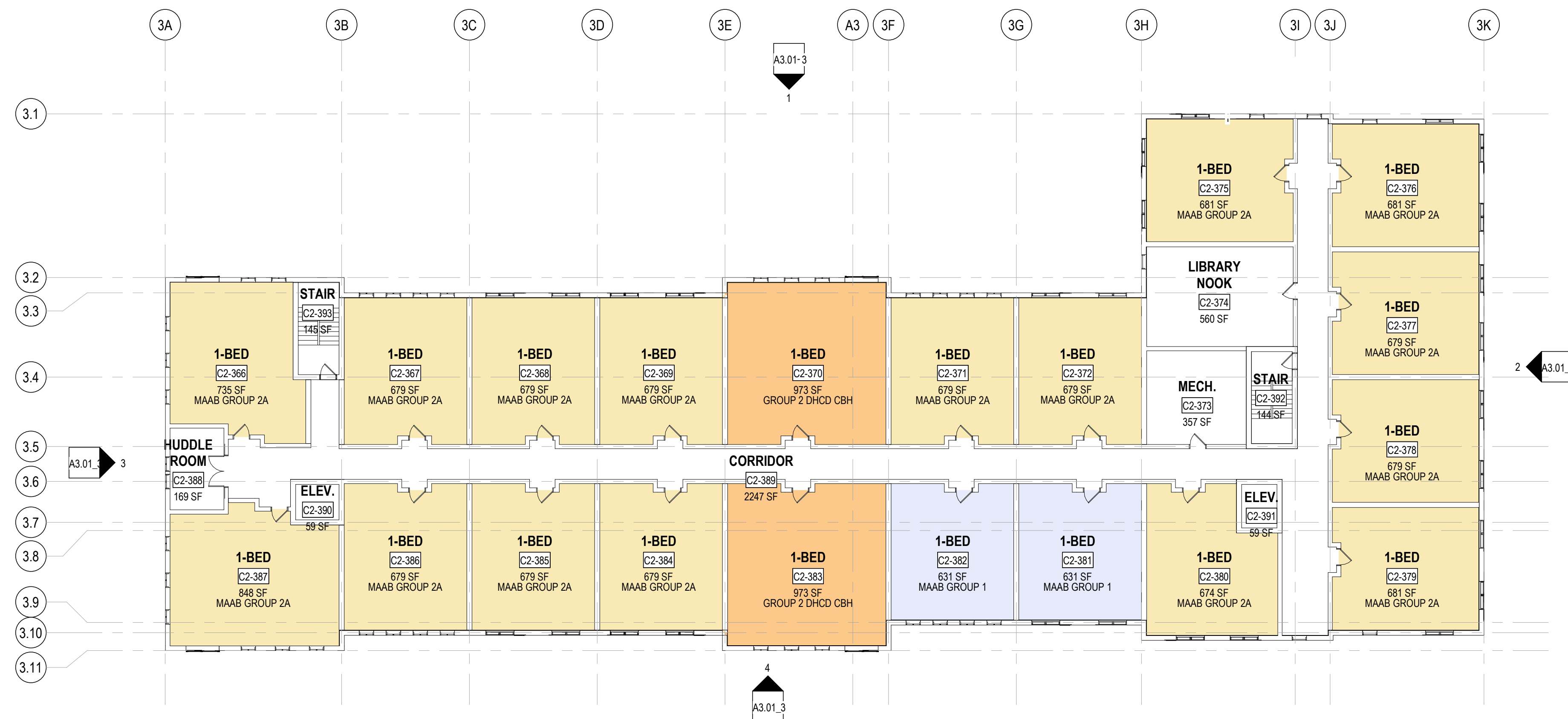
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BUILDING 3 - FLOOR PLAN -
LEVEL 3

A1.03-3



1 BUILDING 3 - LEVEL 3 - 1/16"
1/16" = 1'-0"



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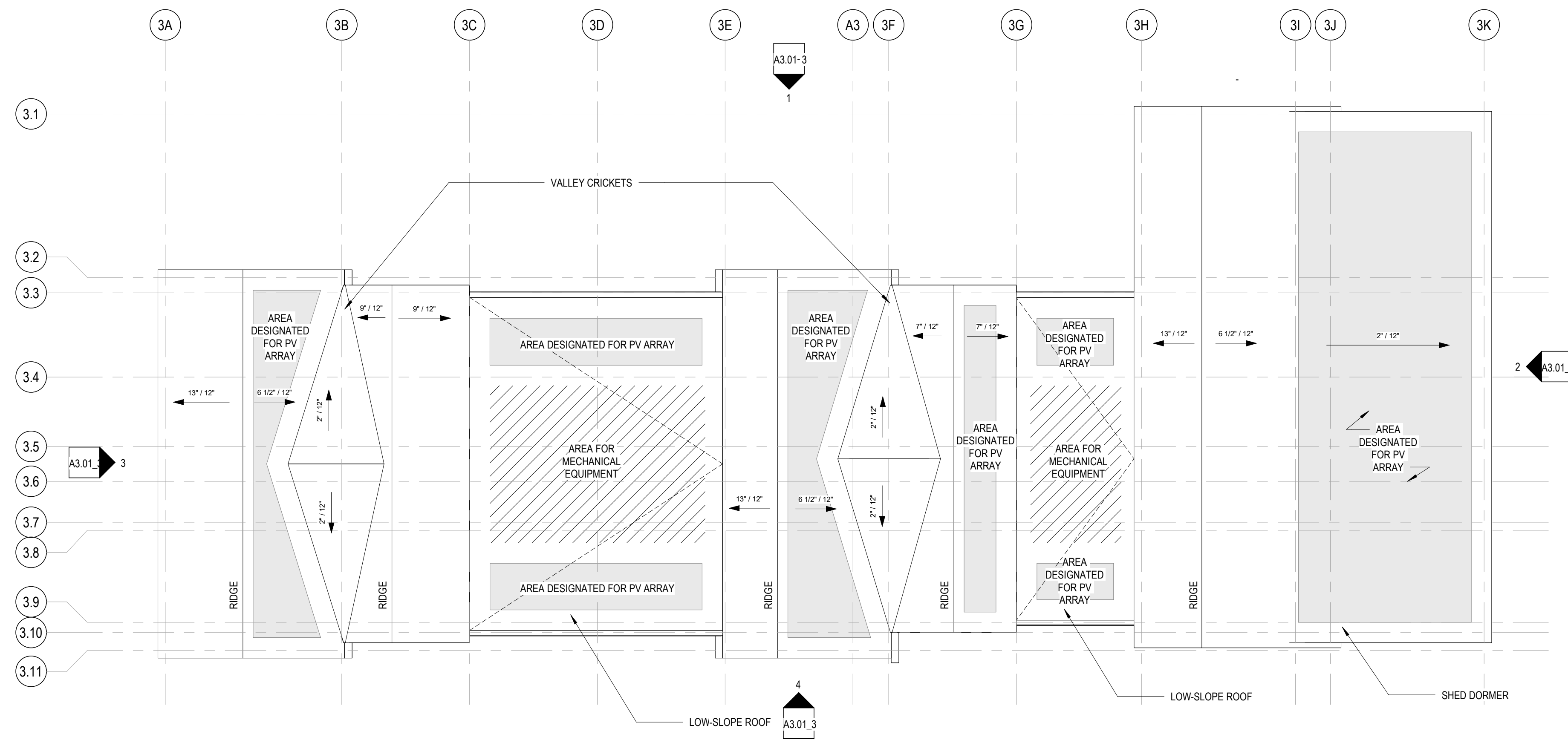
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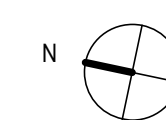
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BUILDING 3 - FLOOR PLAN -
ROOF

A1.04-3



1 BUILDING 3 - ROOF - 1/16"
1/16" = 1'-0"



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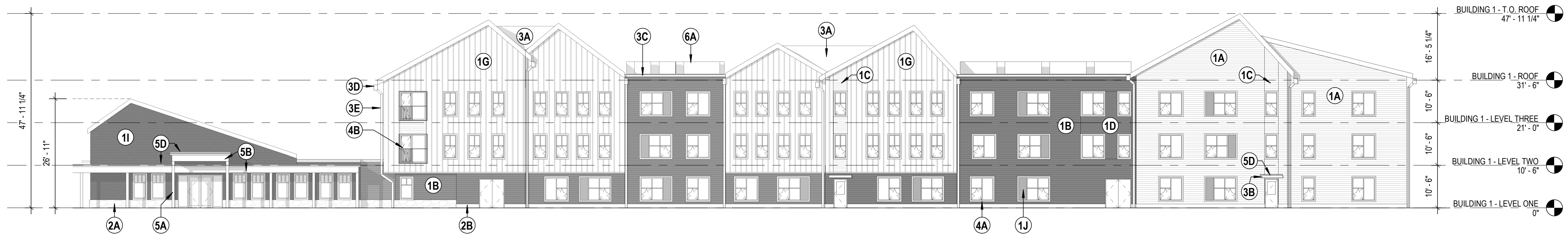
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BUILDING 1 - EXTERIOR
ELEVATIONS

A3.01-1

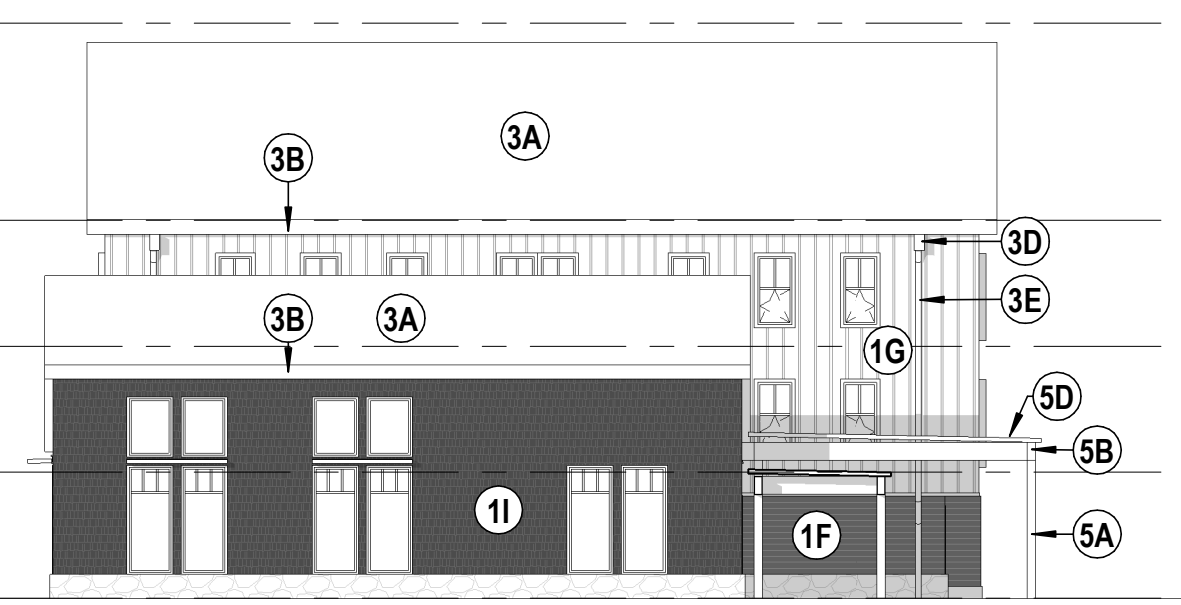
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5 BUILDING 1 - EAST ELEVATION - OVERALL
1/16" = 1'-0"



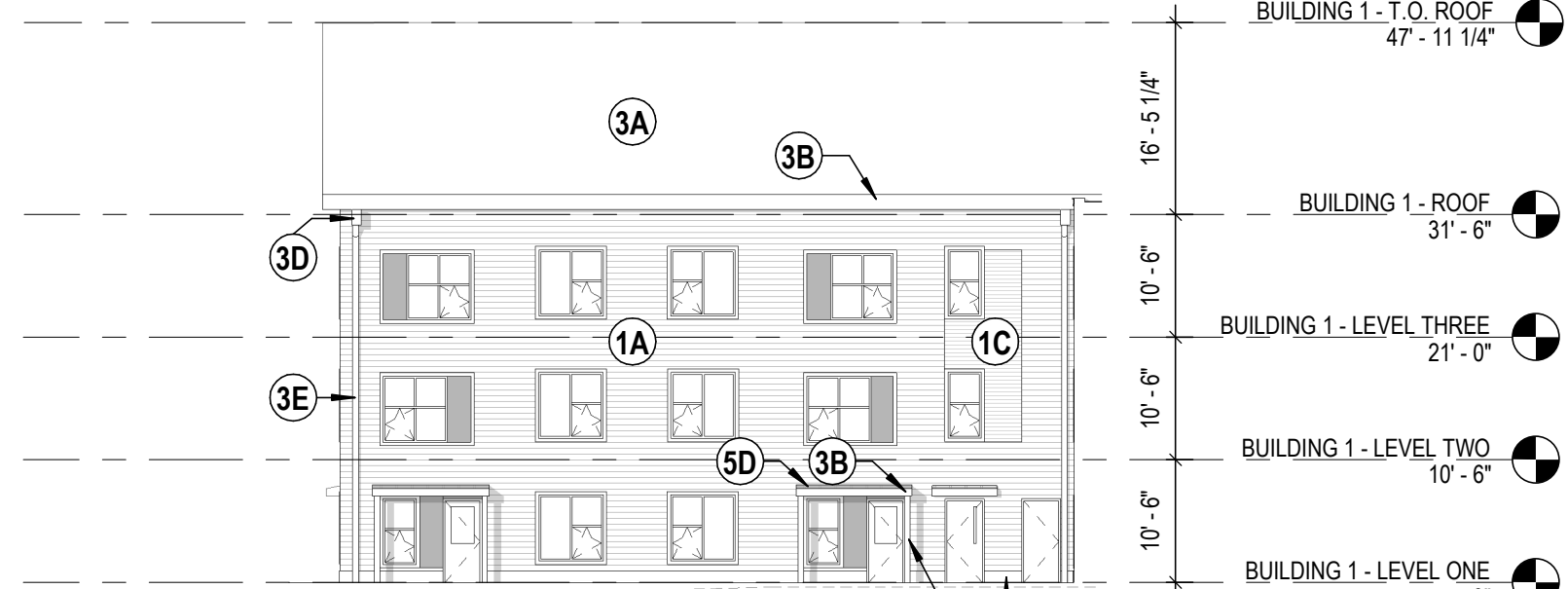
4 BUILDING 1 - WEST ELEVATION - OVERALL
1/16" = 1'-0"



3 BUILDING 1 - SOUTH ELEVATION - COMMUNITY ROOM
1/16" = 1'-0"



2 BUILDING 1 - NORTH ELEVATION
1/16" = 1'-0"



1 BUILDING 1 - SOUTH ELEVATION - COURTYARD
1/16" = 1'-0"

ELEVATION NOTES

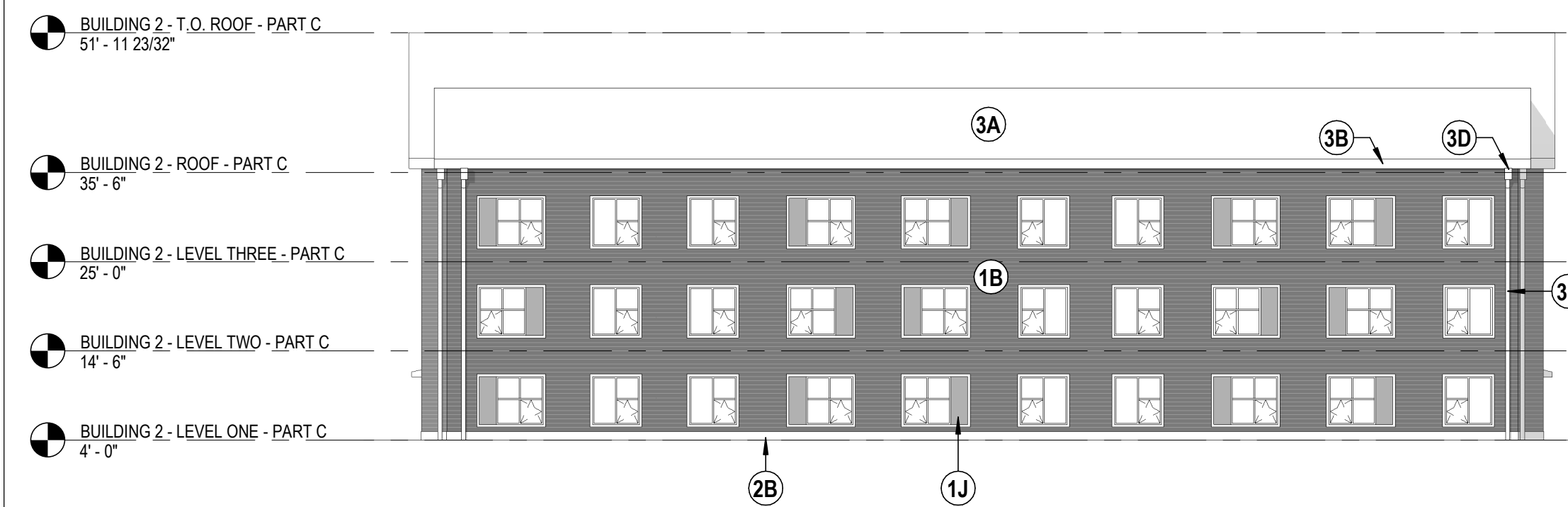
- (1A) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1B) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1C) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1D) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1E) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1F) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1G) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "A"
- (1H) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "B"
- (1I) PTD. CEMENTITIOUS STRAIGHT SHINGLE PANEL, COLOR "C"
- (1J) PTD. CEMENTITIOUS INFILL PANEL, COLOR "D"
- (2A) STONE VENEER WATER TABLE
- (2B) PTD. POLYASH TRIM AT BASE OF BUILDING, TYP., COLOR "E"
- (3A) ASHALT SHINGLES AT SLOPED ROOFS, TYP.
- (3B) PTD POLYASH FASCIA BOARD, TYP.
- (3C) PTD MTL DRIP EDGE, TYP.
- (3D) MTL GUTTER, TYP.
- (3E) PTD DOWNSPOUT, TYP.
- (4A) PTD. POLYSH TRIM AT WINDOW SURROUNDS, CUSTOM COLOR "X"
- (4B) GALV. POWDER-COATED METAL JULIET BALCONY GUARDRAIL
- (5A) CEDAR COLUMNS STAINED
- (5B) CEDAR FASCIA STAINED
- (5C) PTD. WOOD COLUMN
- (5D) STANDING SEAM METAL ROOF
- (6A) MECH EQUIP. REF. MEP DWGS



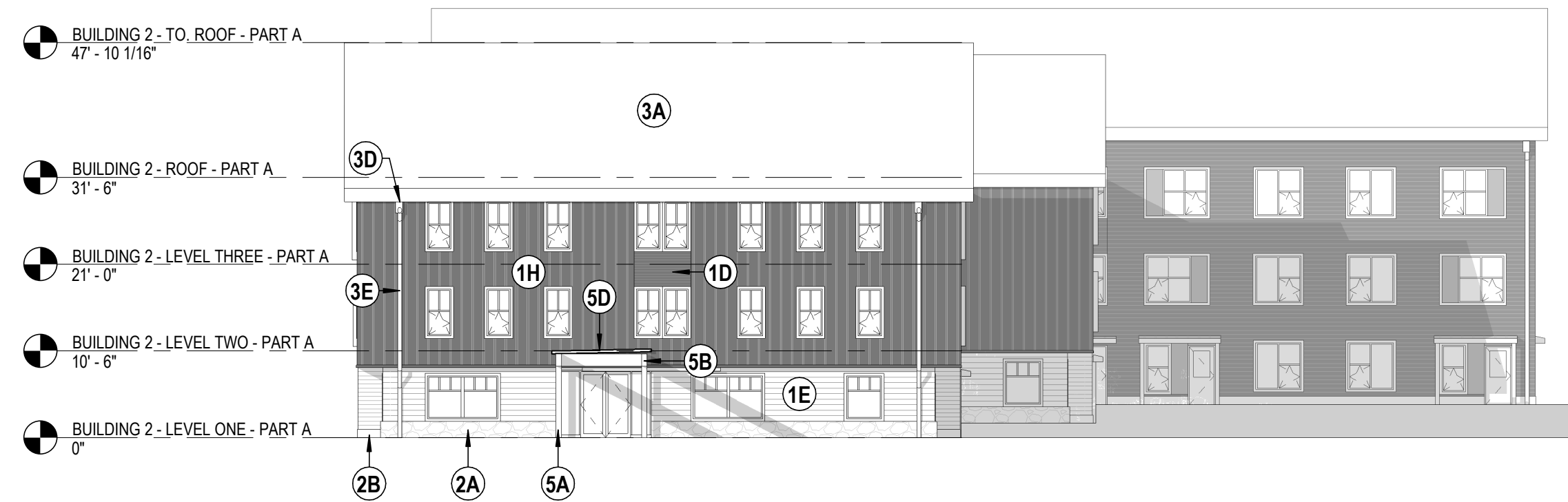
4 BUILDING 2 - EAST ELEVATION - OVERALL
1/16" = 1'-0"



2 BUILDING 2 - WEST ELEVATION - OVERALL
1/16" = 1'-0"



3 BUILDING 2 - SOUTH ELEVATION PART C
1/16" = 1'-0"



5 BUILDING 2 - NORTH ELEVATION
1/16" = 1'-0"

ELEVATION NOTES

- (1A) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1B) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1C) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1D) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1E) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1F) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1G) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "A"
- (1H) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "B"
- (1I) PTD. CEMENTITIOUS STRAIGHT SHINGLE PANEL, COLOR "C"
- (1J) PTD. CEMENTITIOUS INFILL PANEL, COLOR "D"
- (2A) STONE VENEER WATER TABLE
- (2B) PTD. POLYASH TRIM AT BASE OF BUILDING, TYP., COLOR "E"
- (3A) ASHLT SHINGLES AT SLOPED ROOFS, TYP.
- (3B) PTD POLYASH FASCIA BOARD, TYP.
- (3C) PTD MTL DRIP EDGE, TYP.
- (3D) MTL GUTTER, TYP.
- (3E) PTD DOWNSPOUT, TYP.
- (4A) PTD. POLYSH TRIM AT WINDOW SURROUNDS, CUSTOM COLOR "X"
- (4B) GALV. POWDER-COATED METAL JULIET BALCONY GUARDRAIL
- (5A) CEDAR COLUMNS STAINED
- (5B) CEDAR FASCIA STAINED
- (5C) PTD. WOOD COLUMN
- (5D) STANDING SEAM METAL ROOF
- (6A) MECH EQUIP. REF. MEP DWGS

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BUILDING 2 - EXTERIOR
ELEVATIONS

A3.01-2

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BUILDING 3 - EXTERIOR
ELEVATIONS

A3.01-3

ELEVATION NOTES

- (1A) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1B) 6" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1C) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1D) 4" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1E) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "A"
- (1F) 8" PTD. CEMENTITIOUS CLAPBOARD, COLOR "B"
- (1G) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "A"
- (1H) PTD. CEMENTITIOUS BOARD AND BATTEN SIDING, COLOR "B"
- (1I) PTD. CEMENTITIOUS STRAIGHT SHINGLE PANEL, COLOR "C"
- (1J) PTD. CEMENTITIOUS INFILL PANEL, COLOR "D"

- (2A) STONE VENEER WATER TABLE
- (2B) PTD. POLYASH TRIM AT BASE OF BUILDING, TYP., COLOR "E"

- (3A) ASHALT SHINGLES AT SLOPED ROOFS, TYP.

- (3B) PTD POLYASH FASCIA BOARD, TYP.

- (3C) PTD MTL DRIP EDGE, TYP.

- (3D) MTL GUTTER, TYP.

- (3E) PTD DOWNSPOUT, TYP.

- (4A) PTD. POLYSH TRIM AT WINDOW SURROUNDS, CUSTOM COLOR "X"

- (4B) GALV. POWDER-COATED METAL JULIET BALCONY GUARDRAIL

- (5A) CEDAR COLUMNS STAINED

- (5B) CEDAR FASCIA STAINED

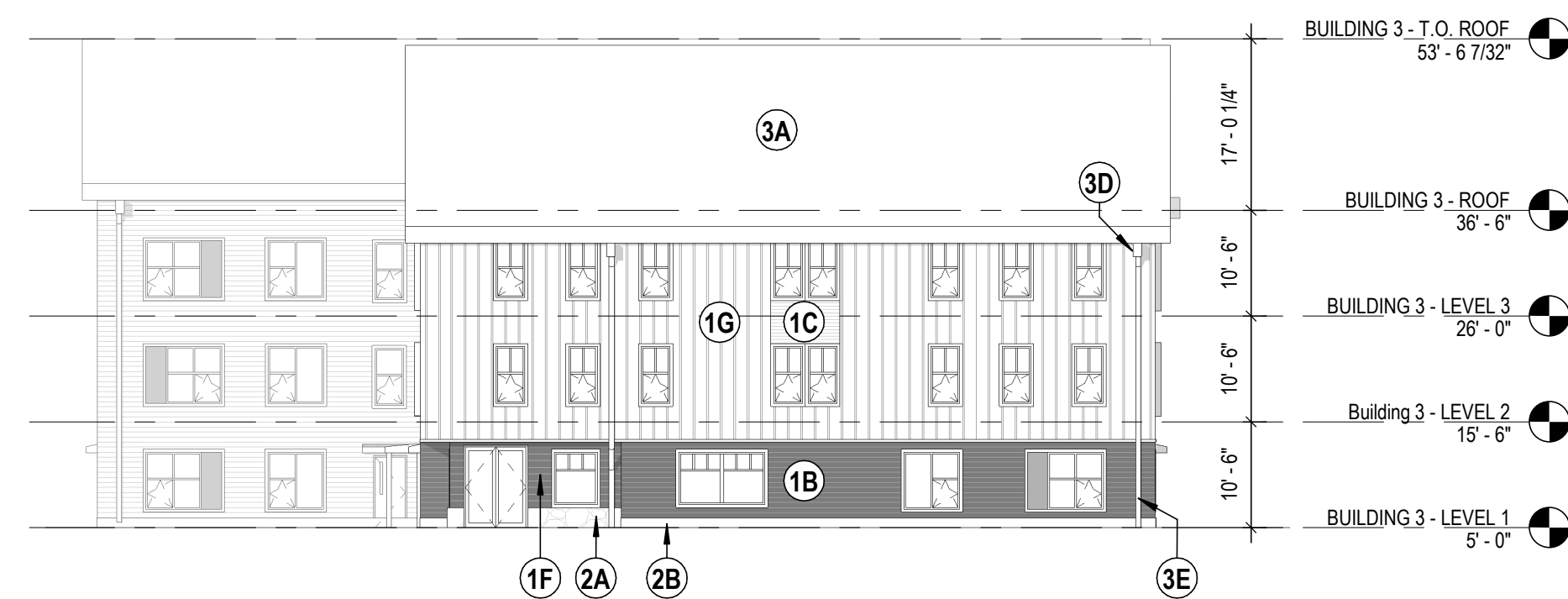
- (5C) PTD. WOOD COLUMN

- (5D) STANDING SEAM METAL ROOF

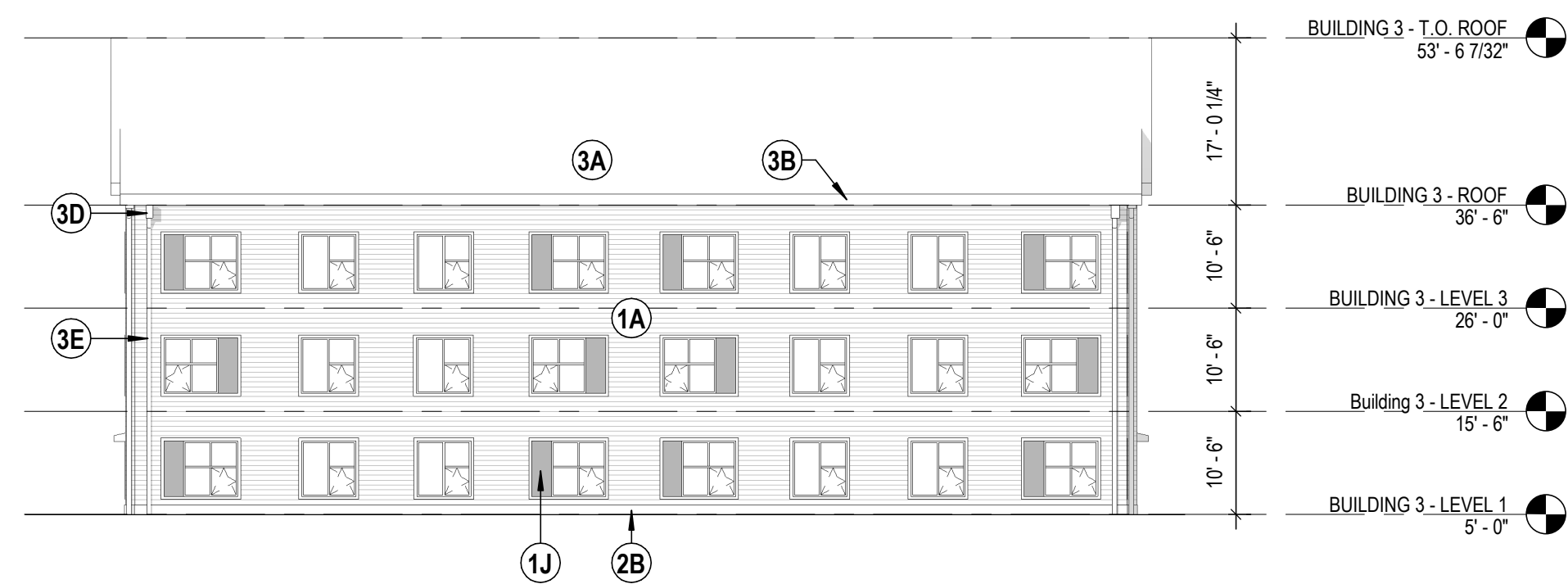
- (6A) MECH EQUP, REF. MEP DWGS



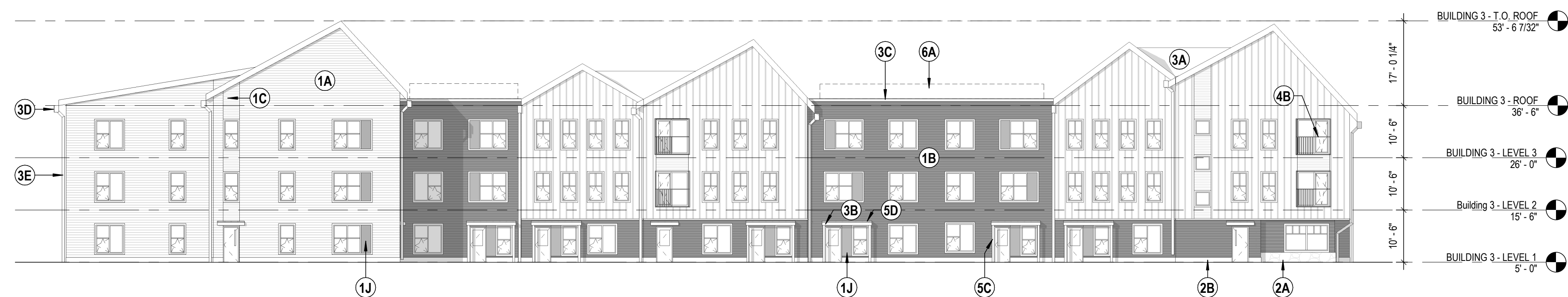
4 BUILDING 3 - WEST ELEVATION - 1/16"
1/16" = 1'-0"



3 BUILDING 3 - NORTH ELEVATION - 1/16"
1/16" = 1'-0"



2 BUILDING 3 - SOUTH ELEVATION - 1/16"
1/16" = 1'-0"



1 BUILDING 3 - EAST ELEVATION - 1/16"
1/16" = 1'-0"

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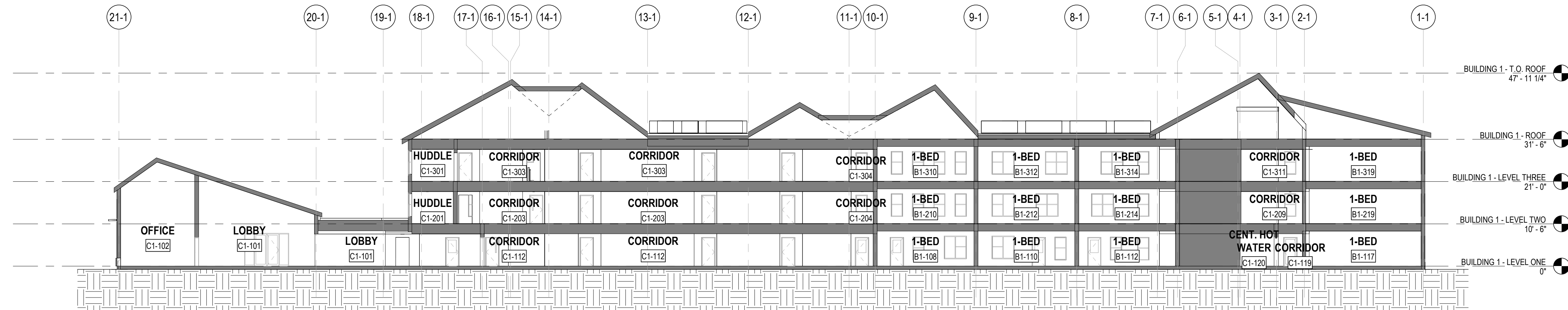
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1 BUILDING 1 - SECTION A - Dependent 1
1/16" = 1'-0"

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SCALE 1/16" = 1'-0" UTILE PROJECT NUMBER 2212

BUILDING 1 - SECTION

A3.51-1

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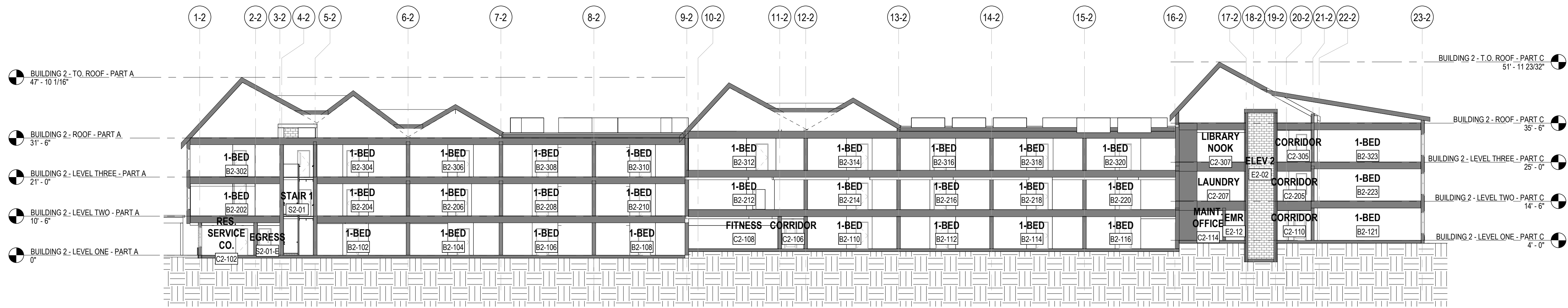
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1 BUILDING 2 - SECTION THROUGH UNITS
1/16" = 1'-0"

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1/16" = 1'-0" 2212

BUILDING 2 - SECTION

A3.51-2

Walnut Street
Affordable Housing

ADDRESS
CITY, ST 00000 PROJECT

The Walnut Street Joint
Venture Group

ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 OWNER

utile
ARCHITECTURE + URBAN DESIGN
115 KINGSTON ST
BOSTON, MA 02111
P 617 423.7200 F 617 423.1414
utiledesign.com ARCHITECT

Consultant
ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 CIVIL

Consultant
ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 CODE

Consultant
ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 LANDSCAPE

Consultant
ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 M/E/P/FP

Consultant
ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 SPECIFICATIONS

Consultant
ADDRESS
CITY, ST 00000
P 000 000.0000 F 000 000.0000 STRUCTURAL

STAMP

DATE REVISION

DDMM/YYYY REV.

REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER
1/16" = 1'-0" 2212

BUILDING 3 - SECTION

A3.51-3



1 BUILDING 3 - SECTION N-S
1/16" = 1'-0"